

# PRELIMINARY DOCUMENTS

FOR  
**EXISTING CONDITIONS, REMOVALS, SITE,  
 GRADING, EROSION CONTROL, UTILITIES,  
 TREE PRESERVATION AND LANDSCAPE**

FOR  
**WESTWOOD COMMUNITY CHURCH -  
 HOPE HOUSE EXPANSION**

EXCELSIOR, MN

PREPARED FOR:

**WESTWOOD CHURCH**

3121 WESTWOOD DRIVE

EXCELSIOR, MN 55331

CONTACT: JIM THEIS

PHONE: 612-618-1727

EMAIL: JIM.THEIS@WESTWOODCC.ORG

PREPARED BY:

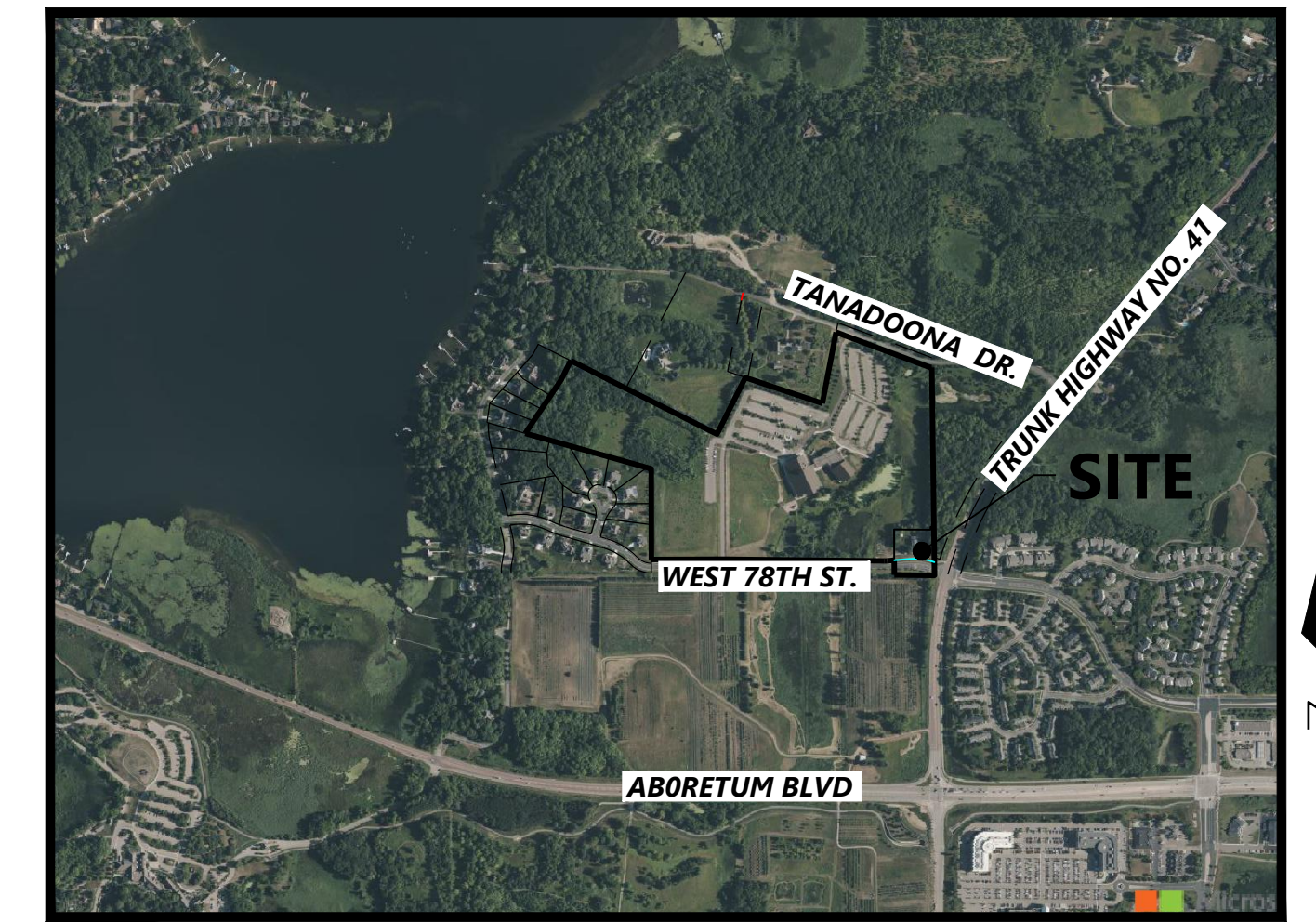
**Westwood**

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300  
 Fax (952) 937-5822 Minnetonka, MN 55343  
 Toll Free (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0032076.00

CONTACT: DAVID BADE



Vicinity Map  
 (NOT TO SCALE)

**SHEET INDEX**

Sheet List Table	
Sheet Number	Sheet Title
C001	Cover
C100	Existing Conditions and Removal Plan
C200	Site and Paving Plan
C300	Grading and Erosion Control Plan
C400	SWPPP Narrative
C401	SWPPP Notes & Maps
C500	Utility Plan
C600	Details
L100	Landscape Plan
L101	Landscape Notes + Details

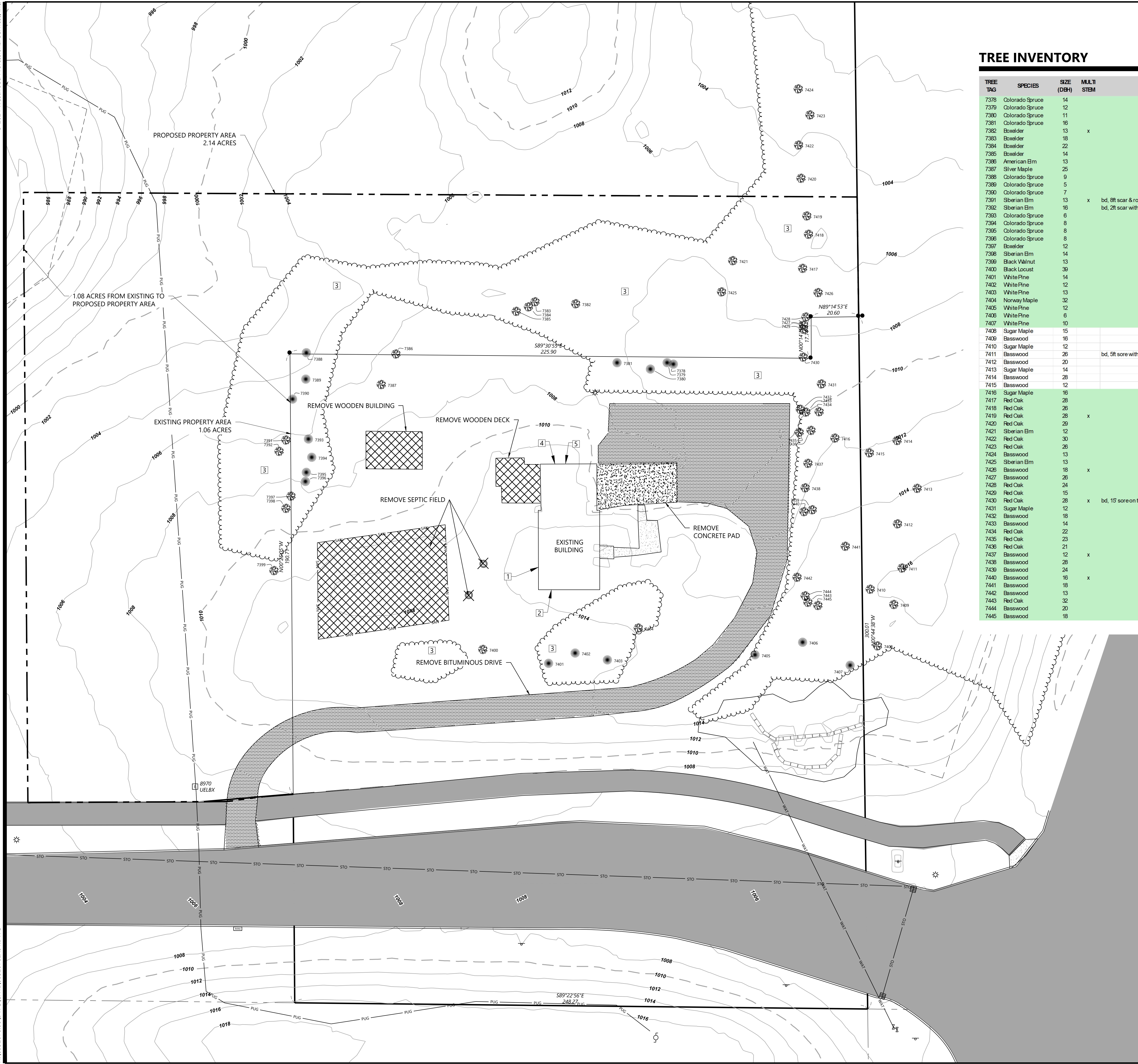
NO.	DATE	REVISION	SHEETS

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FOR  
 EXISTING CONDITIONS, REMOVALS, SITE, GRADING,  
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 FOR  
 WESTWOOD COMMUNITY CHURCH -  
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INITIAL SUBMITTAL DATE: 08/29/2024 SHEET: C001 OF 11

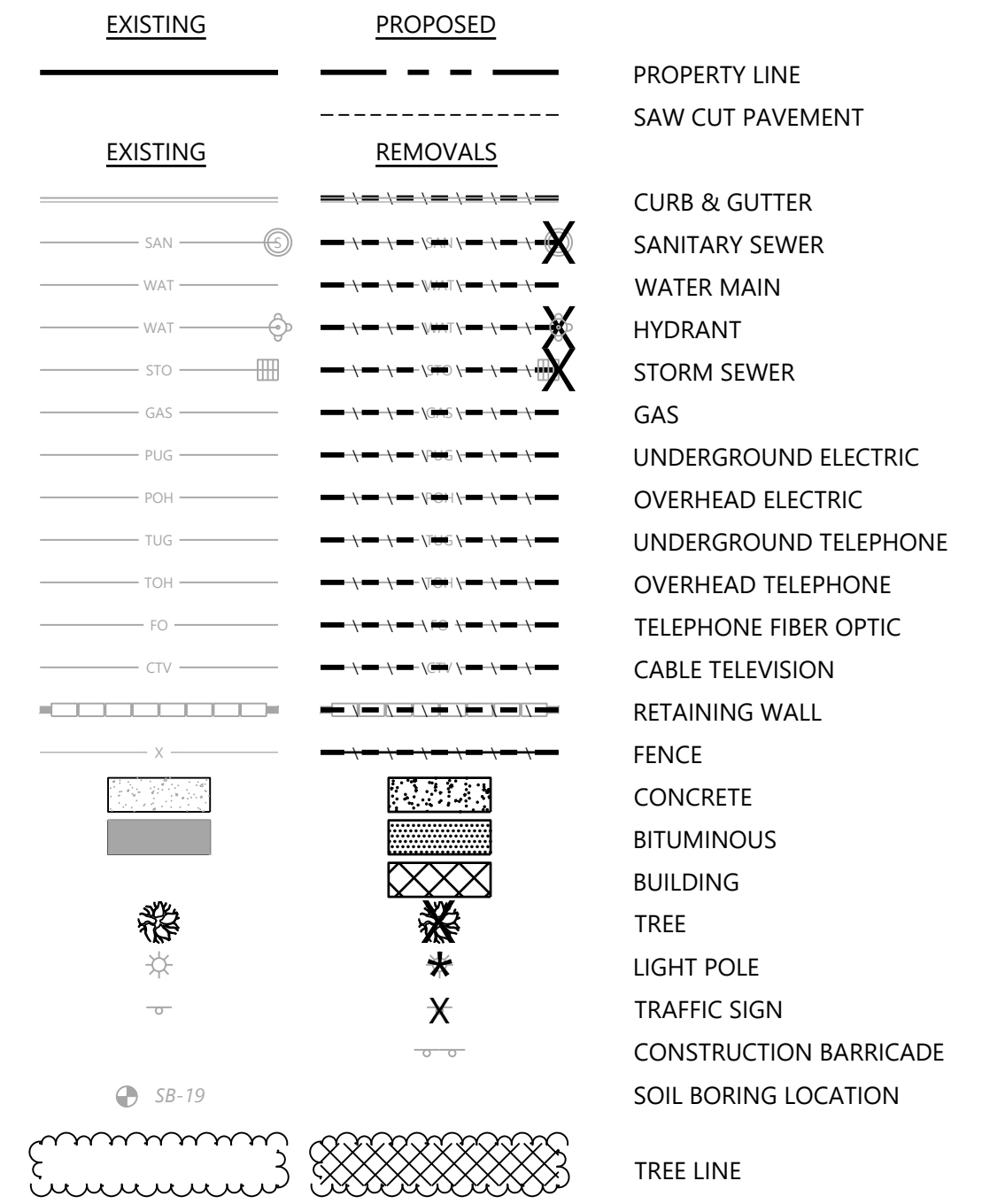




**TREE INVENTORY**

TREE TAG	SPECIES	SIZE (DBH)	MULTI STEM	NOTES	STATUS
7378	Colorado Spruce	14			Onsite
7379	Colorado Spruce	12			Onsite
7380	Colorado Spruce	11			Onsite
7381	Colorado Spruce	16			Onsite
7382	Boxelder	13	x		Onsite
7383	Boxelder	18			Onsite
7384	Boxelder	22			Onsite
7385	Boxelder	14			Onsite
7386	American Elm	13			Onsite
7387	Silver Maple	25			Onsite
7388	Colorado Spruce	9			Onsite
7389	Colorado Spruce	5			Onsite
7390	Colorado Spruce	7			Onsite
7391	Siberian Elm	13	x	bd, 8ft scar & rot on secondary trunk	Onsite
7392	Siberian Elm	16		bd, 2ft scar with rot at base of trunk	Onsite
7393	Colorado Spruce	6			Onsite
7394	Colorado Spruce	8			Onsite
7395	Colorado Spruce	8			Onsite
7398	Colorado Spruce	8			Onsite
7397	Boxelder	12			Onsite
7398	Siberian Elm	14			Onsite
7399	Black Walnut	13			Onsite
7400	Black Locust	39			Onsite
7401	White Pine	14			Onsite
7402	White Pine	12			Onsite
7403	White Pine	10			Onsite
7404	Norway Maple	32			Onsite
7405	White Pine	12			Onsite
7406	White Pine	6			Onsite
7407	White Pine	10			Onsite
7408	Sugar Maple	15			Offsite
7409	Basswood	16			Offsite
7410	Sugar Maple	12			Offsite
7411	Basswood	26		bd, 5ft sore with rot at base of trunk	Offsite
7412	Basswood	20			Offsite
7413	Sugar Maple	14			Offsite
7414	Basswood	28			Offsite
7415	Basswood	12			Offsite
7416	Sugar Maple	16			Onsite
7417	Red Oak	28			Onsite
7418	Red Oak	26			Onsite
7419	Red Oak	28	x		Onsite
7420	Red Oak	29			Onsite
7421	Siberian Elm	12			Onsite
7422	Red Oak	30			Onsite
7423	Red Oak	26			Onsite
7424	Basswood	13			Onsite
7425	Siberian Elm	13			Onsite
7426	Basswood	18	x		Onsite
7427	Basswood	26			Onsite
7428	Red Oak	24			Onsite
7429	Red Oak	15			Onsite
7430	Red Oak	28	x	bd, 15' sore on trunk with rot	Onsite
7431	Sugar Maple	12			Onsite
7432	Basswood	18			Onsite
7433	Basswood	14			Onsite
7434	Red Oak	22			Onsite
7435	Red Oak	23			Onsite
7436	Red Oak	21			Onsite
7437	Basswood	12	x		Onsite
7438	Basswood	28			Onsite
7439	Basswood	24			Onsite
7440	Basswood	16	x		Onsite
7441	Basswood	18			Onsite
7442	Basswood	13			Onsite
7443	Red Oak	32			Onsite
7444	Basswood	20			Onsite
7445	Basswood	18			Onsite

