



Title: Permit 23-040: 415 Blake Road- “Cottageville Phase II Riparian Restoration”

Prepared by: Name: Abigail Ernst
Phone: 952-641-4504
aernst@minnehahacreek.org

Purpose: Present staff review of the 415 Blake Road- “Cottageville Phase II Riparian Restoration” permit application for Board of Managers consideration and review proposed conditions of approval.

Executive Summary:

The Minnehaha Creek Watershed District has applied for a permit for improvements to the “Gateway” parcel, which includes construction of a partially sheltered plaza, rain gardens, and minimal pedestrian trails (Project). The improvements are a part of the overall Cottageville Park Master Plan which was reviewed and approved by the District Board of Managers in October of 2014.

MCWD has a long-standing policy to bring its own projects to the Board of Managers for permit approval.

The Project will trigger MCWD regulations for Erosion Control.

The Board will consider a decision on the permit application, including recommended conditions.

Project Summary:

Location:

415 Blake Road (Site) is located on the east side of the City of Hopkins next to Minnehaha Creek (Creek). The Site sits across the creek from Cottageville Phase I (the portion of Cottageville park that has already been constructed) and upstream of other District projects, including Minnehaha Creek Preserve and Methodist Hospital Campus.

History:

In 2010, pursuant to a cooperative agreement between the City of Hopkins (City) and the MCWD, the MCWD purchased 427-429 Blake Road, 415 Blake Road, and 1303 and 1305 Lake Street, which all sit on either side of Minnehaha Creek. The agreement led to demolition of existing buildings on several of the properties and their integration with the adjacent City property of Cottageville Park, to expand and improve the Park (“Cottageville Phase I”). This work was approved by the District Board of Managers under [permit 14-208](#). The project included installation of regional stormwater treatment beneath the park, creek buffer restoration, creek access, educational signage, community garden space, walking paths, greenspace and overall landscaping, on the north side of Minnehaha Creek.

At the time, an existing commercial building and hard surface were removed from the 415 Blake Road parcel, but site improvements were postponed.

Current Status:

Now that MCWD is moving forward on a nearby project at 325 Blake Road, it is also initiating the construction of improvements at the Site, as a part of the District’s overall strategy to redevelop the creek corridor in this area.

Overall Site Description and Proposed Improvements Specific to the Project

The District stormwater rule states: “Activity subject to this rule on adjacent sites under common or related ownership shall be considered in the aggregate, and the requirements applicable to the activity under this rule will be determined with respect to all development that has occurred on a site, or on adjacent sites under common or related ownership, since the date this rule took effect (January 2005).” The District acquired the 415 Blake Road parcel in conjunction with the Cottageville Phase I project. Site demolition occurred in conjunction with demolition and preparation for the Phase I project, but when Phase I was constructed in 2016, improvements on the Site were held in abeyance. However, continuity in the District’s redevelopment intention has remained. In accordance with the District practice in applying the above “common or related ownership” clause, permitting staff is treating the Site and the existing Cottageville Park land as under common or related ownership for the purpose of the District rule, and further considering the site impervious surface coverage existing at the time the District redevelopment plan was initiated as the “existing” baseline to determine how the stormwater rule applies.

Historically, the Site contained a commercial structure and parking. Cottageville Phase 1 contained three single family homes and two apartment buildings with associated parking.

The impervious surface area across both the Site and Cottageville Phase I is proposed to be reduced from 1.58 acres to 0.61 acres (see table below) and therefore is 61% less than the existing impervious. The project therefore is exempt from the District’s Stormwater Management rule under section 2(c)(1).

The proposed Project includes a paved plaza, seating, a partial shelter, and mulch trails to allow for creek viewing. For the purpose of the stormwater rule, only the paved plaza is considered to be impervious surface. Although stormwater treatment is not required, it also includes two rain gardens that will capture and infiltrate runoff from the plaza area.

	Site Size (ac)	Existing Impervious (ac)	Proposed Impervious (ac)
Cottageville Phase I	3.59	1.3	0.52
415 Blake Road	0.36	0.28	0.09
Total	3.95	1.58	0.61

District Rule Analysis:

The proposed project will trigger the MCWD Erosion Control rule. Based on review by District staff and engineer, the Project meets all criteria in the rule. Below is a summary of the project compliance determination.

[Erosion Control](#)

The District’s Erosion Control rule requires a sediment and erosion control plan for a land disturbance greater than 5,000 square feet or excavation, fill, or stockpiling of 50 cubic yards of material. The Project is proposing approximately 15,604 square feet (~.36 acres) of land disturbance; therefore, the rule is triggered.

Per section 5(a) and 5(b) of the rule, an erosion and sediment control (ESC) plan has been provided and shows the required erosion and sediment control best practices. This plan conforms to best practices to minimize the movement of disturbed soils off site and prevent impacts to the creek.

Per section 6 of the rule, a geotechnical report and soil boring results have been provided. The geotechnical report and soil borings confirm that there are no additional site concerns (such as increased erodibility concerns), that would require special terms in the ESC plan.

Section 7 of the rule does not apply as additional information or data is not required to evaluate the application.

Section 8 of the rule and the District’s Financial Assurance Schedule do not apply as the District is the permittee.

In summary, the project meets the requirements of the Erosion Control rule.

Conclusion:

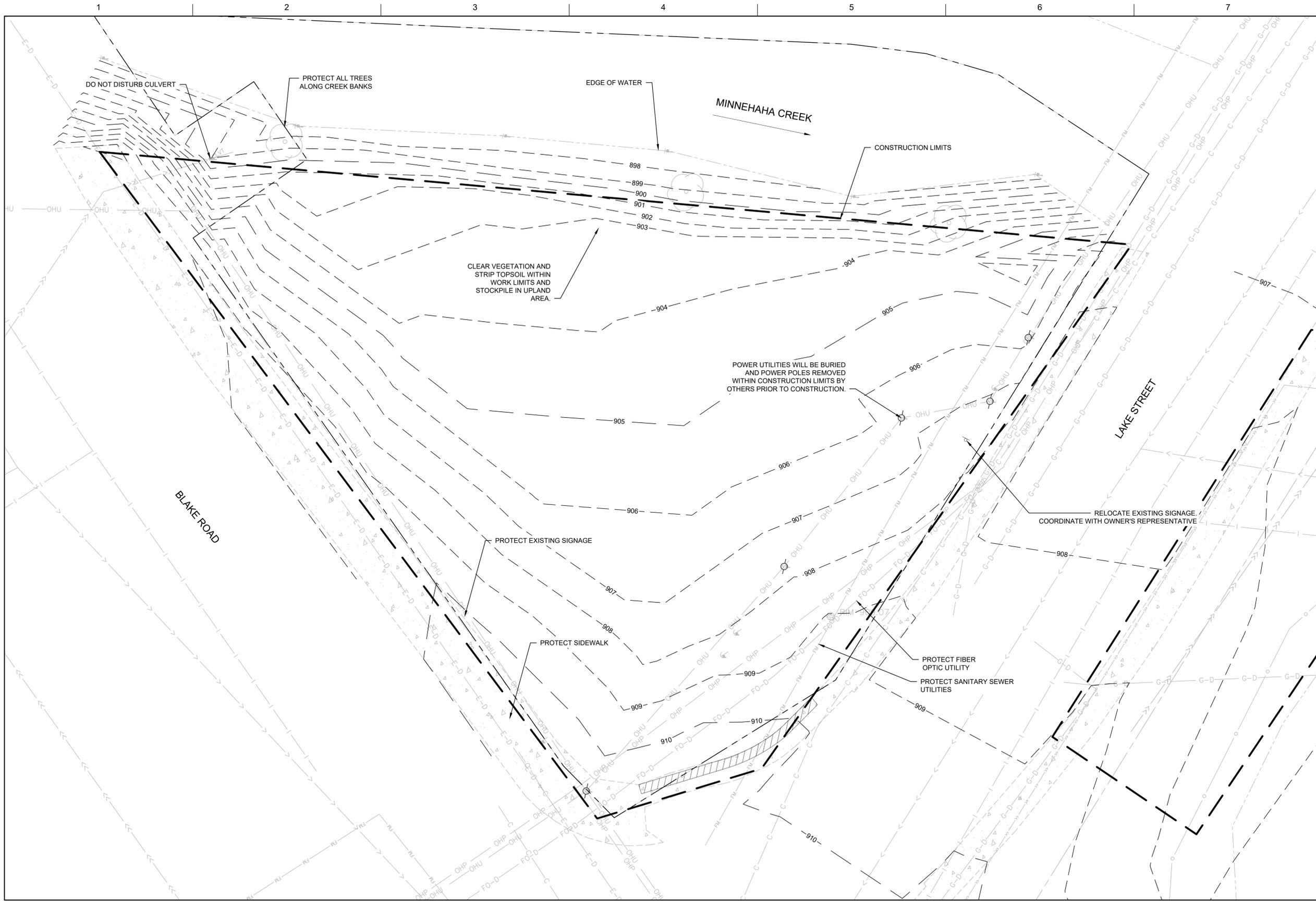
At the May 11, 2023 Board Meeting, staff will present permit 23-040, for the construction of the Project, which is part of the Cottageville Master Plan.