**REMOVAL LEGEND**



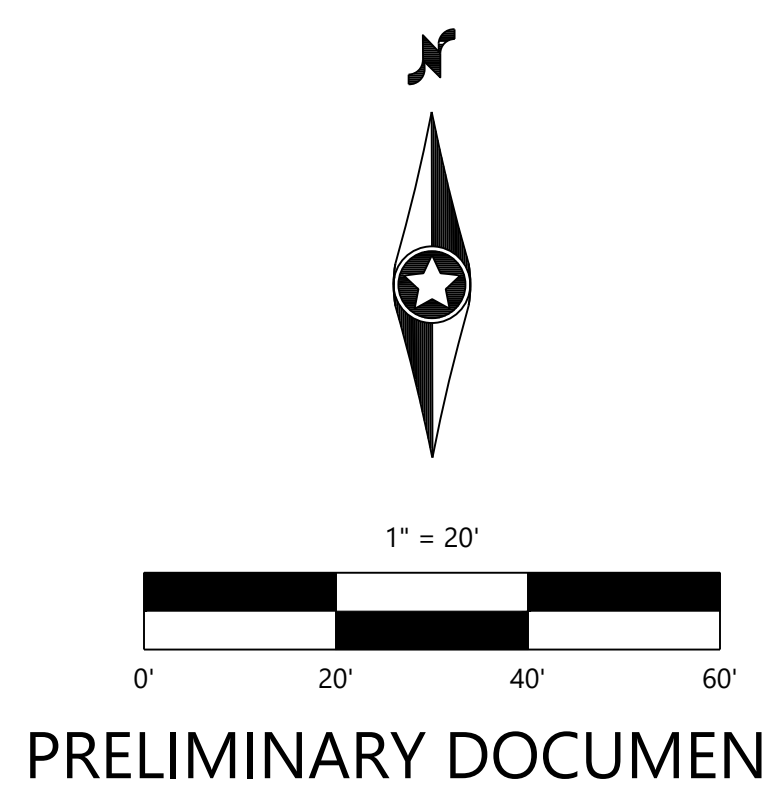
**REMOVAL NOTES**

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

**SITE KEYNOTES**

- VERIFY EXISTING SANITARY/SEPTIC LINE LOCATION DEPTH AND CONDITION. DOCUMENT WITH MEASUREMENTS AND PICTURES.
- VERIFY EXISTING WELL LOCATION AND DOCUMENT.
- REMOVE EXISTING TREES AND SHRUBS AS REQUIRED FOR NEW SITE, GRADING, DRAINAGE, AND UTILITIES.
- VERIFY NEW LOCATION FOR SANITARY SEWER SERVICE AND PROVIDE DESIGN/BUILD INFORMATION TO ENGINEER AND ARCHITECT.
- VERIFY NEW LOCATION OF GAS SERVICE AND METER.

Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance



DESIGNED: EJK  
 CHECKED: GAB  
 DRAWN: EJK/DW  
 HORIZONTAL SCALE: 30'  
 VERTICAL SCALE: # of 2'

INITIAL ISSUE: 08/29/2024  
 REVISIONS:

PREPARED FOR: **WESTWOOD CHURCH**  
 3121 WESTWOOD DRIVE  
 EXCELSIOR, MN 55331

DATE: 08/29/2024 LICENSE NO. 40409

**Westwood**  
 (852) 937-5100 12701 Whiteaker Drive, Suite 8000  
 (852) 937-5022 Minneapolis, MN 55433  
 Phone Fax  
 Westwood Professional Services, Inc.

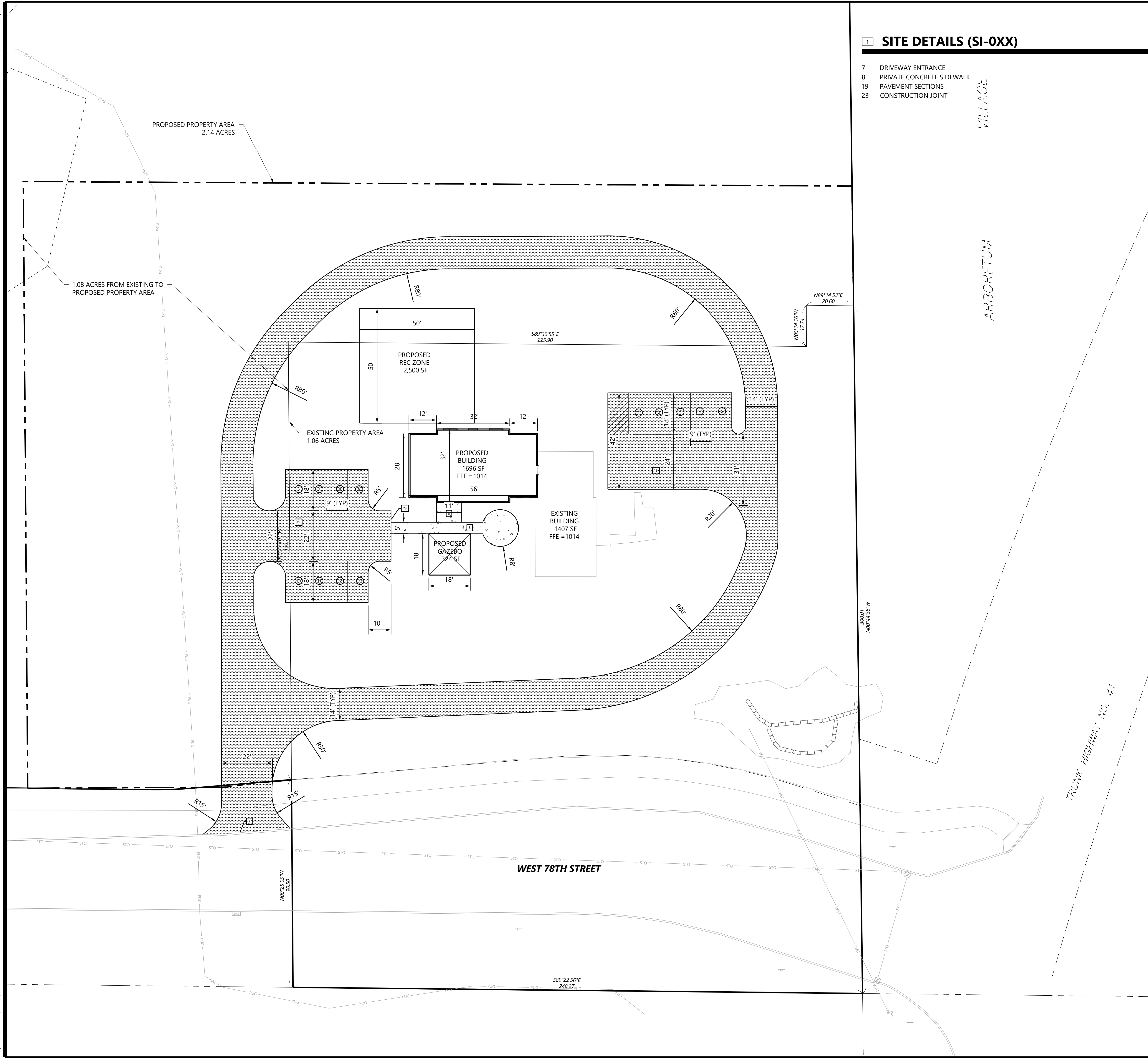
**EXISTING CONDITIONS AND REMOVAL PLAN**

SHEET NUMBER:  
**C100**

DATE: 08/29/2024  
 PROJECT NUMBER: 0032076.00

HOPE HOUSE EXPANSION





### 1 SITE DETAILS (SI-0XX)

- 7 DRIVEWAY ENTRANCE
- 8 PRIVATE CONCRETE SIDEWALK
- 19 PAVEMENT SECTIONS
- 23 CONSTRUCTION JOINT

### SITE LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	TIP-OUT CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	NORMAL DUTY BITUMINOUS PAVEMENT
---	---	NUMBER OF PARKING SPACES
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD / POST

### GENERAL SITE NOTES

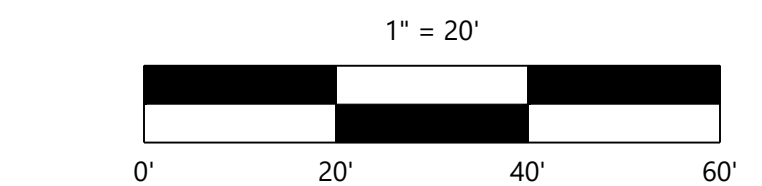
- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY **WESTWOOD PROFESSIONAL SERVICES, INC.**
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO EDGE OF BITUMINOUS OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.

### PAVING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.

### SITE DEVELOPMENT SUMMARY

PROPOSED ZONING:	<b>R-2, Church-Other Residence</b>
PARCEL DESCRIPTION:	<b>LOT 3010 - 250093200</b>
EXISTING PROPERTY AREA:	<b>47,045 SF (1.08 AC)</b>
PROPOSED PROPERTY AREA:	<b>93,218 SF (2.14 AC)</b>
EXISTING IMPERVIOUS SURFACE:	<b>15,705 SF (33.8%)</b>
PROPOSED IMPERVIOUS SURFACE:	<b>23,591 SF (25.3%)</b>
BUILDING GROSS SIZE:	<b>3,099 SF</b>
BUILDING SETBACK PER CODE:	<b>35' - FRONT 30' - REAR 15' - SIDE</b>
PARKING SPACE/DRIVE AISLE:	<b>9' WIDE X 18' LONG, 24' AISLE</b>
PARKING RATIO REQUIREMENT:	<b>CITY OF EXCELSIOR 1 SPACE / 300 SF OF BLDG</b>
HOUSE (3,009/300):	<b>10.33 SPACES</b>
TOTAL SPACES REQUIRED:	<b>11 SPACES</b>
PARKING PROVIDED:	<b>13 SPACES</b>



PRELIMINARY DOCUMENTS

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**811 or call811.com**  
 Common Ground Alliance

DESIGNED:	EJK
CHECKED: <td>GAB</td>	GAB
DRAWN: <td>EJK/DW</td>	EJK/DW
HORIZONTAL SCALE:	30'
VERTICAL SCALE:	# of 2'

PREPARED FOR:  
**WESTWOOD CHURCH**  
 3121 WESTWOOD DRIVE  
 EXCELSIOR, MN 55331

DESIGNED BY:  
 WESTWOOD PROFESSIONAL SERVICES, INC.  
 12701 Whitewater Drive, Suite 8000  
 Excelsior, MN 55331  
 Phone: (612) 937-5100  
 Fax: (612) 937-5022  
 Email: info@westwoodpro.com  
 Website: www.westwoodpro.com

**HOPE HOUSE EXPANSION**  
 EXCELSIOR, MN

**Westwood**  
 12701 Whitewater Drive, Suite 8000  
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**SITE AND PAVING PLAN**

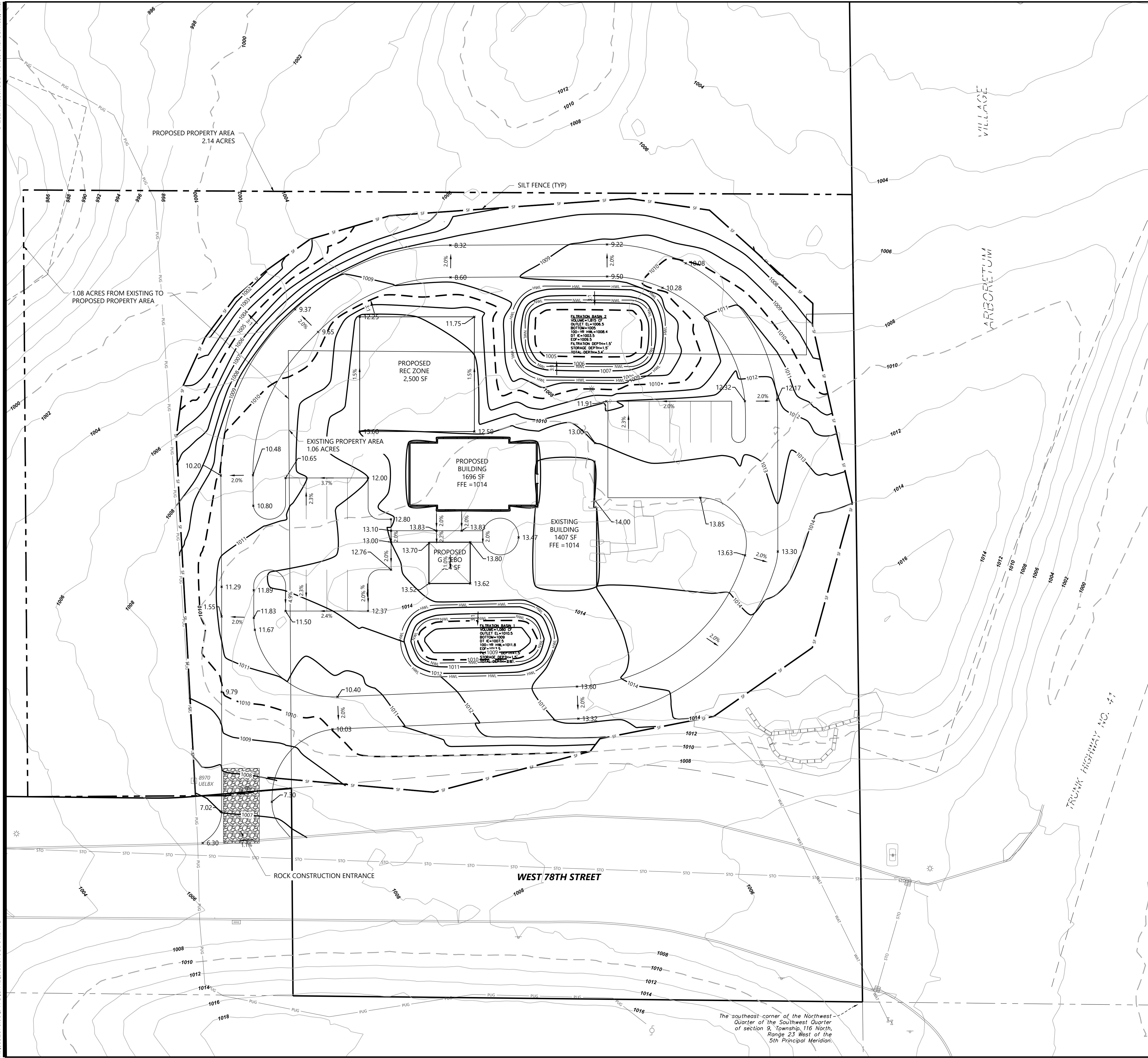
SHEET NUMBER:

**C200**

DATE: 08/29/2024

PROJECT NUMBER: 0032076.00

HOPE HOUSE EXPANSION



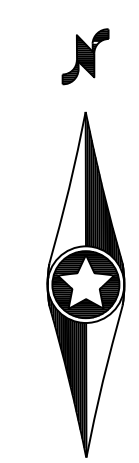
### GRADING & EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		HEAVY DUTY SILT FENCE
		REDUNDANT SILT CONTROL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		GRADING LIMITS
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		EMERGENCY OVERTFLOW
		SOIL BORING LOCATION

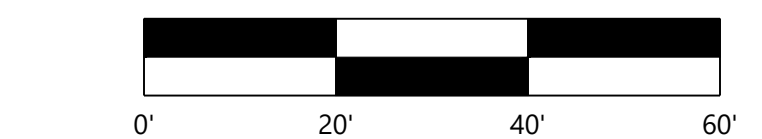
### GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance



1" = 20'



PRELIMINARY DOCUMENTS

DESIGNED:	EJK
CHECKED:	GAB
DRAWN:	EJK/DW
HORIZONTAL SCALE:	30'
VERTICAL SCALE:	# OF 2'

INITIAL ISSUE: 08/29/2024  
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**WESTWOOD CHURCH**  
 3121 WESTWOOD DRIVE  
 EXCELSIOR, MN 55331

VERIFY EVERYTHING THAT THE PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA  
 DAVID BADE  
 DATE: 08/29/2024 LICENSE NO.: 40409

**HOPE HOUSE EXPANSION**  
 EXCELSIOR, MN

**Westwood**  
 12701 Whitewater Drive, Suite 8000  
 (828) 937-5180  
 (828) 937-5822  
 Phone  
 Fax  
 Email: westwood@westwoodps.com  
 Westwood Professional Services, Inc.

**GRADING AND EROSION CONTROL PLAN**

SHEET NUMBER:

**C300**

DATE: 08/29/2024

PROJECT NUMBER: 0032076.00

HOPE HOUSE EXPANSION

The southeast corner of the Northwest Quarter of the Southwest Quarter of section 9, Township 116 North, Range 23 West of the 5th Principal Meridian.



SWPPP NARRATIVE

THE SWPPP IS PREPARED IN ACCORDANCE WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REGULATIONS AS ESTABLISHED BY THE CLEAN WATER ACT. THE MINNESOTA POLLUTION CONTROL AGENCY'S CONSTRUCTION GENERAL PERMIT MN R10001 (CSGP) (EXPIRATION DATE: JULY 31, 2028) PROVIDES A FRAME WORK OF REQUIREMENTS FOR COMPLIANCE TO DISCHARGE STORMWATER FROM A CONSTRUCTION SITE.

THE SWPPP IS FOR IMPLEMENTATION BY THE OWNER AND OPERATOR, AS LISTED BELOW, AT HOPE HOUSE. THIS REPORT SHALL BE ON THE SITE AT ALL TIMES DURING CONSTRUCTION. THE OWNER MUST ALSO KEEP THIS SWPPP ON FILE FOR THREE YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION. THE FOLLOWING ARE OUTLINED IN THIS SWPPP:
- CONTROL MEASURES FOR STORM WATER POLLUTION PREVENTION PRIOR TO AND DURING CONSTRUCTION
- CONTROL MEASURES FOR STORM WATER POLLUTION PREVENTION AFTER CONSTRUCTION
- SOURCES OF STORMWATER AND NON-STORMWATER POLLUTION
- INSPECTION AND MAINTENANCE PROCEDURES

THE GRADING AND EROSION CONTROL PLAN PREPARED FOR HOPE HOUSE SHALL BE CONSIDERED PART OF THE SWPPP.

PROJECT LOCATION

THIS DOCUMENT PRESENTS A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR HOPE HOUSE IN EXCELSIOR, MN. THE SITE IS LOCATED IN THE THE NORTHWEST INTERSECTION OF WEST 78TH STREET AND HAZELTINE BLVD, SOUTHEAST OF THE WESTWOOD COMMUNITY CHURCH .

PROJECT CONTACT INFORMATION

Table with contact information for Owner/Developer (Jim Theis), SWPPP Designer (Shari Ahrens), and BMP Installer (See Contractor).

OWNER/OPERATOR RESPONSIBILITIES

- OWNER
-DEVELOPMENT OF SWPPP PRIOR TO APPLICATION/NOI SUBMITTAL.
-SUBMIT A COMPLETE AND ACCURATE APPLICATION FORM (NOI)
-COMPLIANCE WITH ALL TERMS AND CONDITIONS OF CONSTRUCTION GENERAL STORMWATER PERMIT
-SWPPP SUBMITTAL FOR 30 DAY REVIEW FOR PROTECT GREATER THAN 50 ACRES & DISCHARGING TO SPECIAL/IMPAIRED WATERS WITHIN 1 MILE OF SITE DISCHARGE.

OPERATOR

- COMPLETION OF AN ACCURATE NOI WITH THE OWNER
-COMPLIANCE WITH CSGP SECTIONS 3, 4, 6-22, 24 AND ANY APPLICABLE REQUIREMENTS FOR CONSTRUCTION ACTIVITY IN SECTION 23 (MINN. R. 7090)
-KEEPING THE PERMIT UP-TO-DATE WITH THE OWNER (PARTIAL, WHOLE, CONTRACTOR, BUILDER, ETC)
-COMLETE AND SIGN APPLICATIONS FOR PERMIT TRANSFER AND MODIFICATION AND NOTICE OF TERMINATION WITH OWNER AS NEEDED.

PROJECT DESCRIPTION

THE SITE IS APPROXIMATELY 2.14 ACRES. CONSTRUCTION WILL CONSIST OF, BUT IS NOT LIMITED TO: MASS GRADING OF SITE, STORM SEWER, RECONSTRUCTION OF DRIVEWAY, AND HOME COMPLEX .

Table showing Project Area = 2.14 Acres, Disturbed Area = 1.48 Acres, Existing Impervious Area = 15,858 SF, Proposed Impervious Area = 23,591 SF.

PRE-DEVELOPMENT SITE CONDITIONS

THE SITE WILL INCLUDE THE EXISTING SITE IS 1.08 ACRES WITH 1.06 ACRES OF THE ADJACENT LOT. THAT AREA CONTAINS A BUILDING COMPLEX, SEPTIC SYSTEM, DRIVEWAY, AND PARKING LOT. FOR A TOTAL OF 0.3 ACRES OF IMPERVIOUS. THE EXISTING SITE DRAINS IN THREE DIRECTIONS. A PORTION DRAINS NORTHEAST AND NORTHWEST TO AN EXISTING WETLAND AND ANOTHER PORTION DRAINS SOUTH TO WEST 78TH STREET.

SOIL TYPES

THE SITE CONTAINS MAINLY CLAY TYPE SOIL SUCH AS KILKENNY-LESTER LOAMS, AND LESTER KILKENNY COMPLEX THAT IS MODERATELY ERODED. REFER TO USDA WEB SOIL SURVEY WEBSITE DATED 08/29/2024.

POST-DEVELOPMENT SITE CONDITION

THE PROPOSED SITE WILL EXPAND TO 2.14 ACRES. SITE VEGETATION WILL CONSIST OF SOD, MULCH, AND NATIVE GRASSES AS SPECIFIED IN THE LANDSCAPE PLANS. THE DRIVEWAY AND PARKING LOT WILL BE REDEVELOPED WITH AN ADDITIONAL PARKING LOT AND ROADWAY. THE NEW IMPERVIOUS AREAS WILL BE DIRECTED TO ONE OF TWO RAIN GARDENS/FILTRATION BASINS. BASIN 1 THAT WILL DISCHARGE DIRECTLY OFFSITE TO THE NORTHWEST EXISTING WETLAND. BASIN 2 WILL DRAIN OFFSITE TO THE NORTHEAST EXISTING WETLAND. THE REMAINING SITE WILL DRAIN SOUTH OF WEST 78TH STREET.

STORM WATER MANAGEMENT PLAN

THE TEMPORARY STORMWATER MANAGEMENT PLAN WILL CONSIST OF IF FIVE OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, TEMPORARY SEDIMENT BASINS WILL BE LOCATED AT THE PROPOSED PERMANENT POND LOCATIONS. THESE TEMPORARY BASINS WILL BE CONVERTED INTO PERMANENT BASINS DURING FINAL GRADING CONSTRUCTION. THE BASINS SHALL BE SIZED TO PROVIDE LIVE STORAGE FOR THE VOLUME OF RUNOFF FROM A 2-YEAR 24 HOUR STORM, AND A MINIMUM 1,800 CUBIC FEET PER ACRE OF DRAINAGE. SEE STORM WATER REPORT FOR DESIGN CALCULATIONS.

THE PERMANENT STORM WATER MANAGEMENT PLAN WILL CONSIST OF CONSTRUCTING TWO RAIN GARDENS/FILTRATION BASINS. FILTRATION BASINS ARE PROVIDED TO MEET THE CITY AND WATERSHED REQUIREMENT OF 1.1" OF VOLUME REDUCTION FROM NEW IMPERVIOUS SURFACE. THE FILTRATION BASIN WILL BE 1.5 FEET DEEP AND WILL HAVE 1.5 FEET FILTER MEDIA TO MAINTAIN A 0.45 IN/HOUR FOR 48 HOURS OF DRAWDOWN. THE BASINS ARE PROPOSED TO MEET WATER QUALITY AND RATE CONTROL REQUIREMENTS. THE CITY OF CHANHASSEN, MN WILL BE RESPONSIBLE FOR THE LONG TERM MAINTENANCE AND OPERATION OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM. DETAILED DRAINAGE AREA MAPS ARE INCLUDED IN THE STORM WATER REPORT FOR THE SITE.

REFER TO THE HOPE HOUSE STORMWATER MANAGEMENT REPORT FOR MORE INFORMATION REGARDING THE PRE-DEVELOPMENT SITE CONDITIONS, POST-DEVELOPMENT SITE CONDITIONS, STORM WATER MANAGEMENT CALCULATIONS, AND DRAINAGE AREA MAPS.

THE SITE STORM WATER DETENTION FACILITY WILL BE CONSTRUCTED TO MEET OR EXCEED LOCAL, STATE AND FEDERAL REQUIREMENTS.

RECEIVING WATERS WITHIN 1 MILE OF THE PROJECT SITE

Table with columns: NAME, TYPE, IMPAIRED (Y/N), SPECIAL (Y/N), DISTANCE/ DIRECTION FROM SITE. Row: MINNEWASHTA LAKE, Y, N, .55 MILES.

\*LAKE MINNEWASHTA IS IMPAIRED FOR FISH BIOASSESSMENTS; MERCURY IN FISH TISSUE.

TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMP'S ALONG WITH THE PROCEDURES TO BE USED TO ESTABLISHED ADDITIONAL TEMPORARY BMP'S AS NECESSARY FOR SITE CONDITIONS DURING CONSTRUCTION ARE IDENTIFIED ON THE SITE GRADING AND EROSION CONTROL PLAN PREPARED FOR THE DEVELOPMENT OF THIS PROJECT, AND WITHIN THE PROJECT STORM WATER POLLUTION PREVENTION PLAN.

POTENTIAL STORM WATER POLLUTANTS

POTENTIAL POLLUTANT SOURCES, INCLUDING CONSTRUCTION AND WASTE MATERIALS THAT ARE USED OR STORED AT THE SITE, ARE DESCRIBED IN THE SECTION. BY IMPLEMENTATION OF THESE BMPS, THE POTENTIAL POLLUTANT SOURCES ARE NOT REASONABLY EXPECTED TO AFFECT THE STORM WATER DISCHARGES FROM THE SITE.

CONSTRUCTION MATERIALS, CHEMICALS AND WASTE MATERIALS THAT WILL BE USED OR STORED AT THE SITE:

Table with columns: POTENTIAL POLLUTANT, LOCATION, CONTROL MEASURE. Lists items like Antifreeze, Diesel Fuel, Fertilizer, Gasoline, Glue/Adhesives, Hydraulic Oils/Fluids, Paints, Grease, Sanitary Waste, Soil Amendments, Landscaping Materials, Concrete, and Concrete/Mortar.

CONSTRUCTION SEQUENCE

THE INTENDED SEQUENCING OF MAJOR SITE CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

- 1. INSTALL PERIMETER CONTROL DEVICES (SILT FENCE, BIO-LOGS, ETC.) AND INLET PROTECTION TO EXISTING STRUCTURES AS SHOWN ON PLAN.
2. INSTALL TREE PROTECTION FENCE AS SHOWN ON PLAN.
3. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE.
4. CLEAR AND GRUB SITE.
5. STRIP AND STOCKPILE TOPSOIL.
6. ROUGH GRADE OF SITE.
7. STABILIZE DENUDED AREAS AND STOCKPILES.
8. INSTALL SANITARY SEWER, WATERMAIN, STORM SEWER AND SERVICES.
9. INSTALL INLET PROTECTION AROUND CATCH BASINS.
10. INSTALL STREET SECTION.
11. INSTALL CURB AND GUTTER.
12. INSTALL PAVEMENT.
13. INSTALL SMALL UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.)
14. FINE GRADE BOULEVARD, LANDSCAPE AREAS, SEED AND MULCH.
15. REMOVE ACCUMULATED SEDIMENT.
16. FINAL GRADE.
17. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOD AND LANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

CONSTRUCTION NOTES

IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCKPILE OF EROSION CONTROL DEVICES AND SEDIMENT CONTROL BMP'S ON SITE AT ALL TIMES FOR IMMEDIATE USAGE. IN THE EVENT OF AN ACCIDENTAL SEDIMENT DISCHARGE TO WATERS OF THE STATE, OR ANY DISCHARGE OF HAZARDOUS MATERIAL OF REPORTABLE QUANTITY, CONTACT THE MPCA STATE DUTY OFFICER AT 1-800-422-0798.

TIMING OF BMP INSTALLATION

THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED TO MINIMIZE EROSION FROM DISTURBED SURFACES AND CAPTURE SEDIMENT ON SITE. THE FOLLOWING LIST DEFINES THE TIMING OF EROSION PREVENTION AND SEDIMENT CONTROL MEASURES IN SPECIFIC AREAS.

- PRIOR TO START OF CONSTRUCTION
THE FOLLOWING EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE SHOWN IN THE PLANS AND SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION:
1. INSTALL SILT FENCE OR OTHER SEDIMENT CONTROL AROUND THE PERIMETER OF AREAS TO BE GRADED AND ALL AREAS WHICH ARE NOT TO BE DISTURBED AS SHOWN ON THE GRADING AND EROSION CONTROL PLAN.
2. CONSTRUCT GRAVEL CONSTRUCTION ENTRANCES AT FIELD ENTRANCES TO THE SITE AS SHOWN ON THE CONSTRUCTION PLANS.
3. INLET PROTECTION IS TO BE INSTALLED AT ALL STORM WATER INLETS WHICH HAVE THE POTENTIAL TO RECEIVE STORM WATER RUNOFF FROM THE CONSTRUCTION SITE WITHIN 200 FEET OF LIMITS OF CONSTRUCTION.
4. INSTALL SILT FENCE OR OTHER SEDIMENT CONTROL AROUND ALL TEMPORARY INACTIVE STOCKPILES. ALL SILT FENCES FOR STOCKPILES SHALL BE INCIDENTAL TO GRADING CONTRACT IF STOCKPILES ARE PLACED OUTSIDE OF SILT FENCES SHOWN ON THE PLAN.

DURING CONSTRUCTION
THE FOLLOWING EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE SHOWN IN THE PLANS AND SHALL BE IMPLEMENTED DURING CONSTRUCTION:
1. PHASE GRADING WORK TO MINIMIZE THE DURATION THAT ANY DISTURBED SOIL IS EXPOSED.
2. ALL DISTURBED AREAS SHALL HAVE TEMPORARY PROTECTION OR PERMANENT COVER OVER EXPOSED SOIL AREAS IF NOT BEING ACTIVELY GRADED AND/OR IF NOT AT FINAL GRADE WITHIN 7 DAYS OF DISTURBANCE ACTIVITY TEMPORARILY OR PERMANENTLY CEASING. TEMPORARY TWO-YEAR CROP COVER, APPLIED AT A RATE OF 25 LBS/ACRE, SHALL BE USED PRIOR TO WINTER, IF SITE NOT SODDED.
3. STRIP AND STOCKPILE TOPSOIL FOR REPLACEMENT OF 6 INCHES OF TOPSOIL OVER TURF AREAS WHEN GRADING IS COMPLETE.
4. PLACE A MINIMUM OF 2 TONS/ACRE OF STRAW ON ALL AREAS AFTER REACHING FINAL GRADE WITH TOPSOIL AND ANCHOR STRAW WITH EITHER A STRAIGHT DISK, HYDROMULCH OR POLYMER.
5. STABILIZATION OF TEMPORARY OR PERMANENT DRAINAGE DITCHES THAT DRAIN WATER FROM THE CONSTRUCTION SITE MUST BE INITIATED WITHIN 24 HOURS OF CONNECTING THE DRAINAGE DITCH TO ANY CONVEYANCE SYSTEM THAT DISCHARGES TO SURFACE WATERS. THE FIRST 200 LINEAR FEET MUST BE STABILIZED WITHIN 24 HOURS. THE REMAINING DITCH SHALL BE STABILIZED WITHIN 7 DAYS.
6. INSTALL SILT FENCE AROUND ALL TEMPORARY INACTIVE STOCKPILES WHICH ARE NOT PLACED WITHIN EXISTING SILT FENCES OR OTHER PERIMETER CONTROLS.
7. TEMPORARY OR PERMANENT ENERGY DISSIPATION AT PIPE APRON OUTLETS WILL BE PLACED PRIOR TO BUT NO SOONER THAN 7 DAYS BEFORE APRON IS INSTALLED. RIPRAP SHALL BE INSTALLED UNDER APRON LIP ACCORDING TO THE STANDARD DETAIL.
8. SUFFICIENT PERSONNEL, EQUIPMENT, AND MATERIALS SHALL BE MOBILIZED WITHIN 24 HOURS OF A WRITTEN ORDER BY THE OWNER OR OWNER'S REPRESENTATIVE TO CONDUCT CORRECTIVE WORK AND INSTALL TEMPORARY EROSION CONTROL WORK IN THE CASE OF AN EMERGENCY.
9. REMOVE ANY SEDIMENT THAT HAS BEEN TRACKED ONTO PUBLIC STREETS AT THE END OF THE DAY OR WITHIN 24 HOURS OF DETECTION, OR MORE FREQUENT AT DIRECTION OF SITE INSPECTOR.
10. COLLECT ALL CONSTRUCTION DEBRIS IN DUMPSTERS AND ROLL-OFF BOXES, EMPTY WHEN DEBRIS REACHES TOP OF DUMPSTER
11. INSPECT POLLUTION CONTROL MEASURES AS SPECIFIED WITHIN SECTION 11 OF THE GENERAL PERMIT.

INLET SEDIMENT CONTROL BMP REMOVAL
IF INLET SEDIMENT CONTROLS (WIMCO TYPE OR EQUAL) BMP'S ARE REMOVED FOR FLOODING / FREEZING CONCERNS UPON REQUEST OF THE MUNICIPALITY, WATERSHED DISTRICT OR OTHER AGENCY, DOCUMENTATION SHALL BE ATTACHED TO THE INSPECTION REPORTS AND THIS SWPPP OR BE AVAILABLE WITHIN 72 HOURS OF REQUEST. DOCUMENTATION SHALL BE A WRITTEN FORM OF CORRESPONDENCE VERIFYING THE NEED FOR REMOVAL.

- UPON COMPLETION OF CONSTRUCTION ACTIVITIES
PERMIT TERMINATION CONDITIONS ARE ACHIEVED FOR THE PROJECT WHEN PERMANENT EROSION CONTROL BMP'S ARE APPLIED TO THE SITE. THE PERMANENT EROSION CONTROL BMP'S MAY BE A COMBINED OF VEGETATIVE AND NON-VEGETATIVE COVER TYPES. ADDITIONAL REQUIREMENTS TO ACHIEVING FINAL STABILIZATION PERMIT TERMINATION CONDITIONS INCLUDE :
1. ALL SOIL DISTURBING ACTIVITY IS COMPLETED. ALL DISTURBED AREA WITHOUT PERMANENT IMPERMEABLE SURFACES ARE VEGETATED FOR FINAL STABILIZATION.
2. PERMANENT STORMWATER TREATMENT SYSTEM (IF REQUIRED) IS CONSTRUCTED AND ACCUMULATED SEDIMENT HAS BEEN REMOVED FROM CONSTRUCTION ACTIVITY. CLEAN OUT ALL SEDIMENT FROM CONVEYANCES AND FROM TEMPORARY SEDIMENT BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. THE CLEAN OUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.
3. THE VEGETATIVE COVER FOR THE SITE IS AT A DENSITY, WITH UNIFORM PERENNIAL COVER OF 70% OF THE EXPECTED FINAL GROWTH DENSITY.
4. ALL TEMPORARY, SYNTHETIC BMP'S HAVE BEEN REMOVED.

PERMANENT VEGETATION ESTABLISHMENT

THE DISTURBED AREAS WILL BE SEEDED AND MULCHED FOLLOWING MASS GRADING ACTIVITIES. ONCE HOME BUILDING HAS BEEN CONCLUDED, THE LOT WILL BE SODDED. COMMON AREAS AND OUTLOT AREAS WILL BE SEEDED WITH NATIVE SEED MIX, PER THE LANDSCAPE PLANS. PERMANENT TURF SHALL FOLLOW THE RECOMMENDATIONS PER NOTES AND SPECIFICATIONS IN THE GRADING AND/OR LANDSCAPE PLAN. SEED THAT IS TO OCCUR AFTER OCTOBER 20TH SHALL CONFORM TO THE MNDOT SPECIFICATIONS FOR DORMANT SEEDING.

SWPPP INSPECTIONS AND MAINTENANCE

EROSION AND SEDIMENT CONTROL INSPECTIONS

CONSTRUCTION ACTIVITY AND ALL SUPPORT ACTIVITIES MUST BE INSPECTED (USING MPCA CONSTRUCTION STORMWATER INSPECTION CHECKLIST OR AN ALTERNATIVE FORM) WITHIN THE PARAMETERS OF THE SCHEDULE BELOW. THE INSPECTOR SHALL BE A PERSON TRAINED AND FAMILIAR WITH THE REQUIREMENTS OF THIS SWPPP AND THE MPCA MN R10001 PERMIT. ALTERNATES WILL INCLUDE INDIVIDUALS TO BE DESIGNATED BY THE OWNER AND MAY INCLUDE CONTRACTOR PERSONNEL OR OTHER QUALIFIED INDIVIDUALS AND SHALL BE LISTED IN THE PROJECT CONTACT INFORMATION SECTION OF THIS PLAN

INSPECTION SCHEDULE

- IF THE SITE IS ACTIVE: INSPECTION NEEDED ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAT 0.5 INCHES.
- INACTIVE AND STABILIZED AREAS: INSPECTION NEEDED ONCE EVERY 30 CALENDAR DAYS.
- INACTIVE AREAS WITH FINAL STABILIZATION: INSPECTION NEEDED ONCE EVERY MONTH FOR 12 MONTHS (NOT INCLUDING FROZEN CONDITIONS).
- SUBJECT TO WINTER/FROZEN CONDITIONS: NOT APPLICABLE/NOT NEEDED IF NO CONSTRUCTION ACTIVITY IS OCCURRING.

SCOPE OF INSPECTION SHALL INCLUDE:

- 1. RECORD DATE AND TIME OF INSPECTION
2. NAME OF PERSON(S) CONDUCTING INSPECTION
3. FINDINGS OF THE INSPECTION
4. LOCATION AND CORRECTIVE ACTIONS NEEDED
5. CORRECTIVE ACTIONS TAKEN (DATE, TIME, BY WHOM)
6. DATE AND AMOUNT OF RAINFALL (RAINFALL AMOUNTS TO BE TAKEN FROM AN ONSITE RAIN GAUGE)
7. OBSERVED DISCHARGES LOCATIONS
8. DESCRIBE DISCHARGE (COLOR, ODOR, FLOATING, SETTLED, SOLIDS, FOAM, OIL SHEEN)
9. THE SITE INSPECTOR WILL VISUALLY CHECK A DISCHARGE FROM A TEMPORARY OR PERMANENT SEDIMENTATION BASIN TO ENSURE ADEQUATE TREATMENT IS OBTAINED AND DISCHARGE WATER WILL NOT CONTRIBUTE EXCESSIVE SEDIMENT OR OTHER NUISANCE CONDITIONS.
10. RECORD CHANGES MADE TO THE SWPPP. AMENDMENTS FROM INSPECTIONS NEED TO BE COMPLETED WITHIN 7 DAYS.
11. ALL INSPECTIONS SHALL BE DOCUMENTED WITHIN 24 HOURS AFTER COMPLETING THE FIELD INSPECTION AND AVAILABLE IN PAPER OR ELECTRONIC FORM ON SITE.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES

THE OWNER/CONTRACTOR IS RESPONSIBLE FOR THE OPERATION, MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMPS AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS, FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE. THE CONTRACTOR MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS DURING ALL ROUTINE AND POST RAINFALL EVENTS. ALL NONFUNCTIONAL BMPS MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMPS BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS UNLESS ANOTHER TIME FRAME IS SPECIFIED BELOW.

THE FOLLOWING GUIDELINES WILL BE USED TO DETERMINE IF THE EROSION AND SEDIMENT CONTROL DEVICES REQUIRE MAINTENANCE, REPAIR, OR REPLACEMENT:

- 1. ALL NON-FUNCTIONAL BMPS - OBSERVED CONDITION: SEDIMENT OVERTOPPING, UNDER WATER, SCoured ENDS, UNDERMINED, DESTROYED, NON-FUNCTION AS DESIGNED, ETC. - SHALL BE MAINTAINED OR REPLACED BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY OR NOTIFICATION, OR AS SOON AS FIELD CONDITIONS ALLOW.
2. PERIMETER SEDIMENT CONTROL (SILT FENCE, FIBER LOGS, BERMS, ETC.) - OBSERVED CONDITION TO BE 1/2 FULL OF SEDIMENT, FLATTENED TO 1/2 HEIGHT, DRIVEN OVER, UNDERMINED, SCoured, MOVED FOR ACCESS, ETC. - SHALL BE MAINTAINED, REPAIRED OR SUPPLEMENTATION OF PERIMETER SEDIMENT CONTROL SHOULD BE DONE BY THE END OF NEXT BUSINESS DAY OR FIELD CONDITIONS ALLOW.
3. INLET PROTECTION BMPS, CONVEYANCES, SURFACE WATERS - OBSERVED CONDITION: SEDIMENT DEPOSITION, SEDIMENT DELTAS AN ACCUMULATION OF SEDIMENT MATERIAL, DEVICES APPEAR PLUGGED WITH SEDIMENT - REMOVAL/CLEAN OUT OF ACCUMULATED SEDIMENT AND DELTAS TO BE REMOVED WITHIN 7 DAYS, STABILIZE AS NEEDED IF SOILS ARE EXPOSED DURING REMOVAL/CLEAN OUT.
4. TEMPORARY SEDIMENT BASINS AND TRAPS/PERMANENT SEDIMENT BASINS - OBSERVED TO HAVE SEDIMENT DEPOSITION AND ACCUMULATION TO 1/2 OF THE STORAGE VOLUME - CLEAN OUT, REMOVE ACCUMULATED SEDIMENT MATERIAL WITHIN 7 DAYS OF OBSERVATION, OR AS FIELD CONDITIONS ALLOW ACCESS.
5. SITE EXIT LOCATIONS, ROCK EXIT PADS, OTHER ANTI-TRACKING PRACTICES - OBSERVED TO HAVE ACCUMULATED SEDIMENT IN ROCK OR OTHER ANTI-TRACKING BMP, TRACKING OF SEDIMENT FROM THE SITE ONTO PAVED SURFACES - TOP DRESS ROCK, MAINTAIN ROCK EXIT OR OTHER ANTI-TRACKING CONTROLS, SCRAP PAVED SURFACES, SWEEP PAVED SURFACES WITHIN 1 CALENDAR DAY OF DISCOVERY.
6. PAVED SURFACES AND ADJACENT STREETS - OBSERVED TO BE TRACKED WITH SEDIMENT AND SOIL MATERIAL FRO THE SITE HAULING OR ACCESS - SWEEP WITHIN 1 CALENDAR DAY OF DISCOVERY, ADDITIONAL AND/OR MORE FREQUENT SWEEPING MAY BE NEEDED TO MAINTAIN PUBLIC SAFETY OR PREVENT WASHING FROM FORECASTED RAINS.