Staff recommends permit approval with the following conditions of permit issuance:

1. Submission of proof of NPDES permit

Supporting documents (list attachments):

- Site plans



GENERAL NOTES

1. FIELD VERIFY LOCATION OF ALL ELEMENTS SHOWN FOR DEMOLITION PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
2. THE LIMITS, EXTENT, AND ITEMS TO BE DEMOLISHED ARE PROVIDED AS A GUIDE. ADDITIONAL DEMOLITION WITHIN THE LIMITS OF CONSTRUCTION MAY BE REQUIRED. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY APPARENT CONFLICTS BETWEEN ITEMS NOT IDENTIFIED FOR DEMOLITION AND PROPOSED PROJECT FEATURES.
3. SOME UTILITY REMOVALS AND RELOCATIONS WILL BE COMPLETED BY OTHERS PRIOR TO OR DURING THIS CONTRACT. COORDINATE LOCATION AND SCHEDULE WITH OWNER'S REPRESENTATIVE.
4. CALL GOPHER STATE ONE CALL 1-800-252-1166 AND VERIFY ALL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION PRIOR TO STARTING WORK.
5. DO NOT BURY, DUMP, OR DISCHARGE DEBRIS ON SITE.
6. STAY WITHIN LIMITS OF CONSTRUCTION AND DO NOT DISTURB CREEK BANK VEGETATION UNLESS REQUIRED FOR PROPOSED CONSTRUCTION.
7. ALL TREES IDENTIFIED FOR REMOVAL ARE IDENTIFIED ON THE CD DRAWINGS. VERIFY ALL TREE REMOVALS WITH OWNER'S REPRESENTATIVE PRIOR TO BEGINNING TREE REMOVAL.
8. SEE DETAILS ON SHEET XXX FOR TREE PROTECTION REQUIREMENTS FOR TREES IDENTIFIED TO REMAIN WITHIN LIMITS OF CONSTRUCTION.
9. AT ALL LOCATIONS WHERE PROPOSED PAVEMENT TIES INTO EXISTING, SAW CUT AND REMOVE EXISTING PAVEMENT TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT. REPLACE ANY CURB, SIDEWALK, PAVEMENT OR OTHER EXISTING FEATURES DEGRADED OR DAMAGED BY CONSTRUCTION OPERATIONS.

PROJECT MANAGER ANDREW F. JUDD

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ANDREW F. JUDD, PE
DATE XX/XX/XXXX LICENSE # 47301

325 BLAKE RD REGIONAL STORMWATER AND GREENWAY

MINNEHAHA CREEK WATERSHED DISTRICT
325 BLAKE RD
HOPKINS, MN 55343

**DEMOLITION PLAN
GATEWAY TO GREENWAY**



FILENAME CD101-103.DWG
SCALE 1" = 10'

SHEET
CD101

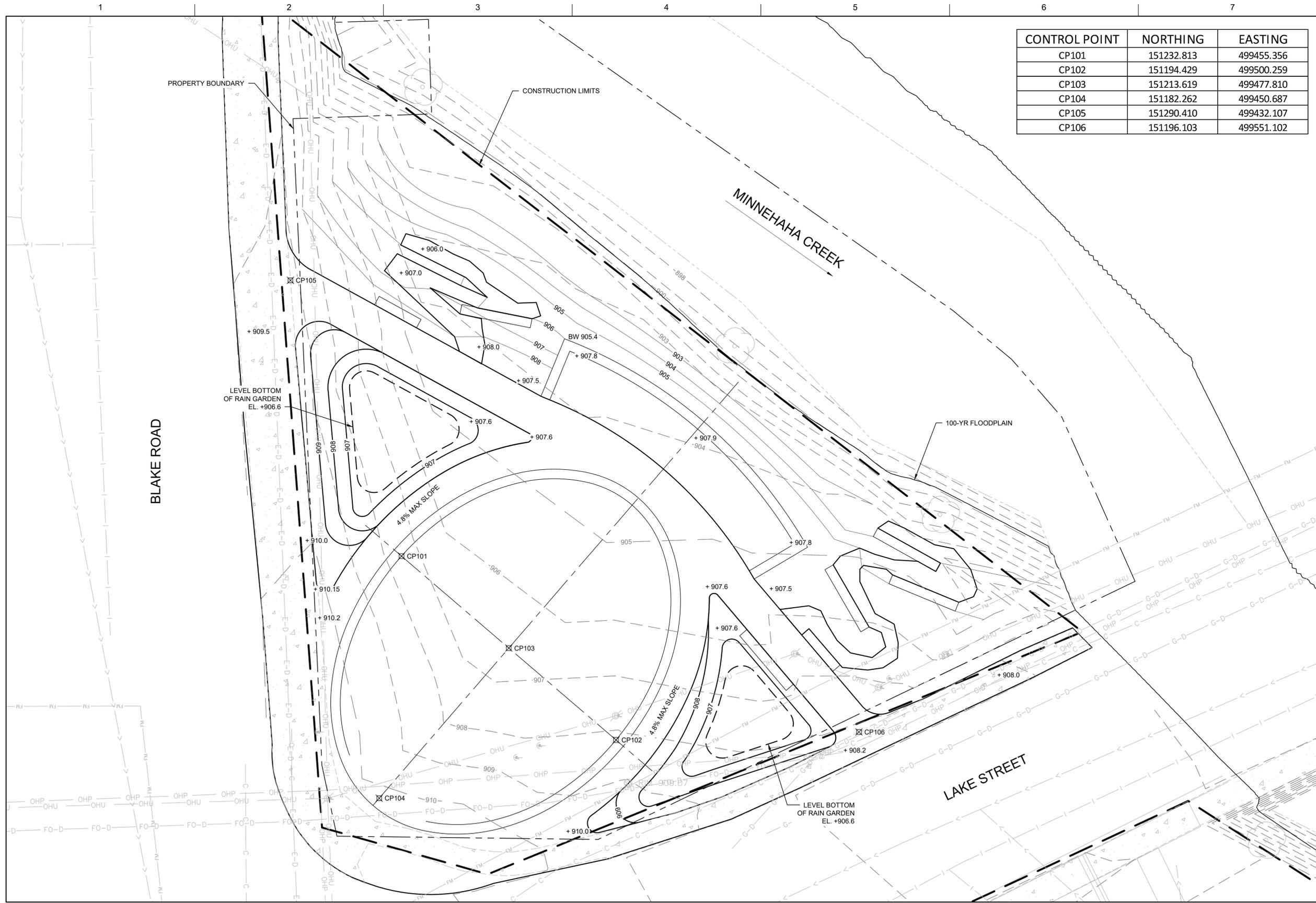


MINNEHAHA CREEK
WATERSHED DISTRICT



ISSUE	DATE	DESCRIPTION
2	09/14/2022	90% DESIGN
1	06/13/2022	PFA GRANT PACKAGE

PROJECT NUMBER	10268112
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CONTROL POINT	NORTHING	EASTING
CP101	151232.813	499455.356
CP102	151194.429	499500.259
CP103	151213.619	499477.810
CP104	151182.262	499450.687
CP105	151290.410	499432.107
CP106	151196.103	499551.102



- GENERAL NOTES**
- LAYOUT AND ALIGNMENT OF TRAILS, EMBANKMENTS, AND WALLS TO BE FIELD STAKED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - MAXIMUM LONGITUDINAL AND CROSS SLOPES TO BE AS INDICATED. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY CONFLICTS.
 - PROVIDE SMOOTH SLOPE TRANSITIONS IN PAVED AND VEGETATED AREAS THAT MINIMIZE IMPACTED AREA. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS IMMEDIATELY.
 - SEE CT SHEETS FOR TRAIL AND PEDESTRIAN BRIDGE PLAN AND PROFILE AND CP SHEETS FOR STORM SEWER, WEIR WALL, AUXILIARY OVERFLOW, AND OUTLET STRUCTURE.
 - SEE L SHEETS FOR SURFACING AND SITE FURNISHINGS.



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 DATE XX/XX/XXXX LICENSE # 47301

325 BLAKE RD REGIONAL STORMWATER AND GREENWAY

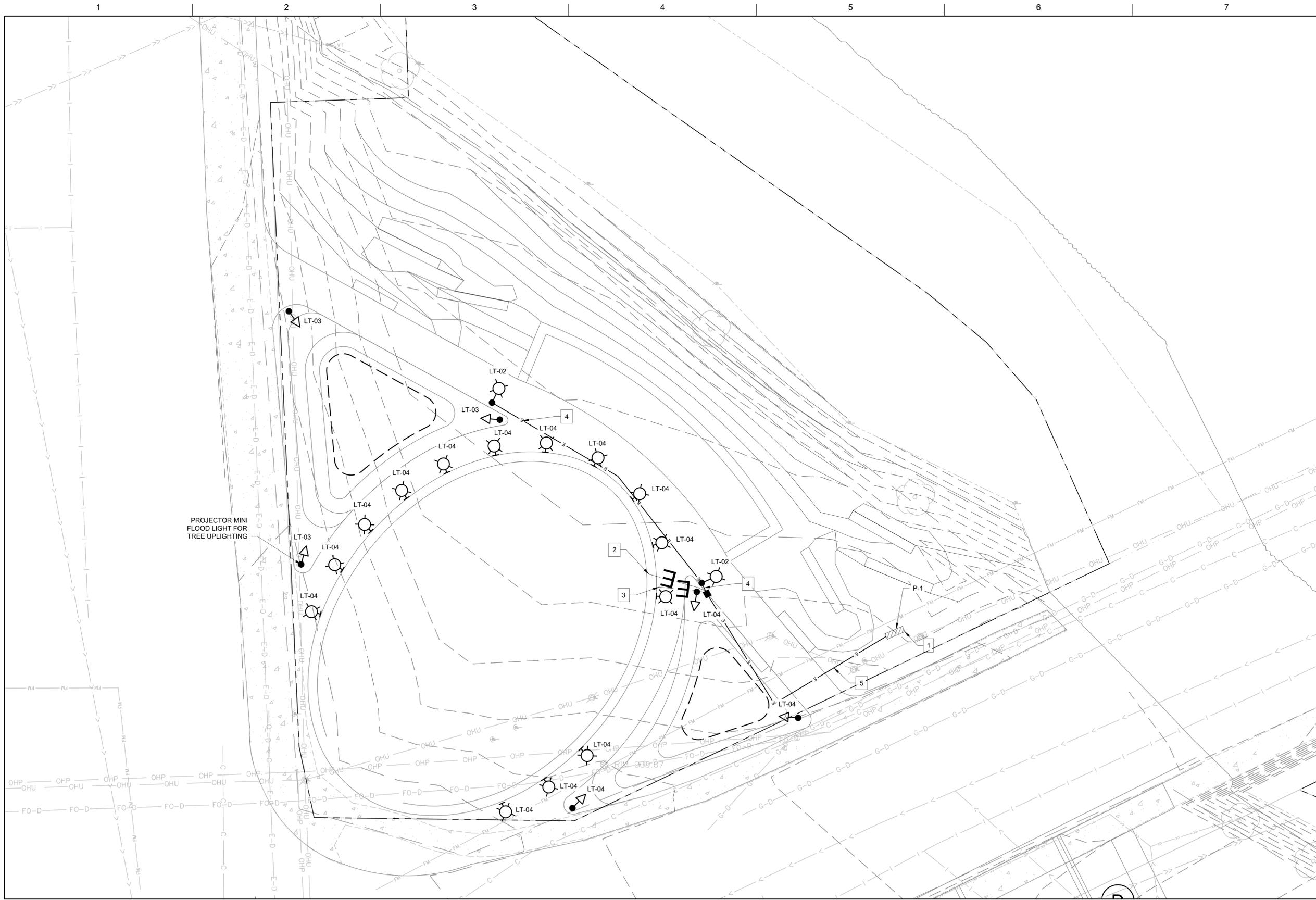
MINNEHAHA CREEK WATERSHED DISTRICT
 325 BLAKE RD
 HOPKINS, MN 55343

**SITE GRADING PLAN
GATEWAY TO GREENWAY**

0 1" 2"

FILENAME CG101-105.DWG
 SCALE 1" = 10'

SHEET
CG101



GENERAL NOTES

- CONDUIT ROUTING IS SHOWN DIAGRAMMATICALLY. FIELD ADJUST CONDUIT ROUTING BASED ON FIELD CONDITIONS AND COORDINATION WITH OTHER EXISTING AND NEW UTILITIES, STRUCTURES, AND EQUIPMENT.

KEY NOTES

- COORDINATE WITH XCEL ENERGY FOR METERED SUPPLY AND FINAL LOCATION.
- PROVIDE 2 #12, #12G IN 1" C, CIRCUIT ALL TYPE LT-13 TOGETHER AND ROUTE TO P-1 VIA HH-1
- PROVIDE 2 #12, #12G IN 1" C, CIRCUIT ALL TYPE LT-14 TOGETHER AND ROUTE TO P-1 VIA HH-1
- 2 #12, #12G IN 1" C
- PROVIDE 3 SETS 2 #12, #21G IN 2" C.

PROJECTOR MINI FLOOD LIGHT FOR TREE UPLIGHTING

PROJECT MANAGER ANDREW F. JUDD

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60% DRAFT
SUBMITTAL FOR CLIENT REVIEW

325 BLAKE RD REGIONAL STORMWATER AND GREENWAY

MINNEHAHA CREEK WATERSHED DISTRICT
325 BLAKE RD
HOPKINS, MN 55343

ELECTRICAL ENLARGED SITE PLAN GATEWAY TO GREENWAY



FILENAME E401.DWG
SCALE 1" = 10'

SHEET
E401



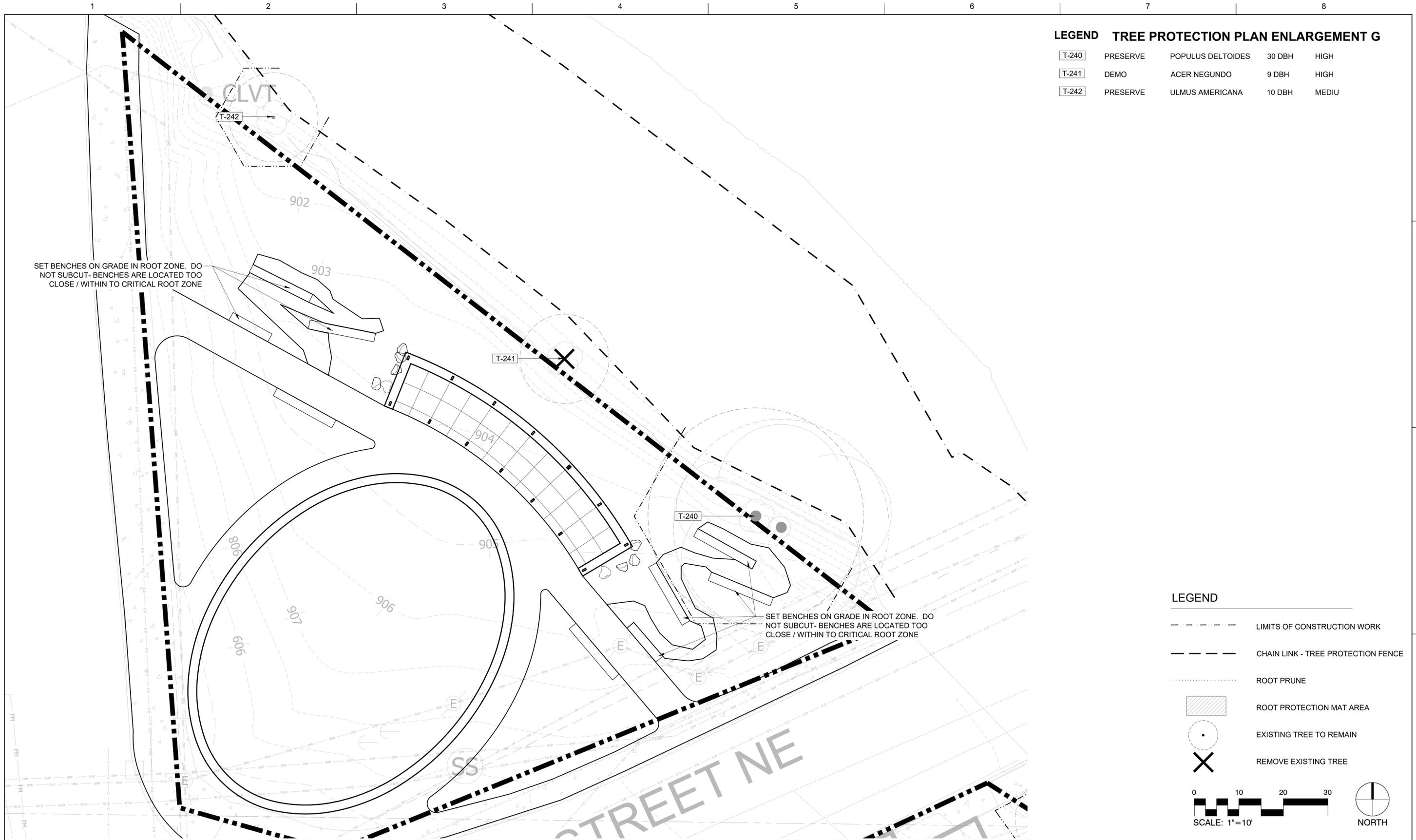
MINNEHAHA CREEK WATERSHED DISTRICT



ISSUE	DATE	DESCRIPTION
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DATE XX/XX/XXXX LICENSE # XXXXX

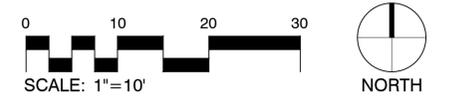


LEGEND TREE PROTECTION PLAN ENLARGEMENT G

T-240	PRESERVE	POPULUS DELTOIDES	30 DBH	HIGH
T-241	DEMO	ACER NEGUNDO	9 DBH	HIGH
T-242	PRESERVE	ULMUS AMERICANA	10 DBH	MEDIU

LEGEND

- LIMITS OF CONSTRUCTION WORK
- CHAIN LINK - TREE PROTECTION FENCE
- ROOT PRUNE
- ROOT PROTECTION MAT AREA
- EXISTING TREE TO REMAIN
- REMOVE EXISTING TREE



**MINNEHAHA CREEK
WATERSHED DISTRICT**



**DF/ DAMON FARBER
LANDSCAPE ARCHITECTS**
401 North 2nd Avenue, Suite 410
Minneapolis, MN 55401 p: 612.332.7522

ISSUE	DATE	DESCRIPTION
0	09-14-2022	90% DESIGN DEVELOPMENT DRAWINGS

PROJECT MANAGER ANDREW F. JUDD

PROJECT NUMBER	10268112
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THOMAS J WHITLOCK, PLA
DATE XX/XX/XXXX LICENSE # 26292