TERMINATION OF COVERAGE

THE PROJECT PERMIT MAY BE TERMINATED IN ONE OF THE FOLLOWING SCENARIOS:

- 1. ALL CONSTRUCTION ACTIVITY IS COMPLETE, TEMPORARY SYNTHETIC BMP'S ARE REMOVED, ACCUMULATED SEDIMENT FROM CONSTRUCTION IS REMOVED, AND PERMANENT COVER HAS BEEN ACHIEVED WITH VEGETATIVE AND/OR NON-VEGETATIVE COVER. THE NOTICE OF TERMINATION FORM FROM THE PCA SHOULD BE COMPLETED WITHIN 30 DAYS OF MEETING THE CONDITIONS ABOVE. UPON MIDNIGHT OF THE POST MARKED DATE, THE PERMIT COVERAGE IS TERMINATED UNLESS OTHERWISE NOTIFIED BY THE MPCA. OR:
2. WITHIN 30 DAYS OF SELLING OR OTHERWISE LEGALLY TRANSFERRING OWNERSHIP OF THE SITE IN IT'S ENTIRETY (INCLUDING STREET SWEEPING AND STORMWATER INFRASTRUCTURE) FROM THE ORIGINAL OWNER TO ANOTHER PARTY TAKING RESPONSIBILITY OF OWNERSHIP, THE TERMINATION IS EFFECTIVE UPON MIDNIGHT OF THE SUBMISSION DATE OF THE NOT, IF A PORTION OF THE SITE IS TRANSFERRED (I.E. OUTLOTS, LOTS/BLOCKS) THAT PORTION OF THE SITE IS TERMINATED FROM THE ORIGINAL PERMIT COVERAGE AT MIDNIGHT OF THE SUBMISSION DATE. OR:
3. PERMIT COVERAGE CAN BE TERMINATED IF ALL OF THE FOLLOWING ARE MET:
3.a. CONSTRUCTION ACTIVITY HAS CEASED FOR 90 DAYS; AND
3.b. AT LEAST 90% OF THE AREA OF THE ORIGINALLY PROPOSED ACTIVITY HAS BEEN COMPLETED AND PERMANENTLY ESTABLISHED WITH VEGETATION OR NON-VEGETATIVE COVER; AND
3.c. WHERE CONSTRUCTION ACTIVITY IS NOT COMPLETE, PERMANENT COVER HAS BEEN ESTABLISHED; AND
3.d. THE SITE IS COMPLIANT WITH PERMIT SECTIONS 13.3 THROUGH 13.7.
4. WHERE THE PROJECT OBTAINED PERMIT COVERAGE BUT NEVER STARTED CONSTRUCTION ACTIVITY DUE TO CANCELLATION OR OTHER REASONS, DOCUMENTATION SHOULD BE SENT TO THE PCA WITH THE NOT FORM AND IS SUBJECT TO PCA APPROVAL.

WHEN SUBMITTING FOR NOT, GROUND OR AERIAL PHOTOGRAPHS MUST BE SUBMITTED SHOWING PERMANENT/VEGETATIVE COVER REQUIREMENTS HAVE BEEN MET.

Table titled SWPPP BMP QUANTITIES with columns for BMP Type and Quantity. Includes rows for SilT Fence, Inlet Protection, Two-year Cover Crop, Southern Blvd, SOD, Mulch, Rock Construction Entrance, and Street Sweeping.

Call 48 Hours before digging:

811 or call811.com
Common Ground Alliance

Table with columns: DESIGNED, CHECKED, DRAWN, HORIZONTAL SCALE, VERTICAL SCALE. Includes dates and initials.

PREPARED FOR: WESTWOOD CHURCH
3121 WESTWOOD DRIVE
EXCELSIOR, MN 55331

WEEDY VERIFY THAT THE PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
DAVID BADE
DATE: 08/29/2024 LICENSE NO. 40409

HOPE HOUSE EXPANSION
EXCELSIOR, MN

Westwood
12701 Whitewater Drive, Suite 8000
Minneapolis, MN 55438
(612) 937-5100
(612) 937-5022
www.westwoodps.com

SWPPP NARRATIVE

SHEET NUMBER:

C400

DATE: 08/29/2024

PRELIMINARY DOCUMENTS

PROJECT NUMBER: 0032076.00



SWPPP NOTES

LISTED BELOW ARE ADDITIONAL BMP'S THAT MAY BE CONSIDERED FOR USE IF THE BMP'S IDENTIFIED IN THE EROSION CONTROL PLANS PROVE TO BE INSUFFICIENT. PAYMENT FOR THESE BMP'S MAY ONLY BE MADE IF PRIOR APPROVAL FROM AN OWNER HAS BEEN GIVEN.

- 1. IMPORTANT VEGETATION
- SAFETY FENCE OR A SIMILAR METHOD OF PROTECTION SHALL BE INSTALLED TO PROTECT IMPORTANT VEGETATION AND PROHIBIT VEHICULAR TRAFFIC.
- A SECONDARY SILT FENCE SHALL BE INSTALLED AT FIELD OFFICES, STORED EQUIPMENT (INCLUDING VEHICLE PARKING), CONSTRUCTION MATERIAL LOCATIONS, AND TOPSOIL OR FILL STOCKPILES INSTALLED WITHIN A 25-FOOT MINIMUM BUFFER OUTSIDE THE DRIP LINE OF TREES.
2. CULVERT INLET/OUTLET PROTECTION
- SOD MAY BE PLACED AND ANCHORED AT CULVERT INLETS AS SHOWN ON THE GRADING PLAN, UNLESS VELOCITIES REQUIRE RIPRAP.
- AT LEAST ONE 2-FOOT WIDE STRIP OF SOD OR FIBER BLANKET SHALL BE PLACED ALONG THE EDGES OF CULVERT HEADWALLS AND WINGWALLS AS SHOWN ON THE GRADING AND/OR UTILITY PLANS.
- RIPRAP AT PIPE APRON OUTLETS WILL BE PLACED PRIOR TO BUT NO SOONER THAN 7 DAYS BEFORE APRON IS INSTALLED. RIPRAP SHALL BE INSTALLED UNDER APRON LIP ACCORDING TO THE STANDARD DETAIL.
3. STORM SEWER INLET PROTECTION
- STORM DRAIN INLETS SHALL BE PROTECTED UNTIL THE DISTURBED AREAS THAT COULD DISCHARGE TO AN INLET HAVE BEEN STABILIZED.
- INFRASAFE SEDIMENT CONTROL BARRIERS OR APPROVED EQUAL SHALL BE USED WHEN CASTINGS ARE NOT IN PLACE, AS INDICATED ON THE UTILITY PLAN AND AS APPROVED BY THE OWNER.
- INFRASAFE DEBRIS COLLECTION DEVICE OR APPROVED EQUIVALENT SHALL BE USED WHEN CASTINGS ARE IN PLACE AS INDICATED ON THE UTILITY PLAN AND AS APPROVED BY THE OWNER.
- DOCUMENTATION IS NEEDED WITHIN 72 HOURS IF REMOVAL OF PROTECTION BMP'S IS NEEDED DUE TO WINTER CONDITIONS OR FLOODING CONCERNS.
4. STORM WATER POND OUTLETS
- TEMPORARY OR PERMANENT ENERGY DISSIPATION MEASURES SHALL BE IN PLACE AT THE STORM WATER POND OUTLETS WITHIN 24 HOURS OF DIRECT CONNECTION TO A SURFACE WATER.
- RIPRAP AT PIPE APRON OUTLETS WILL BE PLACED PRIOR TO APRON INSTALLATION AND SHALL BE INSTALLED UNDER THE APRON LIP.
- POND EMERGENCY SPILLWAYS SHALL BE LINED BASED ON THE DESIGN DISCHARGE FLOW VELOCITY AND AS INDICATED ON GRADING AND/OR UTILITY PLANS.
5. DEEP UTILITIES: WATER AND SANITARY/GAS LINE
- SILT FENCE OR A SIMILAR TYPE OF PERIMETER CONTROL SHALL BE PLACED DOWN GRADIENT OF THE EXCAVATED SOIL IF WORK IS DONE WITHIN 200 FEET OF WETLANDS OR STREAMS.
- DISTURBANCE OF CHANNEL BANKS, WETLANDS, AND IMPORTANT VEGETATION AREAS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE.
- THE UTILITY CONSTRUCTION SITE SHALL BE SEEDED WITH A TEMPORARY SEED MIX AND MULCH AFTER INSTALLATION IF THE SITE WILL BE IDLE FOR 7, 14, OR 21 DAYS DEPENDING UPON SLOPES OF STEEPER THAN 3:1, 3:1 TO 10:1 AND FLATTER THAN 10:1 RESPECTIVELY.
6. STOCKPILES (TEMPORARY AND PERMANENT)
- LOCATE STOCKPILES A MINIMUM OF 100 FEET FROM CATCH BASIN INLETS, PONDS, AND SITE DRAINAGE ROUTES
- PERIMETER CONTROLS SUCH AS SILT FENCE SHALL BE INSTALLED AROUND ALL STOCKPILES PRIOR TO INITIATION OF STOCKPILING IF NOT PLACED WITHIN EXISTING SILT FENCES OR OTHER SEDIMENT CONTROL.
- TEMPORARY SEED AND MULCH SHALL BE USED TO STABILIZE THE STOCKPILES AND THE STOCKPILES SHALL BE SHAPED TO FACILITATE SEEDING AND MINIMIZE EROSION AND SHALL BE SEEDED WITHIN 7 DAYS. TEMPORARY EROSION CONTROL DEVICES REQUIRED DUE TO CONTRACTORS METHOD OF SEQUENCING THEIR CONSTRUCTION WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- IF TEMPORARY SEED AND MULCH CANNOT BE USED, THEN THE STOCKPILES SHALL BE COVERED WITH HYDROMULCH, TARPS OR PLASTIC SHEETING AS APPROVED BY THE OWNER.
- IF STOCKPILES MUST BE PLACED WITHIN A CONVEYANCE A TEMPORARY BYPASS SHALL BE INSTALLED (I.E. PVC PIPE) TO ADEQUATELY CONVEY RUNOFF. TEMPORARY BYPASS BMP'S SHALL BE INCIDENTAL TO THE CONTRACT UNLESS PREVIOUSLY APPROVED BY THE OWNER / ENGINEER
7. CONSTRUCTION DEWATERING
- DURING DEWATERING ACTIVITIES, THE SEDIMENT LADEN WATER CANNOT CAUSE NUISANCE CONDITIONS AND MUST BE DISCHARGED TO A SEDIMENT CONTROL DESIGNED TO PREVENT DISCHARGE WITH VISUAL TURBIDITY. OPTIONS FOR REDUCING THE TURBIDITY OF THE WATER INCLUDE:
o CONSTRUCT A TEMPORARY SEDIMENT TRAP FOR TURBID WATER DISCHARGE.
o USE A PORTABLE SEDIMENT TRAP SYSTEM.
o APPLY NATURAL BASED FLOCCULANT TECHNOLOGY SUCH AS CHITOSAN IN SEDIMENT TRAPS OR A SERIES OF DITCH CHECKS TO CONTAIN SEDIMENT.
o USE A FILTER BAG SYSTEM
o PUMP TO A TEMPORARY SEDIMENT BASIN.
- TO THE EXTENT FEASIBLE, USE WELL-VEGETATED UPLAND AREAS OF THE SITE TO INFILTRATE DEWATERING WATER BEFORE DISCHARGE.
- ENERGY DISSIPATION WILL BE PROVIDED AT ALL DISCHARGE POINTS.
- DEWATERING OR BASIN DRAINING ACTIVITIES WILL NOT CAUSE EROSION IN RECEIVING CHANNELS OR ADVERSELY IMPACT WETLANDS.
- DEWATERING DISCHARGE MUST BE VISUALLY CHECKED. PHOTOGRAPH DISCHARGE AT THE BEGINNING AND AT LEAST EVERY 24 HOURS OF OPERATION. DEWATERING THAT ONLY LASTS FOR A FEW MINUTES, AS OPPOSED TO HOURS, AND DO NOT REACH SURFACE WATERS, DO NOT REQUIRE PHOTOGRAPHS OR DOCUMENTATION.
- IF NUISANCE CONDITIONS RESULT (SEDIMENT PLUME IN THE DISCHARGE, DISCHARGE APPEARS CLOUDY OR OPAQUE, HAS A VISIBLE CONTRAST, HAS A VISIBLE OIL FILM, HAS AQUATIC HABITAT DEGRADATION), DEWATERING MUST BE CEASED IMMEDIATELY AND CORRECTIVE ACTIONS MUST OCCUR BEFORE DEWATERING IS RESUMED.
- ALL EROSION CONTROL OR SEDIMENT TRAPS REQUIRED FOR CONSTRUCTION DEWATERING SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION ACTIVITY REQUIRING DEWATERING.
8. CONSTRUCTION ENTRANCES
- A TEMPORARY CRUSHED ROCK OR WOOD CHIP PAD SHALL BE LOCATED WHERE VEHICLES LEAVE THE CONSTRUCTION SITE.
- THE CONSTRUCTION ENTRANCE PAD SHALL BE AT LEAST 50 FEET IN LENGTH.
- GEOTEXTILE FABRIC MAY BE PLACED UNDER THE CRUSHED ROCK OR WOOD CHIPS TO PREVENT MIGRATION OF MUD FROM UNDERLYING SOIL INTO THE CONSTRUCTION ENTRANCE MATERIAL.
- ROCK PADS SHALL BE CONSTRUCTED OF ROCK 1 TO 3 INCHES IN SIZE AND PLACED IN 6 INCH LAYERS.
- CONSTRUCTION ENTRANCES SHALL BE INSPECTED AT LEAST EVERY 7 DAYS AND MAINTAINED AS NEEDED.
- TRACKED SEDIMENTS SHALL BE REMOVED FROM PAVED SURFACES AT THE END OF EACH DAY USING PICK-UP TYPE STREET SWEEPER.
- IF TRACKING INTO ROADWAY BECOMES PROBLEMATIC THE ENTRANCE PADS SHALL BE LENGTHENED OR ANOTHER TECHNIQUE APPLIED. TEMPORARY EROSION CONTROL DEVICES REQUIRED DUE TO CONTRACTORS METHOD OF SEQUENCING THEIR CONSTRUCTION WORK SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- THE CONSTRUCTION ENTRANCE SHALL BE MONITORED CLOSELY DURING WET CONDITIONS. IF TRACKING INTO ADJACENT ROADWAYS OCCURS, THE FREQUENCY OF STREET SWEEPING SHALL BE INCREASED.
9. CONCRETE TRUCK WASHOUT
- CONCRETE TRUCKS SHALL UTILIZE THE CONCRETE WASHOUT AREA SHOWN ON THE PLANS TO WASH AND RINSE THEIR EQUIPMENT PRIOR TO LEAVING THE SITE.
- WASHOUT OF CONCRETE MIXER TRUCKS WILL BE PERFORMED IN THE DESIGNATED AREAS ONLY.
- WASHOUTS WILL BE CONSTRUCTED AND MAINTAINED TO PROVIDE SUFFICIENT CONTAINMENT FOR ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
- WASHOUTS SHALL BE CLEARLY MARKED ON SITE WITH SIGNAGE BY THE UTILITY CONTRACTOR WITH APPROVAL FROM OWNER.
- WASHOUTS SHALL BE LOCATED A MINIMUM OF 50 FEET FROM DRAINAGE FACILITIES AND WATERCOURSES.
- CONCRETE WASHOUT AREAS WILL HAVE AN IMPERMEABLE LINER TO PREVENT CONCRETE WASHOUT WATER FROM INFILTRATING/CONTACTING WITH SOIL.
- IMPERMEABLE LINER SHALL CONSIST OF 10 MIL POLYLINER.
- WASHOUT SYSTEMS CAN BE USED AS ALTERNATE WASHOUT AREAS.
10. VEHICLE MAINTENANCE
- ROUTINE MAINTENANCE OF VEHICLES AND EQUIPMENT SHALL OCCUR IN STAGING AREAS ONLY.
- VEHICLE WASHING SHOULD BE AVOIDED. IF WASHING IS NECESSARY, RUNOFF FROM THE WASHING WILL BE CONTAINED AND LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF.
- ENGINE DEGREASING SHALL BE AVOIDED. IF DEGREASING IS NECESSARY, RUNOFF FROM THE OPERATION WILL BE CONTAINED IN A LINED SEDIMENT TRAP AND PROPERLY DISPOSED OF AT A TREATMENT FACILITY.
- ALL REQUIRED SEDIMENT TRAPS AND CONTAINMENT FACILITIES AND PROPER DISPOSAL OF WASH WATER/DEGREASING AT A TREATMENT FACILITY SHALL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT.
20. FUELING
- ANY FUEL TANK OR TRUCK STORED ON THE PROJECT SITE SHALL BE PROTECTED BY A SECONDARY CONTAINMENT SYSTEM.