**325 BLAKE RD REGIONAL STORMWATER
AND GREENWAY**

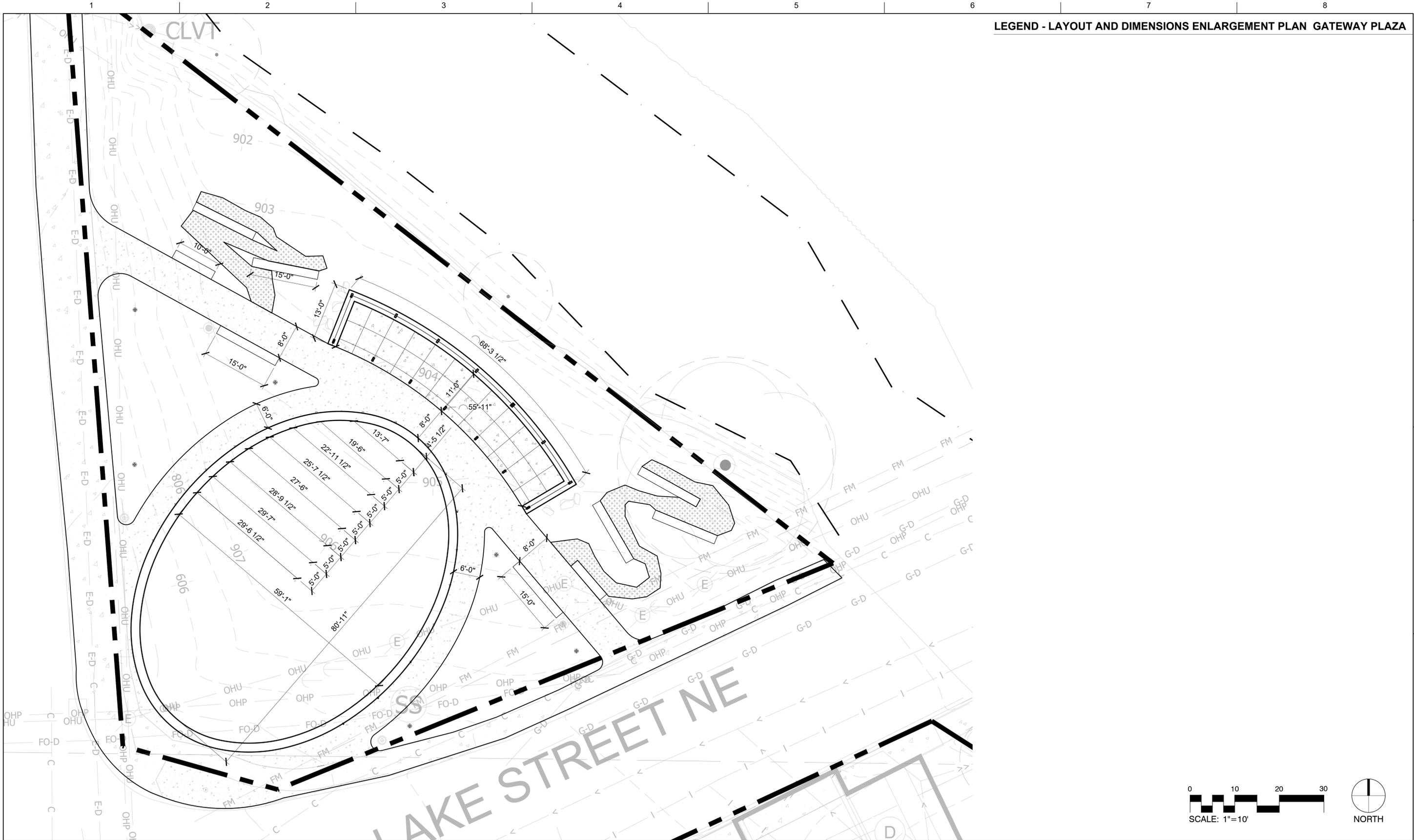
MINNEHAHA CREEK WATERSHED DISTRICT
325 BLAKE RD
HOPKINS, MN 55343

TREE PROTECTION PLAN ENLARGEMENT G



FILENAME
SCALE

SHEET
L056



PROJECT MANAGER ANDREW F. JUDD

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325 BLAKE RD REGIONAL STORMWATER AND GREENWAY

MINNEHAHA CREEK WATERSHED DISTRICT
325 BLAKE RD
HOPKINS, MN 55343

THOMAS J WHITLOCK, PLA
DATE XX/XX/XXXX LICENSE # 26292

LAYOUT AND DIMENSIONS ENLARGEMENT PLAN GATEWAY PLAZA

0 1" 2" FILENAME
SCALE

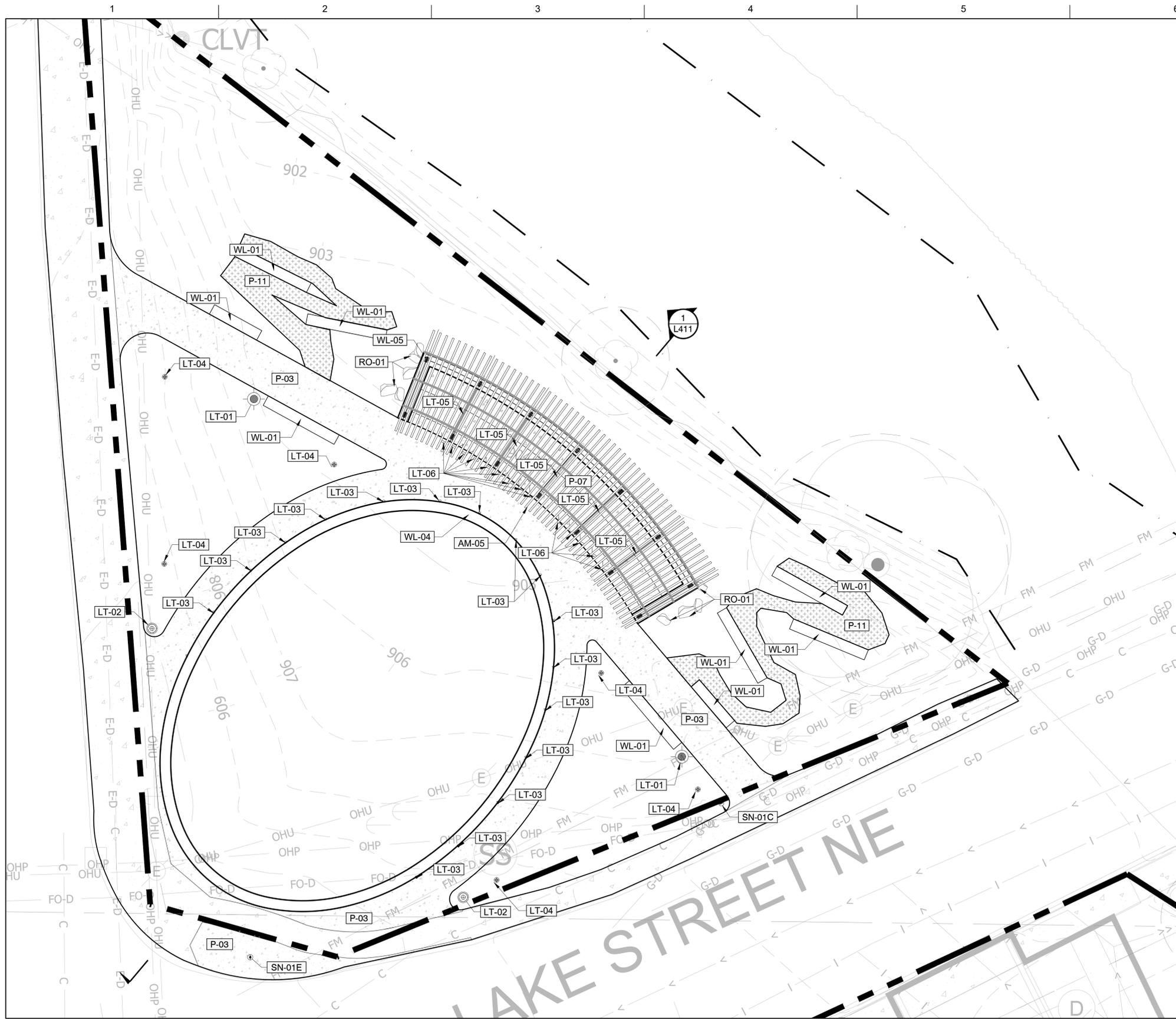
SHEET
L203



DF/ DAMON FARBER
LANDSCAPE ARCHITECTS
401 North 2nd Avenue, Suite 410
Minneapolis, MN 55401 p: 612.332.7522

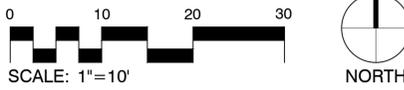
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LEGEND - HARDSCAPE ENLARGEMENT PLAN GATEWAY PLAZA

CODE	LIGHTING DESCRIPTION	QTY	DETAIL
LT-01	LIGHT TYPE 01 - PEDESTRIAN SCALE POLE LIGHT	2	3/L572
LT-02	LIGHT TYPE 02 - CITY OF HOPKINS POLE LIGHTS	2	
LT-03	LIGHT TYPE 03 - WALL PACK	17	
LT-04	LIGHT TYPE 04 - TREE UPLIGHTS	6	
LT-05	LIGHT TYPE 05 - PERGOLA DOWN LIGHT	49 LF	
LT-06	LIGHT TYPE 06 - PERGOLA LETTERING UPLIGHTS	14	
CODE	ROCK DESCRIPTION	QTY	DETAIL
RO-01	ROCK TYPE 01 - LANDSCAPE BOULDER	9	4/L510
CODE	SIGNAGE DESCRIPTION	QTY	DETAIL
SN-01C	SIGN TYPE 01C - DIRECTIONAL	1	1/L573
SN-01D	SIGN TYPE 01D - DIRECTIONAL	1	1/L573
SN-01E	SIGN TYPE 01E - DIRECTIONAL	1	1/L573
CODE	WALL DESCRIPTION	QTY	DETAIL
WL-01	WALL TYPE 01 - LIMESTONE SEATWALL @ TRAILHEAD	126 LF	1/L560
WL-04	WALL TYPE 04 - CIP CONCRETE WALL	204 LF	2/L562
WL-05	WALL TYPE 05 - CIP CONCRETE SEATWALL WITH STONE VENEER	90 LF	1/L543
SYMBOL	PAVING DESCRIPTION	QTY	DETAIL
[Symbol]	PAVING TYPE 03 - CONCRETE PAVING	6,734 SF	2/L510
[Symbol]	PAVING TYPE 07 - DECORATIVE CONCRETE PAVING	654 SF	2/L543
SYMBOL	PAVING DESCRIPTION	QTY	DETAIL
[Symbol]	PAVING TYPE 11 - HARDWOOD MULCH	5.74 CY	2/L511



DF/ DAMON FARBER
LANDSCAPE ARCHITECTS
 401 North 2nd Avenue, Suite 410
 Minneapolis, MN 55401 p: 612.332.7522

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THOMAS J WHITLOCK, PLA
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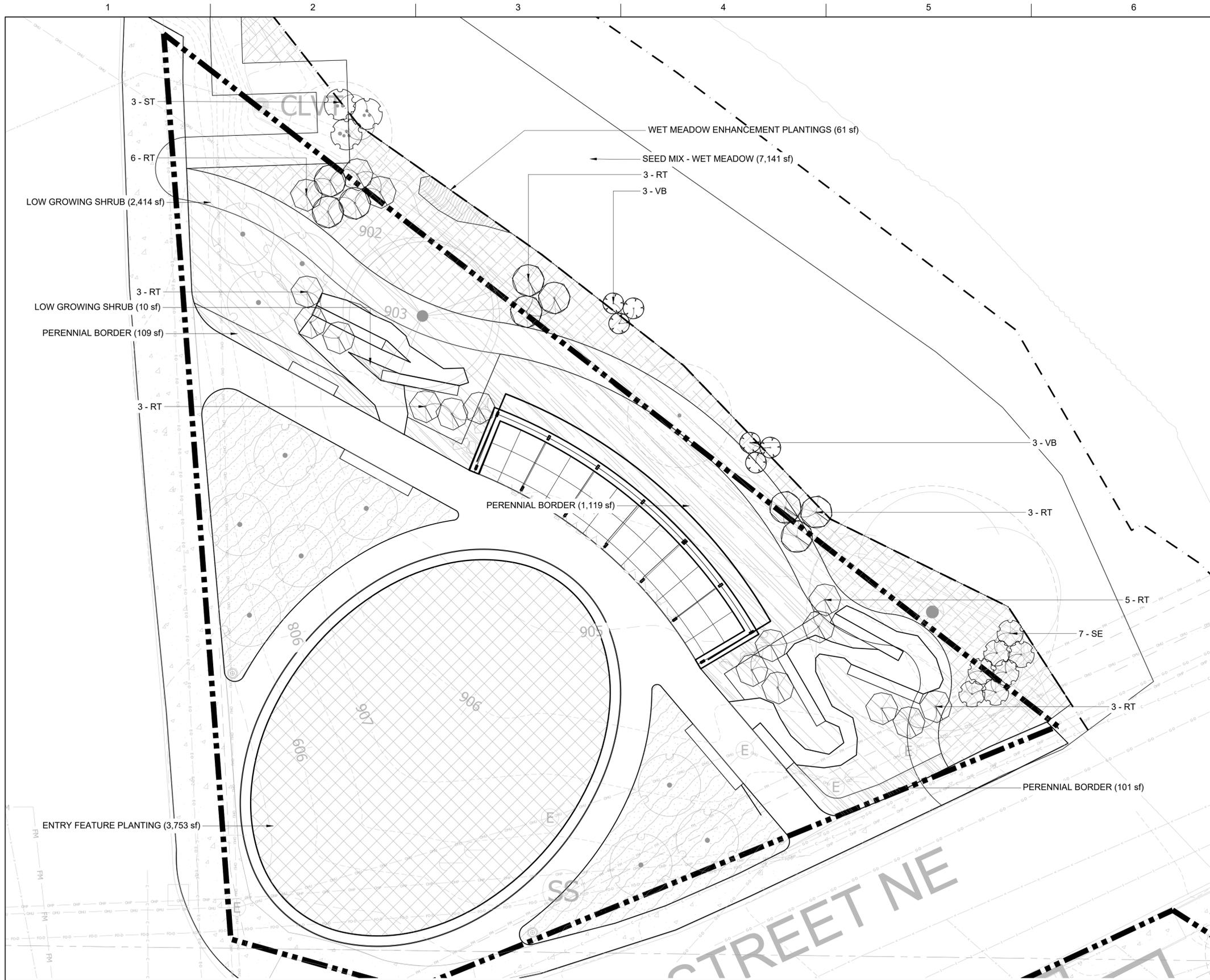
325 BLAKE RD REGIONAL STORMWATER AND GREENWAY

MINNEHAHA CREEK WATERSHED DISTRICT
 325 BLAKE RD
 HOPKINS, MN 55343

HARDSCAPE ENLARGEMENT PLAN GATEWAY PLAZA



SHEET
L213



LEGEND - PLANTING PLAN ENLARGEMENT GATEWAY PLAZA

DECIDUOUS TREES	CODE	BOTANICAL NAME
	PT2	POPULUS TREMULOIDES 'NE ARB'
	QH	QUERCUS X 'HERITAGE'

SHRUBS	CODE	BOTANICAL NAME
	RT	RHUS TYPHINA
	SE	SAMBUCUS CANADENSIS
	ST	STAPHYLEA TRIFOLIA
	VB	VIBURNUM TRILOBUM 'BAILEY COMPACT'

SHRUB AREAS	CODE	BOTANICAL NAME
	AM2	PERENNIAL BORDER ACHILLEA X 'MOONSHINE'
	CP2	COREOPSIS PALMATA
	HEL WAU	HELENIUM AUTUMNALE SALUD YELLOW
	RG2	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM'
	SS	SOLIDAGO SPECIOSA 'LITTLE LEMON'
	ZA	ZIZIA AUREA
	AT	ENTRY FEATURE PLANTING ASCLEPIAS TUBEROSA
	SCH LIT	SCHIZACHYRIUM SCOPARIUM
	AO	LOW GROWING SHRUB ARONIA MELANOCARPA 'UCONNAM165' TM
	DL	DIERVILLA LONICERA
	JO	JUNIPERUS VIRGINIANA 'GREY OWL'
	RG	RHUS AROMATICA 'GRO-LOW'
	COR EFD	WET MEADOW ENHANCEMENT PLANTINGS CORNUS SERICEA 'ARCTIC FIRE'
	IRI VE2	IRIS VERSICOLOR
	AST PUR	RAIN GARDEN PLANTING ASTER NOVAE-ANGLIAE 'PURPLE DOME'
	CAR VUL	CAREX VULPINOIDEA
	LOB CAR	LOBELIA CARDINALIS
	LOB BIG	LOBELIA SIPHILITICA 'BIG BLUE'
	MON DID	MONARDA DIDYMA
	RUD GO2	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM'

GROUND COVERS	CODE	BOTANICAL NAME
	-	SEED MIX - WET MEADOW

GENERAL PLANTING NOTES

- REFER TO SOILS PLAN FOR SOIL PREPARATION & LOCATIONS
- AREAS DISTURBED BY CONSTRUCTION ARE TO BE SEEDED & RESTORED UNLESS NOTED OTHERWISE. PROVIDE WOODLAND SEED MIX IN WOODLAND/ RIPARIAN ZONES; MESIC PRAIRIE SEED IN UPLAND/ FULL ZONES.



ISSUE	DATE	DESCRIPTION
0	09-14-2022	90% DESIGN DEVELOPMENT DRAWINGS

PROJECT MANAGER	ANDREW F. JUDD
PROJECT NUMBER	10268112

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THOMAS J WHITLOCK, PLA
DATE XX/XX/XXXX LICENSE # 26292

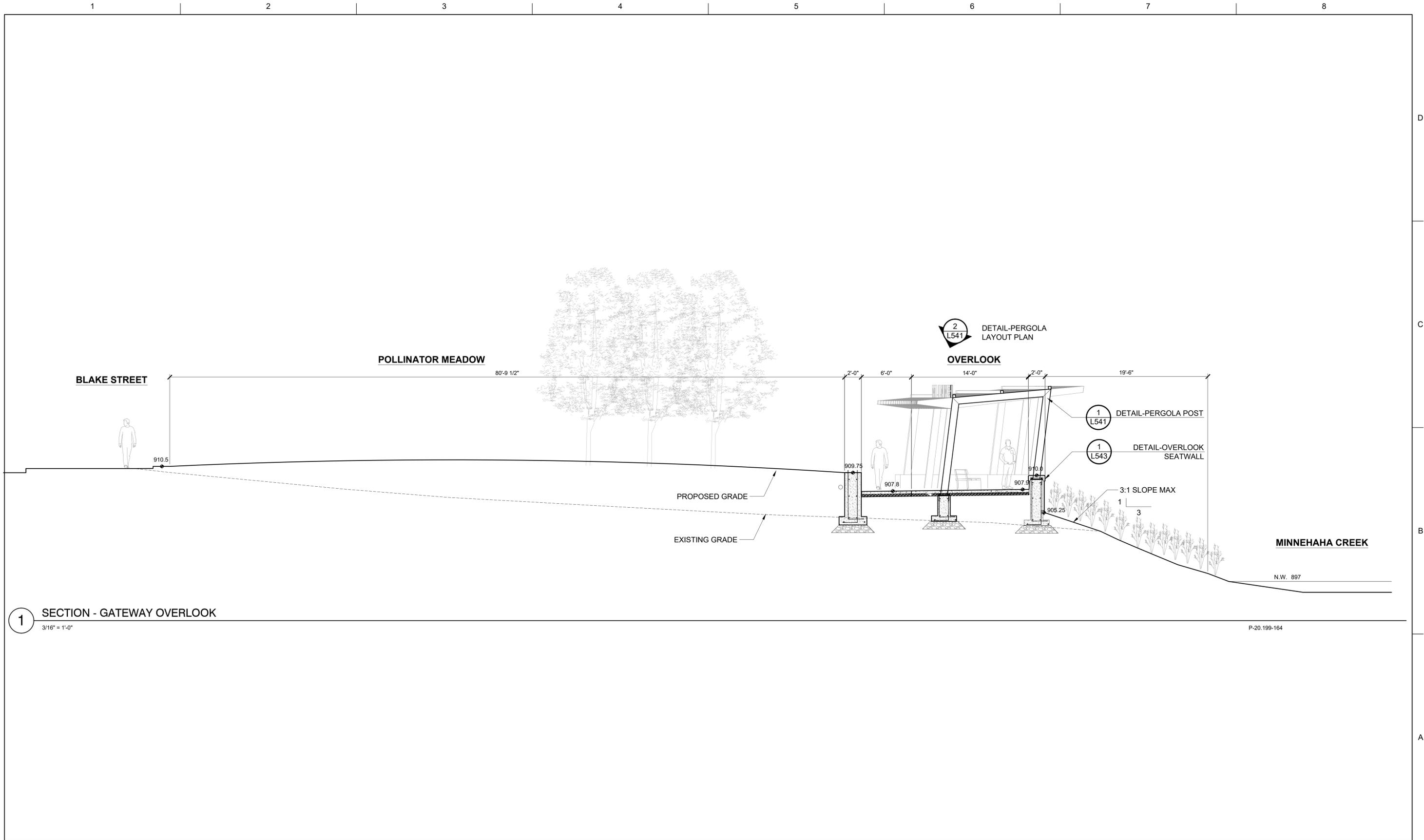
325 BLAKE RD REGIONAL STORMWATER AND GREENWAY