- FUELING AREAS SHALL NOT BE WASHED OR RINSED WITH WATER SINCE THIS COULD CAUSE FUEL SPILLS TO BE DISCHARGED INTO STORM WATER SYSTEMS.
- ABSORBENT MATERIALS SHALL BE AVAILABLE ON SITE FOR USE IN CLEANING UP SMALL SPILLS.
- ALL REQUIRED FUEL CONTAINMENT AND CLEAN-UP MATERIALS AND THE PROPER DISPOSAL OF THE MATERIALS SHALL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT.
21. HAZARDOUS MATERIALS
- HAZARDOUS MATERIALS SHALL BE PROPERLY STORED TO PREVENT VANDALISM OR UNAUTHORIZED ACCESS.
- CONTAINMENT UNITS SHALL BE INSTALLED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- MP/CA STORING AND DISPOSAL REQUIREMENTS SHALL BE FOLLOWED FOR ALL HAZARDOUS WASTE.
- NO HAZARDOUS MATERIAL SHOULD BE STORED WITHIN 200 FEET OF AN IDENTIFIED CRITICAL AREA.
- ABSORBENT MATERIALS SHALL BE AVAILABLE FROM THE CONTRACTOR ON SITE FOR USE IN CLEANING UP SMALL SPILLS.
- IF BUILDING MATERIALS, CHEMICALS, OR GENERAL REFUSE IS BEING USED, STORED, DISPOSED OF, OR OTHERWISE MANAGED INAPPROPRIATELY, THE CONTRACTOR SHALL CORRECT SUCH DEFECTS WITHIN 24 HOURS OF DETECTION OR NOTIFICATION.
- ALL REQUIRED CONTAINMENT / STORAGE UNITS / ABSORBENT MATERIAL AND REQUIRED DISPOSAL SHALL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT.
22. CHEMICAL CONTAINMENT
- GASOLINE, OIL, PAINT, SOLVENTS, AND OTHER CHEMICALS NECESSARY FOR CONSTRUCTION ARE NOT ALLOWED TO CONTACT THE GROUND SURFACE, BE EXPOSED TO GROUNDWATER OR BE RELEASED TO A SURFACE OR GROUNDWATER EXCEPT IN DE MINIMIS QUANTITIES.
- ALL PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINER, WITH ORIGINAL LABELS STILL ATTACHED, UNLESS THE CONTAINER IS NOT RESEALABLE.
- HAZARDOUS MATERIALS SHALL BE RETURNED TO THE HAZARDOUS MATERIAL STORAGE AREA AT THE END OF EACH DAY.
- AN EFFORT SHOULD BE MADE TO STORE ONLY ENOUGH PRODUCTS TO DO THE REQUIRED JOB.
- THE CONTRACTOR SHALL PROVIDE TANKS OR BARRELS TO COLLECT LIQUID BYPRODUCTS THAT POSE A POLLUTION HAZARD.
- THE POLLUTANTS SHALL BE REMOVED FROM THE SITE ON A WEEKLY BASIS AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED METHODS.
- ALL REQUIRED CONTAINMENT / STORAGE UNITS / ABSORBENT MATERIAL AND REQUIRED DISPOSAL SHALL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT
- ALL STORAGE AREAS SHALL BE SECURED TO PREVENT UNAUTHORIZED ACCESS.
23. SOLID WASTE
- SOLID WASTE SHALL BE STORED IN APPROPRIATE CONTAINERS AND PROPERLY DISPOSED OF ON A REGULAR BASIS.
- CONTAINERS SHALL BE COVERED TO PREVENT WIND BLOWING THE WASTE AROUND THE SITE.
- MP/CA DISPOSAL REQUIREMENTS WILL BE FOLLOWED FOR ALL SOLID WASTE.
- SOLID WASTE STORAGE CONTAINERS AND PROPER DISPOSAL SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION CONTRACT.
24. DUST CONTROL
- THE CONTRACTOR SHALL USE A VARIETY OF DUST CONTROL INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
A. RAPID STABILIZATION METHODS ON SLOPES
B. WATER ON ROADWAYS AND GRADED AREAS
C. ALTERNATIVES: IN THE FORM OF VEGETABLE POLYMERS, WATER AND CALCIUM CHLORIDE PETROLEUM EMULSION RESINS, OR ACRYLIC COPOLYMERS MAY ALSO BE USED.
- ALL REQUIRED DUST CONTROL SHALL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT AS PER SPECIFICATIONS.
25. WINTER STABILIZATION
- COVER EXPOSED SOILS ON OR AROUND NOV. 15TH AND/OR PRIOR TO TERMINATION OF CONSTRUCTION ACTIVITIES FOR WINTER.
- ALL EXPOSED SOILS TO BE COVERED WITH 2 TONS TYPE 1 MULCH
- ALL EXPOSED SOILS TO BE SEEDED WITH MNDOT SEED MIX 21-112ALL LOW POINTS IN ROADS TO BE ADEQUATELY DRAINED IN ACCORDANCE WITH NPDES DEWATERING REQUIREMENTS PART IV. CONSTRUCTION ACTIVITY REQUIREMENTS. SECTION D. DEWATERING AND BASIN DRAINING.
- PERIMETER SILT FENCE OR OTHER CONTROLS TO BE INSTALLED 3-5 FEET FROM THE BACK OF THE CURB AND OUT OF THE PLOWED SNOW AREA.
- PERIMETER CONTROLS AROUND PERMANENT STORMWATER BASINS TO BE INSTALLED AND MAINTAINED
- INLET CONTROLS TO BE REMOVED ACCORDING TO LEGAL REQUIREMENTS WITH DOCUMENTATION WITHIN 72 HOURS FROM LEGAL AUTHORITY.
- IF WORK HAS OCCURRED NEAR OR IN STREAMS OR OTHER SURFACE WATERS, THE EXPOSED SOILS SHALL BE STABILIZED TO PROTECT AGAINST FLOODING AND SPRING RUNOFF TO THE 100-YR FLOOD ELEVATION.
- ALL TEMPORARY AND PERMANENT STORMWATER BASINS AND SEDIMENT BASINS SHOULD HAVE OUTLETS AND STABILIZED EMERGENCY OVERFLOWS INSTALLED AS PER THE GRADING AND/OR UTILITY PLAN AND AT THE APPROVAL OF THE OWNER.
26. NON-STORMWATER DEWATERING
- HYDRANT FLUSHING: FLUSHING OF HYDRANTS WILL BE DISCHARGED THROUGH TEMPORARY PIPES AS NECESSARY, ONTO IMPERVIOUS SURFACES OR TO STABILIZED AREAS WITH ENERGY DISSIPATION AT THE DISCHARGE POINT. THE DISCHARGE SHOULD BE COLLECTED BY THE STORM WATER BASINS AND STORM SEWER SYSTEM.
- POTABLE WATER DISCHARGE: ALL WATER LINES WILL BE FLUSHED USING HOSES AND DISCHARGED ONTO AN IMPERVIOUS SURFACE AND DIRECTED TO THE STORM SEWER INFRASTRUCTURE BY NON-EROSIVE MEANS.
27. WORK NEAR SPECIAL WATERS
- EXPOSED SOILS MUST BE STABILIZED WITHIN 7 DAYS OF ACTIVITY TEMPORARILY OR PERMANENTLY CEASED.
- TEMPORARY SEDIMENT BASIN NEEDED WITHIN AREAS 5 ACRE DISTURBANCE WITH COMMON POINT OF DISCHARGE.
- IF WORK IS NEAR SPECIAL WATERS REFER TO APPENDIX A OF THE NPDES PERMIT FOR ADDITIONAL NOTES AND REQUIREMENTS.
- MAINTAIN AT ALL TIMES, 100 FT UNDISTURBED BUFFER AROUND SPECIAL WATERS.
- NO UNTREATED DEWATERING WILL TAKE PLACE AND DISCHARGE TO "SPECIAL WATERS"
- SEE PERMIT FOR ADDITIONAL NOTES AND REQUIREMENTS
28. WORK NEAR OR IN IMPAIRED WATERS
- EXPOSED SOILS MUST BE STABILIZED WITHIN 7 DAYS OF ACTIVITY TEMPORARILY OR PERMANENTLY CEASED.
- TEMPORARY SEDIMENT BASIN NEEDED WITHIN AREAS 5 ACRE DISTURBANCE WITH COMMON POINT OF DISCHARGE.
- IF WORK IS NEAR SPECIAL WATERS REFER TO APPENDIX A OF THE NPDES PERMIT FOR ADDITIONAL NOTES AND REQUIREMENTS.
- NO UNTREATED DEWATERING WILL TAKE PLACE AND DISCHARGE TO "IMPAIRED WATERS"
- SEE PERMIT FOR ADDITIONAL NOTES AND REQUIREMENTS
29. WORK IN KARST AREAS
- SEE PERMIT FOR ADDITIONAL NOTES AND REQUIREMENTS
30. INFILTRATION/FILTRATION AREAS
- FENCE OFF AREA PRIOR TO BEGINNING CONSTRUCTION.
- EXCAVATION AREA SHALL TAKE PLACE AFTER CONTRIBUTING AREAS ARE AT FINAL GRADE AND STABILIZED.
- DO NOT USE HEAVY/WHEELED EQUIPMENT IN FILTRATION AREA.
- DIVERSIONS, REDUNDANT SEDIMENT AND EROSION CONTROLS MUST BE USED TO PROTECT AREA.
- ENSURE 8 FT MAINTENANCE ACCESS IS ADEQUATE FOR AREA.
- IF GRADING MUST OCCUR IN FILTRATION AREA, LEAVE GRADE 3 FT HIGH TEMPORARILY UNTIL AREA CAN BE FINAL GRADED AND STABILIZED



WEB SOIL SURVEY MAP

Map Unit Legend

Table with 4 columns: Map Unit Symbol, Map Unit Name, Acres in AOI, Percent of AOI. Rows include HM (Hamel loam, 0 to 2 percent slopes), KB (Kilkenny-Lester loams, 2 to 6 percent slopes), and KC2 (Lester-Kilkenny complex, 6 to 10 percent slopes, moderately eroded). Totals for Area of Interest: 2.4 acres, 100.0%.

SOIL MAP UNIT SYMBOL LEGEND

Custom Soil Resource Report

SWPPP AMENDMENTS

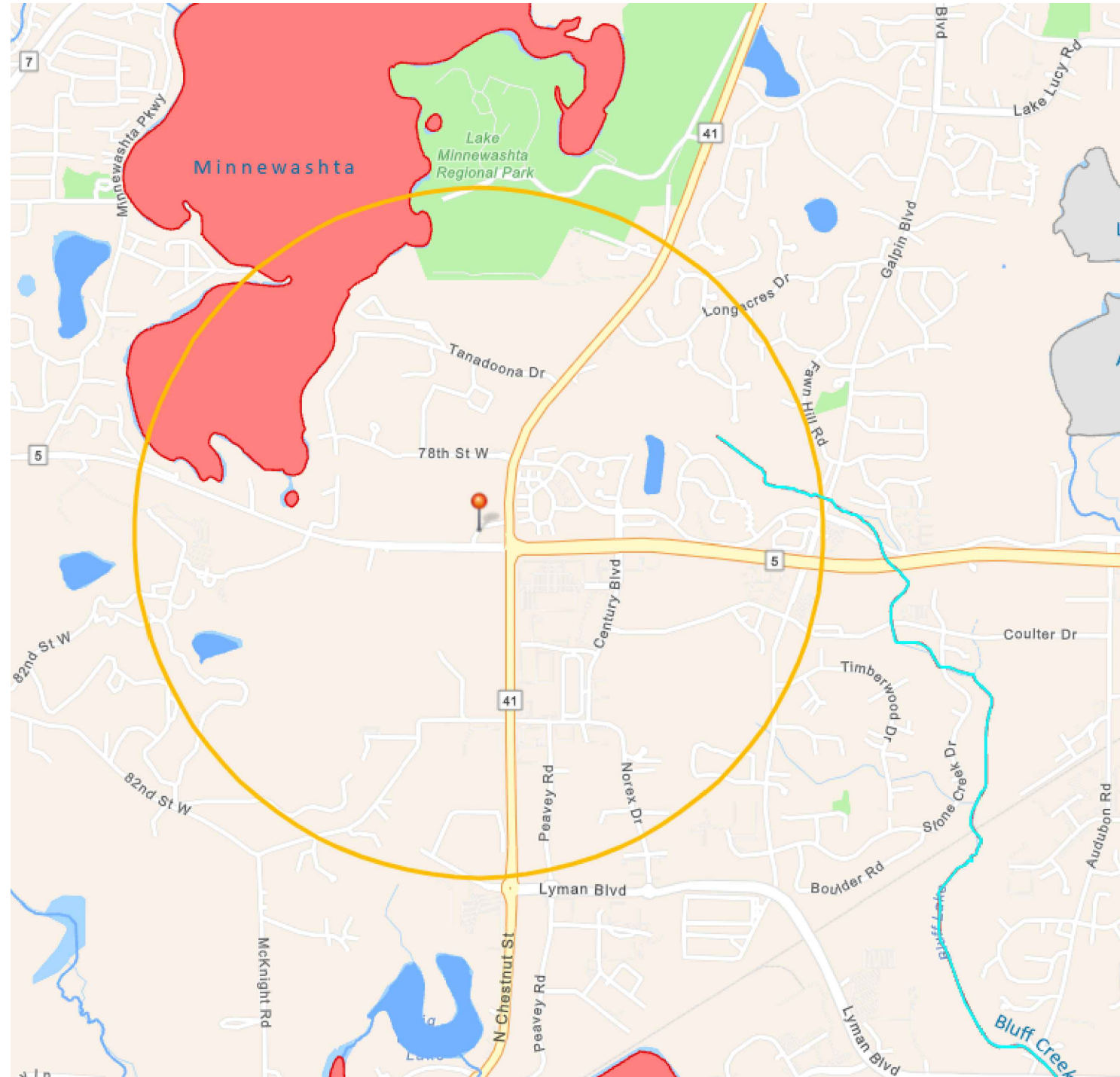
THIS PLAN AND THE ATTACHMENTS MUST BE AMENDED WITHIN 7 DAYS TO INCLUDE ADDITIONAL REQUIREMENTS OR MODIFIED REQUIREMENTS WHICH TAKE PLACE DURING CONSTRUCTION IF ONE OR MORE OF THE FOLLOWING OCCUR:

- 1. THERE IS A CHANGE IN DESIGN CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT SIGNIFICANTLY IMPACTS THE DISCHARGE OF POLLUTANTS FROM THE SITE TO SURFACE OR GROUNDWATER.
2. INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER, OPERATOR, ENVIRONMENTAL PROTECTION AGENCY, MINNESOTA POLLUTION CONTROL AGENCY OFFICIALS INDICATE THIS PLAN IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS.
3. THIS SWPPP IS NOT ACHIEVING THE GENERAL OBJECTIVES OF MINIMIZING POLLUTANTS IN STORMWATER DISCHARGES OR IF THIS PLAN IS NOT CONSISTENT WITH THE MN R1000011 CONSTRUCTION GENERAL PERMIT.
4. IF THE MP/CA NOTIFIES THE OWNER AND/OR OPERATOR (I.E. PERMITTEES) THAT ADDITIONAL REQUIREMENTS ARE NEEDED, REQUIREMENTS ARE NOT BEING MET FOR TMDL OR OTHER WATER QUALITY STANDARDS, OR THAT THE SWPPP DID NOT INCORPORATE THE NECESSARY REQUIREMENTS.
5. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.