MINNEHAHA CREEK WATERSHED DISTRICT
325 BLAKE RD
HOPKINS, MN 55343

UNDERSTORY PLANTING PLAN ENLARGEMENT GATEWAY PLAZA



SHEET
L243



1 SECTION - GATEWAY OVERLOOK
3/16" = 1'-0"

P-20.199-164



MINNEHAHA CREEK WATERSHED DISTRICT



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325 BLAKE RD REGIONAL STORMWATER AND GREENWAY

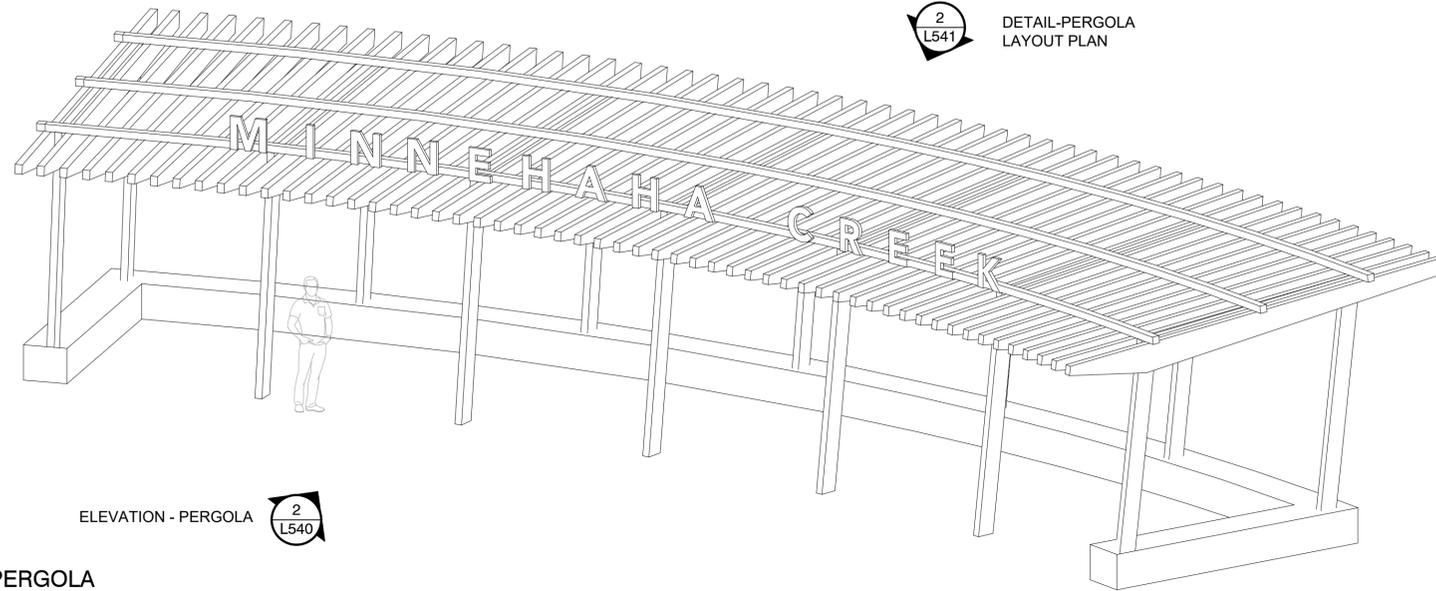
MINNEHAHA CREEK WATERSHED DISTRICT
325 BLAKE RD
HOPKINS, MN 55343

SITE SECTION - GATEWAY OVERLOOK



FILENAME
SCALE

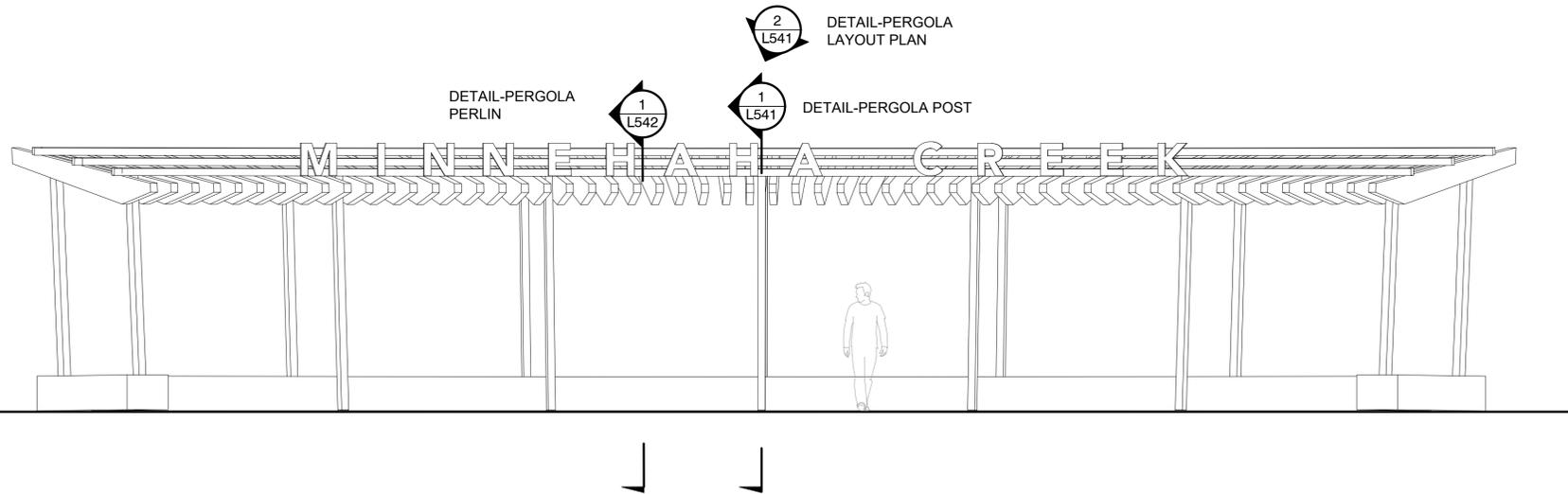
SHEET
L411



ELEVATION - PERGOLA **2**
L540

1 AXON-PERGOLA
1/4" = 1'-0"

P-20.199-166



2 ELEVATION - PERGOLA
1/4" = 1'-0"

P-20.199-165



MINNEHAHA CREEK
WATERSHED DISTRICT



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325 BLAKE RD REGIONAL STORMWATER
AND GREENWAY

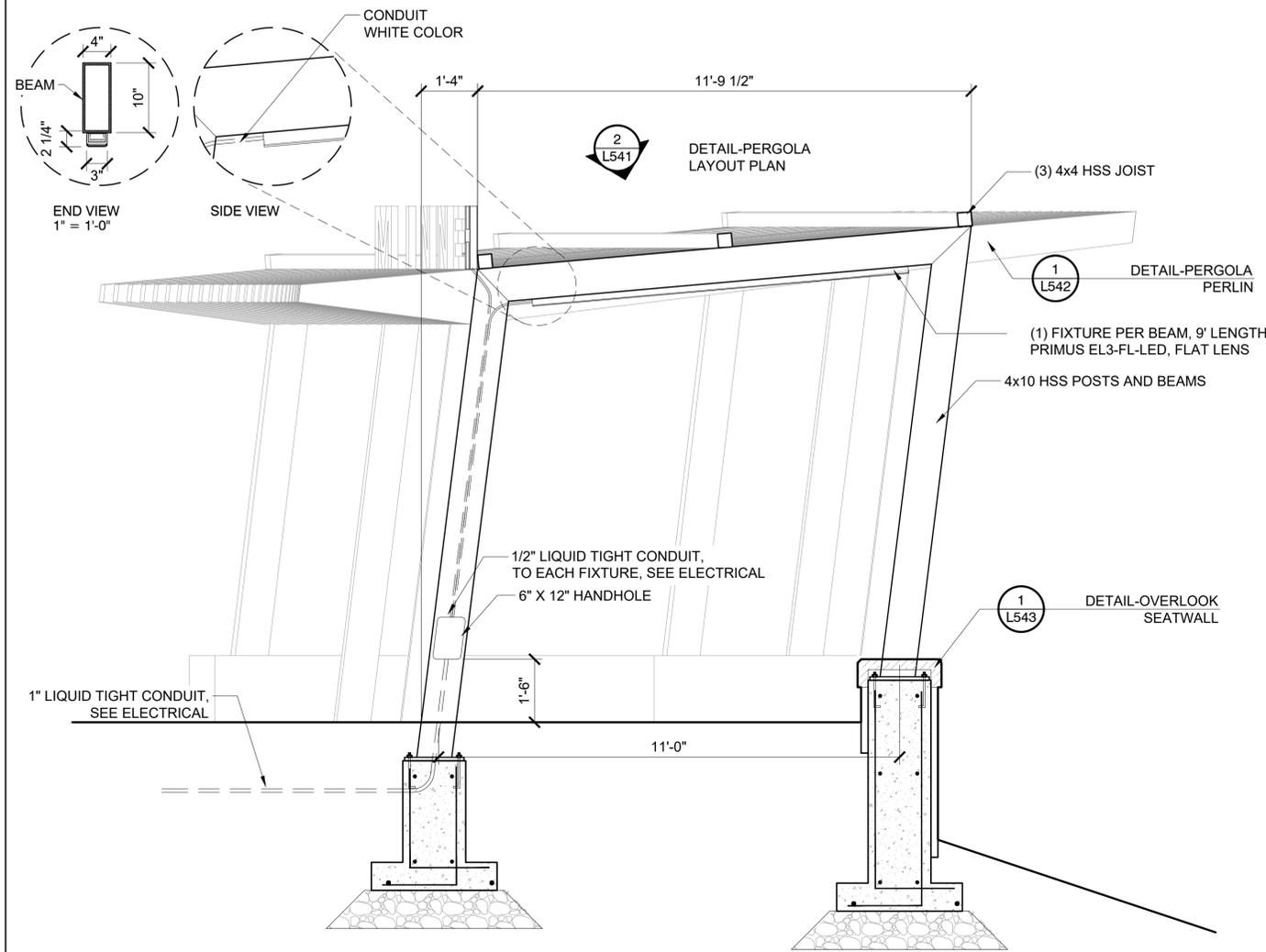
MINNEHAHA CREEK WATERSHED DISTRICT
325 BLAKE RD
HOPKINS, MN 55343

LANDSCAPE DETAILS - PERGOLA

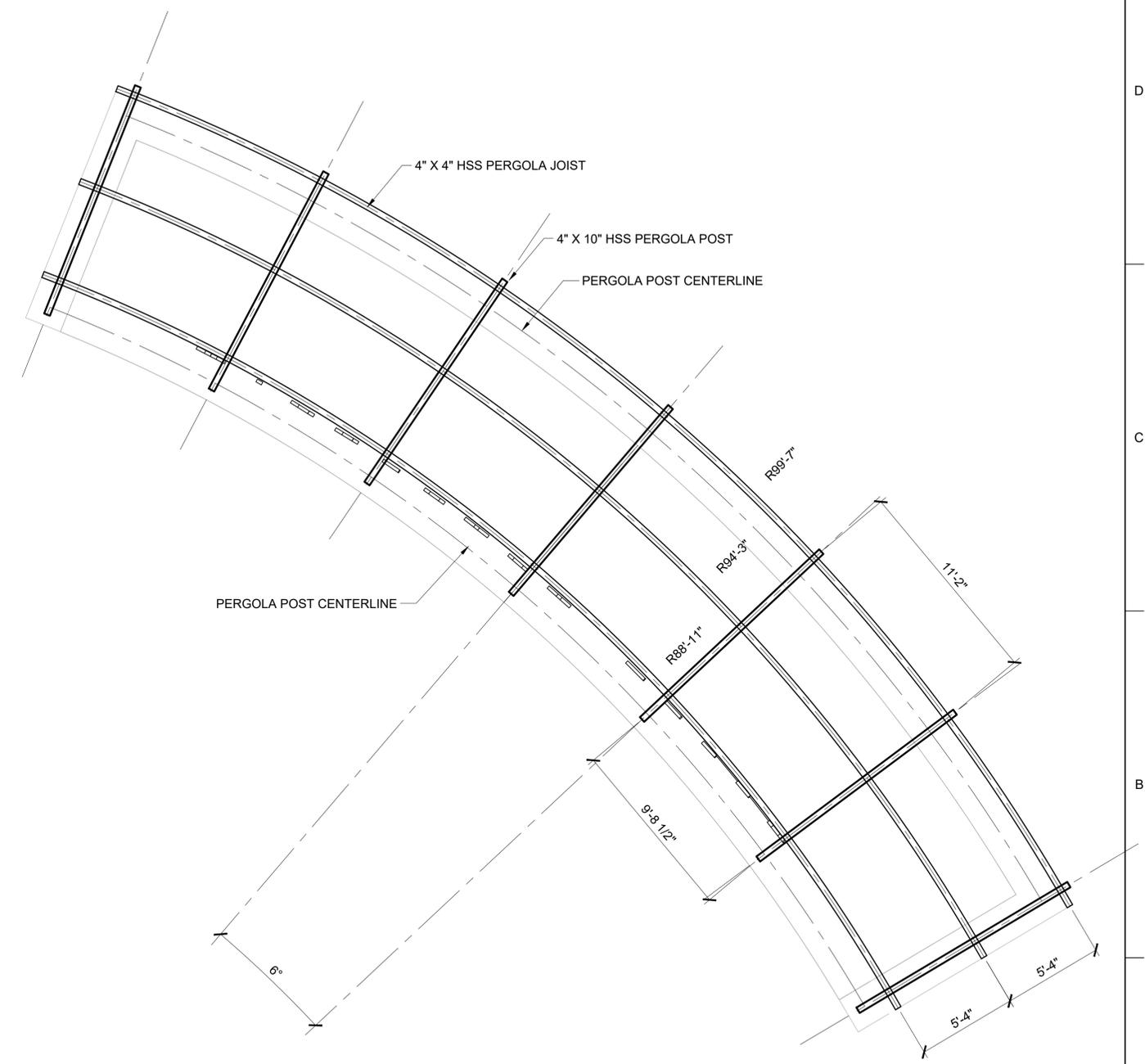


FILENAME
SCALE

SHEET
L540



1 DETAIL-PERGOLA POST
1/2" = 1'-0"



2 DETAIL-PERGOLA LAYOUT PLAN
1/4" = 1'-0"



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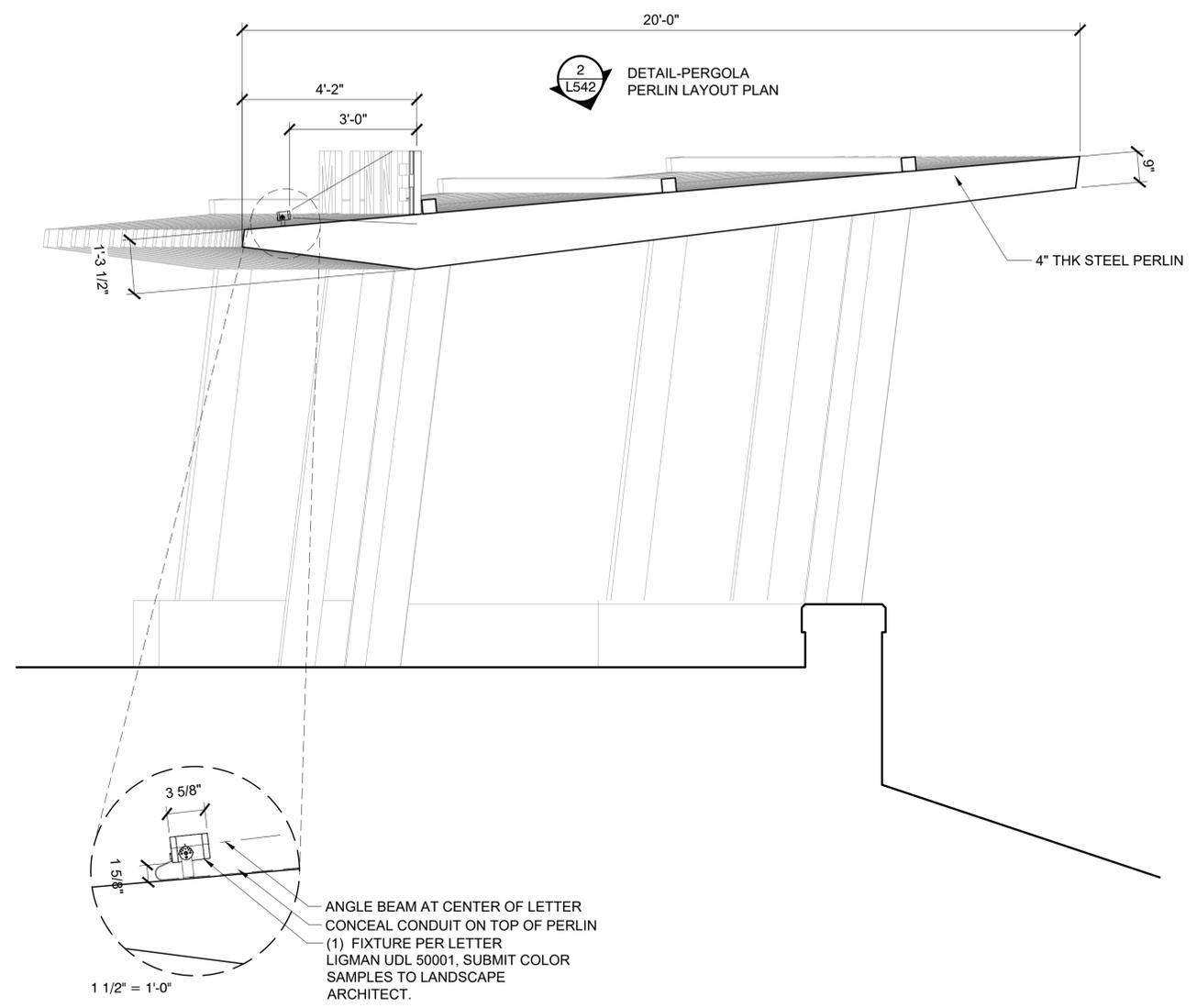
325 BLAKE RD REGIONAL STORMWATER AND GREENWAY