THE FOLLOWING TABLE SHOULD BE COMPLETED AS NECESSARY DURING CONSTRUCTION TO DOCUMENT CHANGES AND AMENDMENTS TO THIS DOCUMENT. AMENDMENTS MUST BE MADE BY ONE OF THE FOLLOWING INDIVIDUALS: THOSE PREPARING THIS DOCUMENT; THOSE OVERSEEING THE IMPLEMENTATION OF THE SWPPP; THOSE REVISING THE SWPPP; THOSE PERFORMING INSPECTIONS FOR THE PROJECT; AND/OR OTHER QUALIFIED INDIVIDUAL.

PLACE THE AMENDMENT NUMBER NEXT TO ALL APPLICABLE CHANGES, REDLINES, AND INFORMATION IN THE DOCUMENT TO REFERENCE BACK TO THE CHANGES SUMMARIZED BELOW.

Table with 5 columns: AMENDMENT NO., DATE, REASON, LOCATION, AND BRIEF DESCRIPTION OF CHANGE OR AMENDMENT, REQUESTED BY, PREPARED BY. The table is currently empty.



VICINITY MAP/IMPAIRED WATERS MAP

Call 48 Hours before digging: 811 or call811.com Common Ground Alliance

Table with columns: DESIGNED, CHECKED, DRAWN, HORIZONTAL SCALE, VERTICAL SCALE. Values include EJK, GAB, EJK/DW, and 1"=40'.

PREPARED FOR: WESTWOOD CHURCH 3121 WESTWOOD DRIVE EXCELSIOR, MN 55331

DATE: 08/29/2024 LICENSE NO. 40409

HOPE HOUSE EXPANSION EXCELSIOR, MN

Westwood Professional Services, Inc. 12701 Whitehawk Drive, Suite 8000 Minneapolis, MN 55434

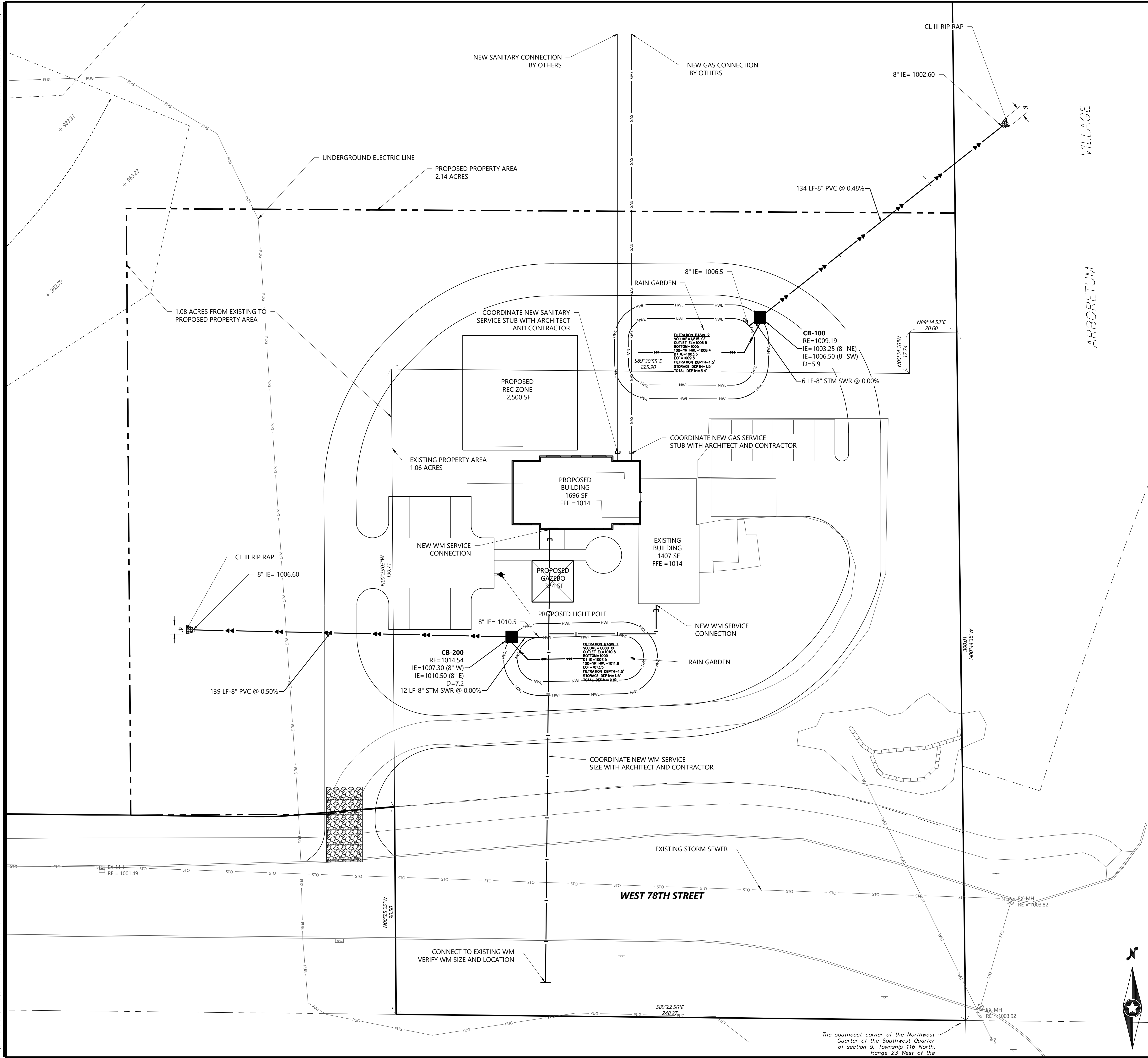
SWPPP NOTES & MAPS

SHEET NUMBER:

C401

DATE: 08/29/2024



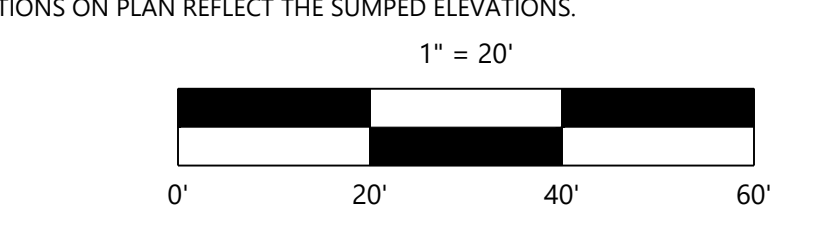


### UTILITY LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	SANITARY SEWER FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	DRAIN TILE
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	LIGHT POLE

### GENERAL UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
2. ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
4. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
5. ALL PRIVATE LARGE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE LOCAL JURISDICTION AND MINNESOTA PLUMBING CODE. ALL SMALL / DRY UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
6. CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
8. PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
9. A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER AND WATER LINES SHALL CROSS ABOVE ANY SEWER. IF THIS IS NOT ACHIEVABLE, SANITARY AND STORM SEWER SHALL BE CONSTRUCTED OF A MATERIAL APPROVED FOR USE WITHIN A BUILDING AND AS LISTED IN TABLE 701.2 OF THE MINNESOTA PLUMBING CODE. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
10. UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
11. DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
12. ALL WATER LINES SHALL HAVE 8" MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
13. SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE AND NOT WITHIN 10' OF WATER LINE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY AND STORM SEWER PIPE WITHIN 10 FEET OF THE BUILDING AND FOOTINGS, AND WITHIN 10 FEET OF WATER LINE SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.
14. STORM SEWER PIPE:
  - A. RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY OR MN DEPARTMENT OF LABOR.
  - B. REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76, WITH GASKETS PER ASTM C443.
  - C. HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
  - D. PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
  - E. CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10- FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
  - F. ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10- FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
15. ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA PLUMBING CODE 604.10.1.
16. AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
17. ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.



PRELIMINARY DOCUMENTS

Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance

DESIGNED:	EJK
CHECKED:	GAB
DRAWN:	EJK/DW
HORIZONTAL SCALE:	30'
VERTICAL SCALE:	# of 2'

PREPARED FOR:  
**WESTWOOD CHURCH**  
 3121 WESTWOOD DRIVE  
 EXCELSIOR, MN 55331

UTILITY SERVICES THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA  
**DAVID BADE**  
 DATE: 08/29/2024 LICENSE NO. 40409

**HOPE HOUSE EXPANSION**  
 EXCELSIOR, MN

**Westwood**  
 12701 Whitewater Drive, Suite 8000  
 Excelsior, MN 55331  
 Phone: (952) 937-5100  
 Fax: (952) 937-5022  
 Email: info@westwoodps.com  
 Westwood Professional Services, Inc.

**UTILITY PLAN**

SHEET NUMBER:

**C500**

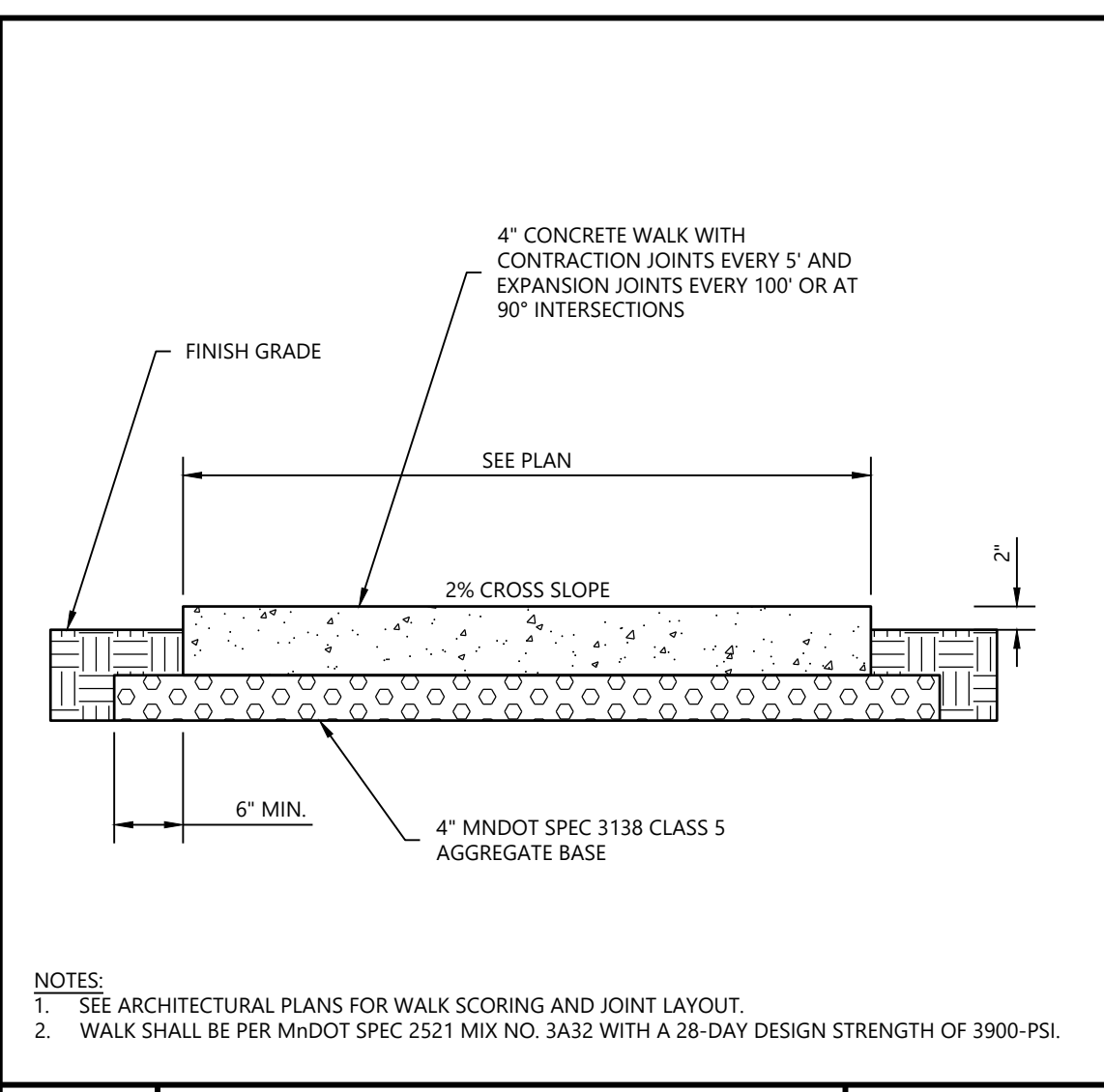
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PROJECT NUMBER: 0032076.00