MINNEHAHA CREEK WATERSHED DISTRICT
325 BLAKE RD
HOPKINS, MN 55343

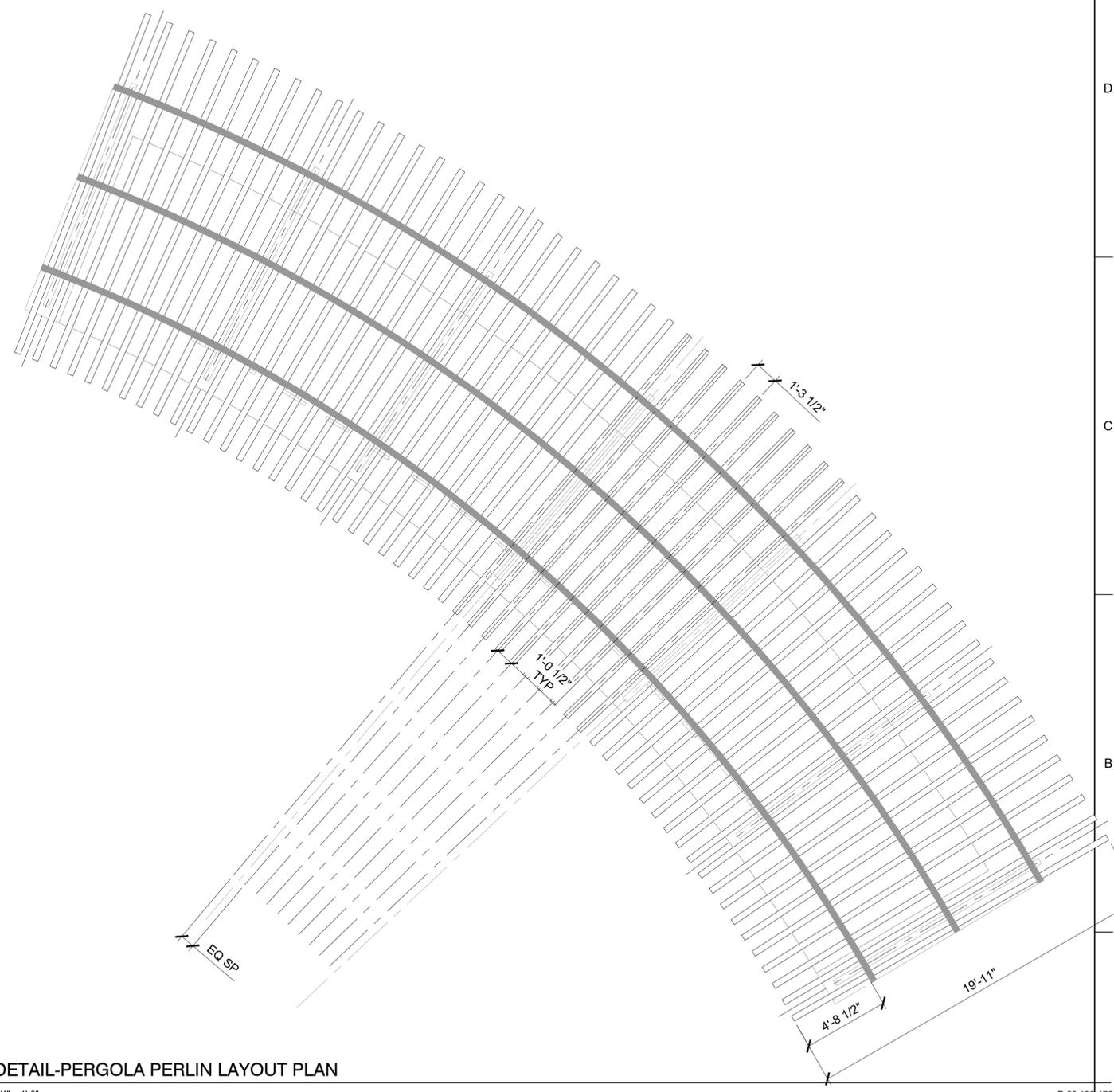
LANDSCAPE DETAILS - PERGOLA



SHEET
L541



1 DETAIL-PERGOLA PERLIN
1/2" = 1'-0"



2 DETAIL-PERGOLA PERLIN LAYOUT PLAN
1/4" = 1'-0"

P-20.199-168

P-20.199-172



MINNEHAHA CREEK
WATERSHED DISTRICT



DF/ DAMON FARBER
LANDSCAPE ARCHITECTS
401 North 2nd Avenue, Suite 410
Minneapolis, MN 55401 p: 612.332.7522

ISSUE	DATE	DESCRIPTION
0	09-14-2022	90% DESIGN DEVELOPMENT DRAWINGS

PROJECT MANAGER ANDREW F. JUDD

PROJECT NUMBER	10268112
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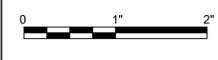
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

THOMAS J WHITLOCK, PLA
DATE XX/XX/XXXX LICENSE # 26292

325 BLAKE RD REGIONAL STORMWATER AND GREENWAY

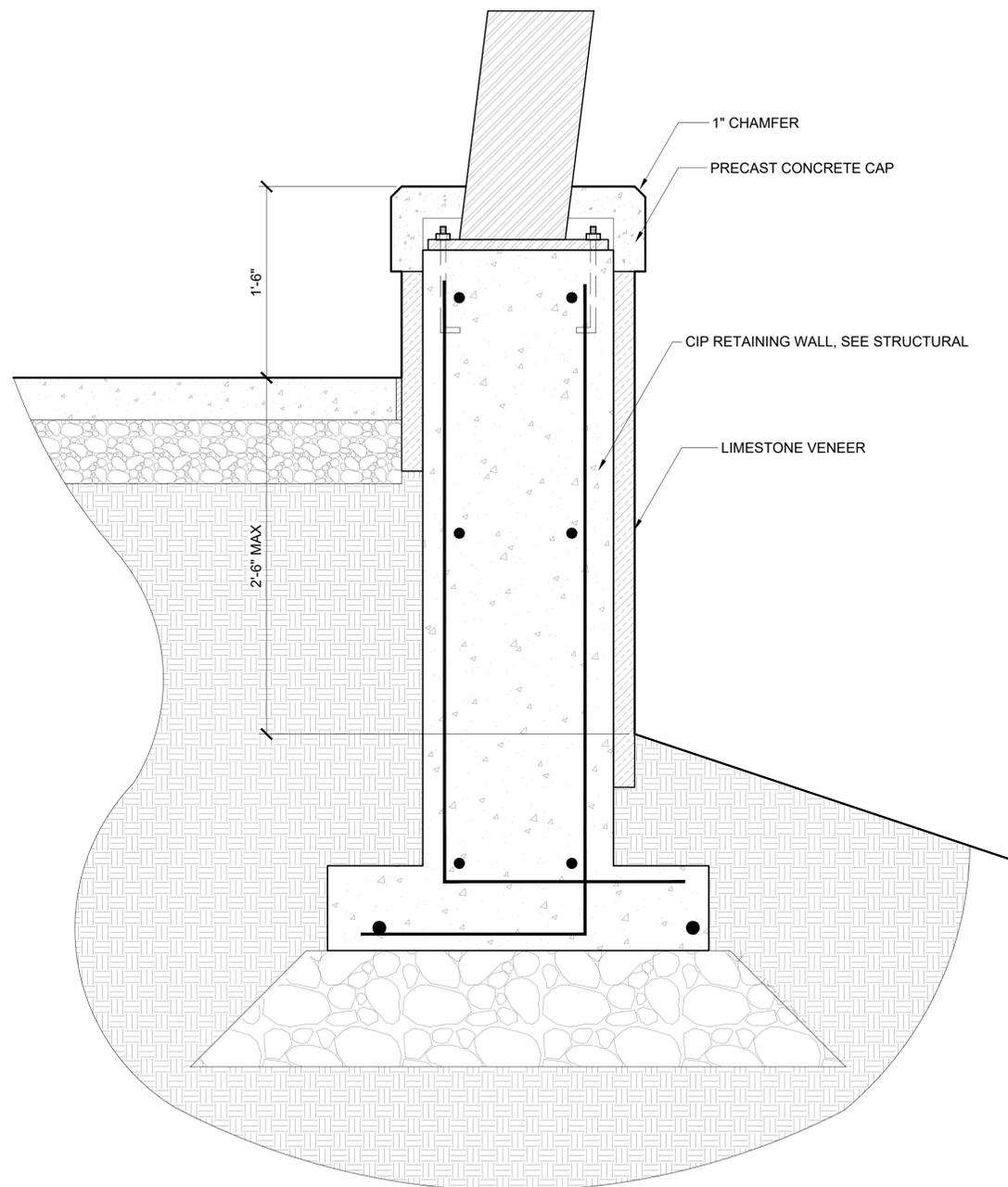
MINNEHAHA CREEK WATERSHED DISTRICT
325 BLAKE RD
HOPKINS, MN 55343

LANDSCAPE DETAILS - PERGOLA



FILENAME
SCALE

SHEET
L542



1 DETAIL-OVERLOOK SEATWALL
 1 1/2" = 1'-0"

P-20.199-169

2 DETAIL-OVERLOOK PAVING PLAN
 1/4" = 1'-0"

P-20.199-170



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 HOPKINS, MN 55343

LANDSCAPE DETAILS - PERGOLA



SHEET
 L543