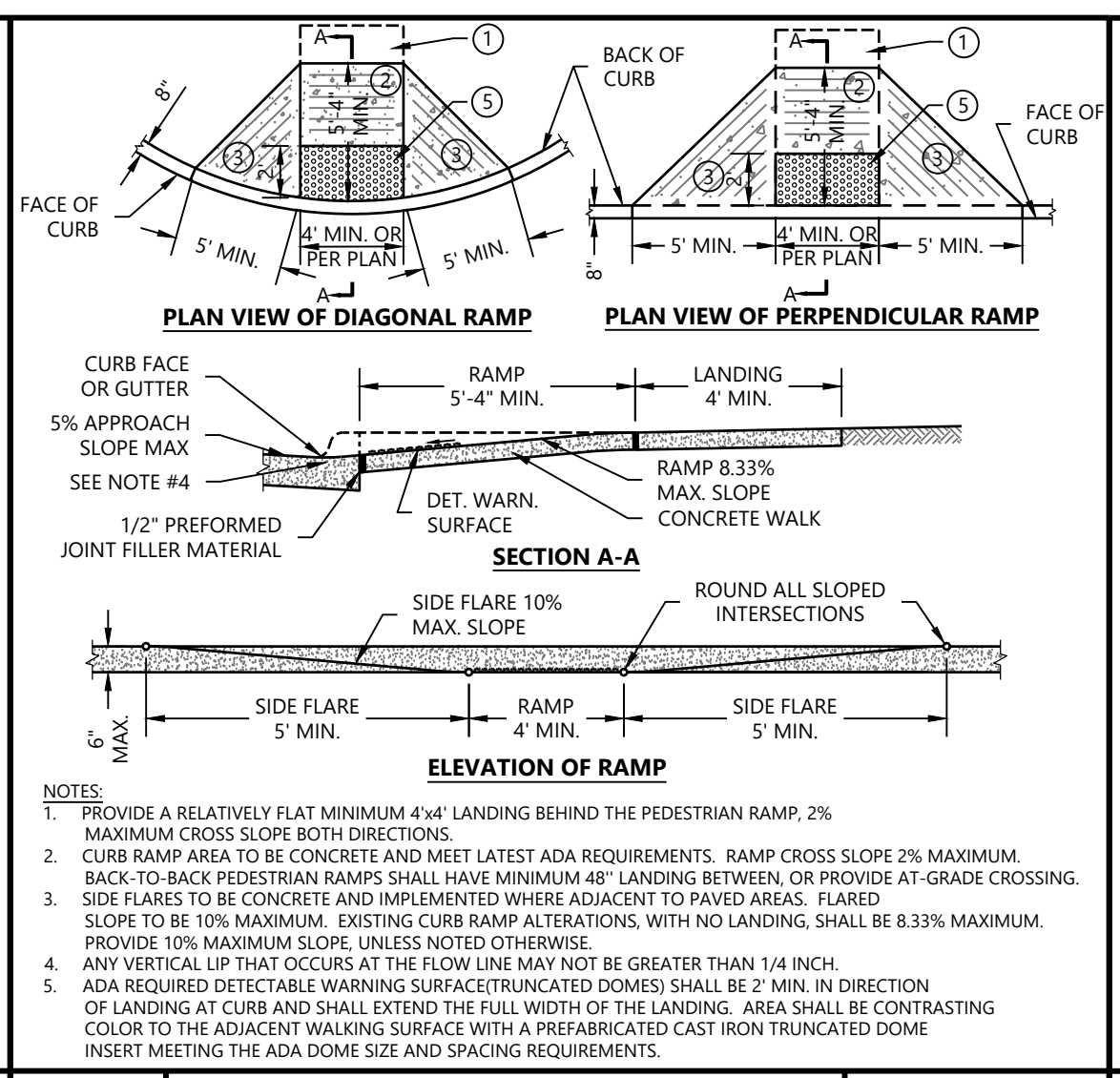
HOPE HOUSE EXPANSION

The southeast corner of the Northwest -  
 Quarter of the Southwest Quarter  
 of section 9, Township 116 North,  
 Range 23 West of the

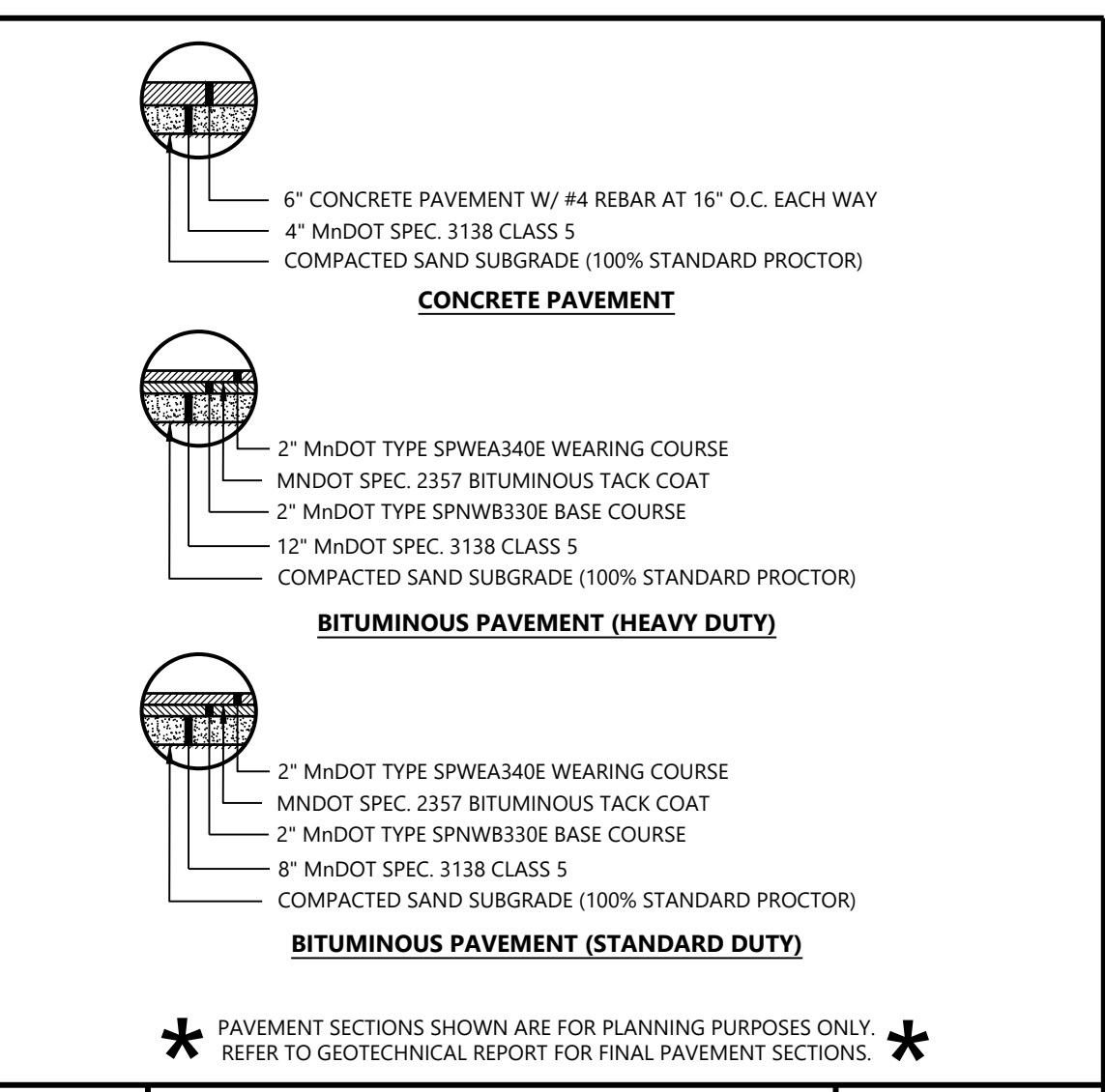




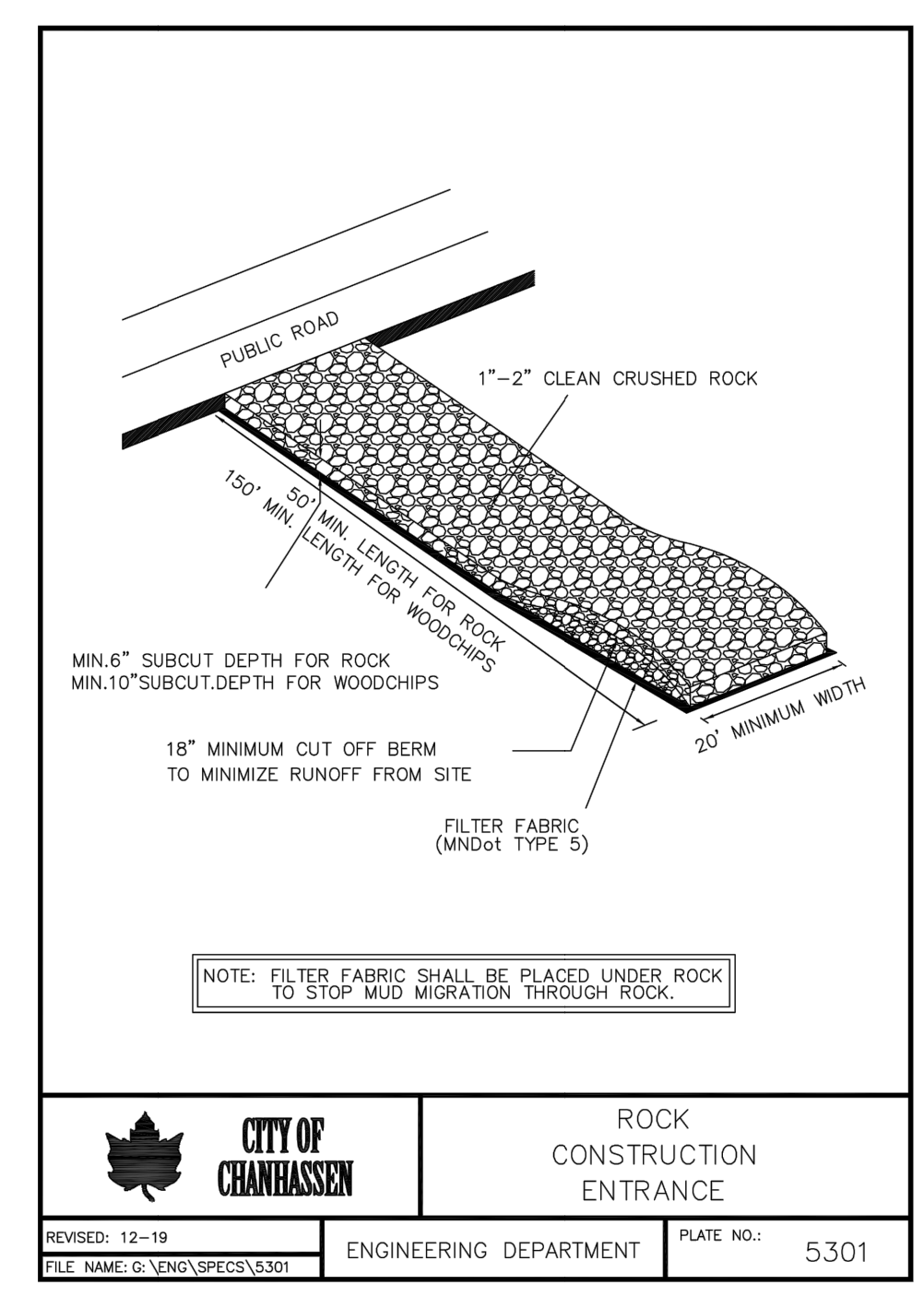
Westwood	PRIVATE CONCRETE SIDEWALK	LAST REVISED: 08/15/17	SI08
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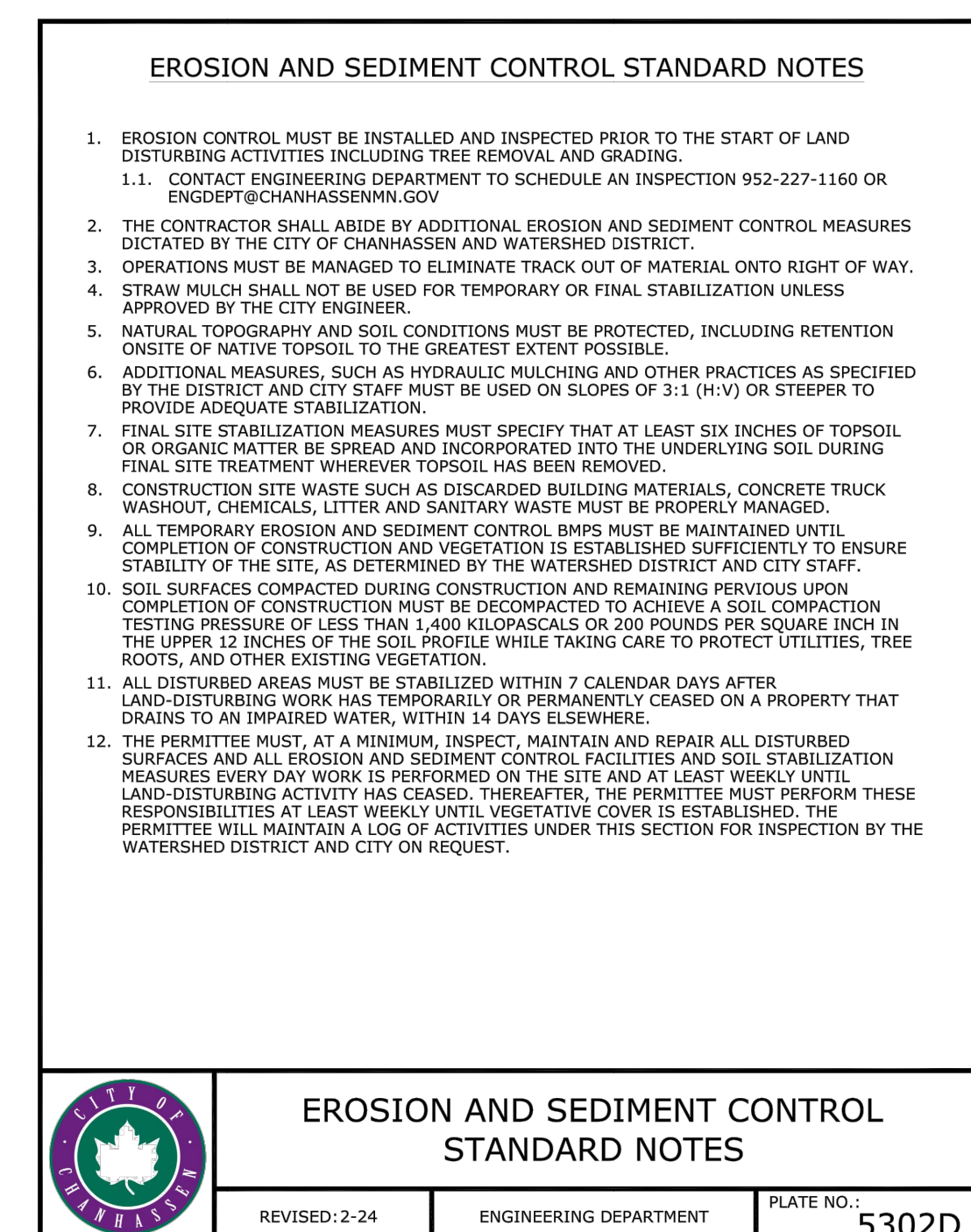
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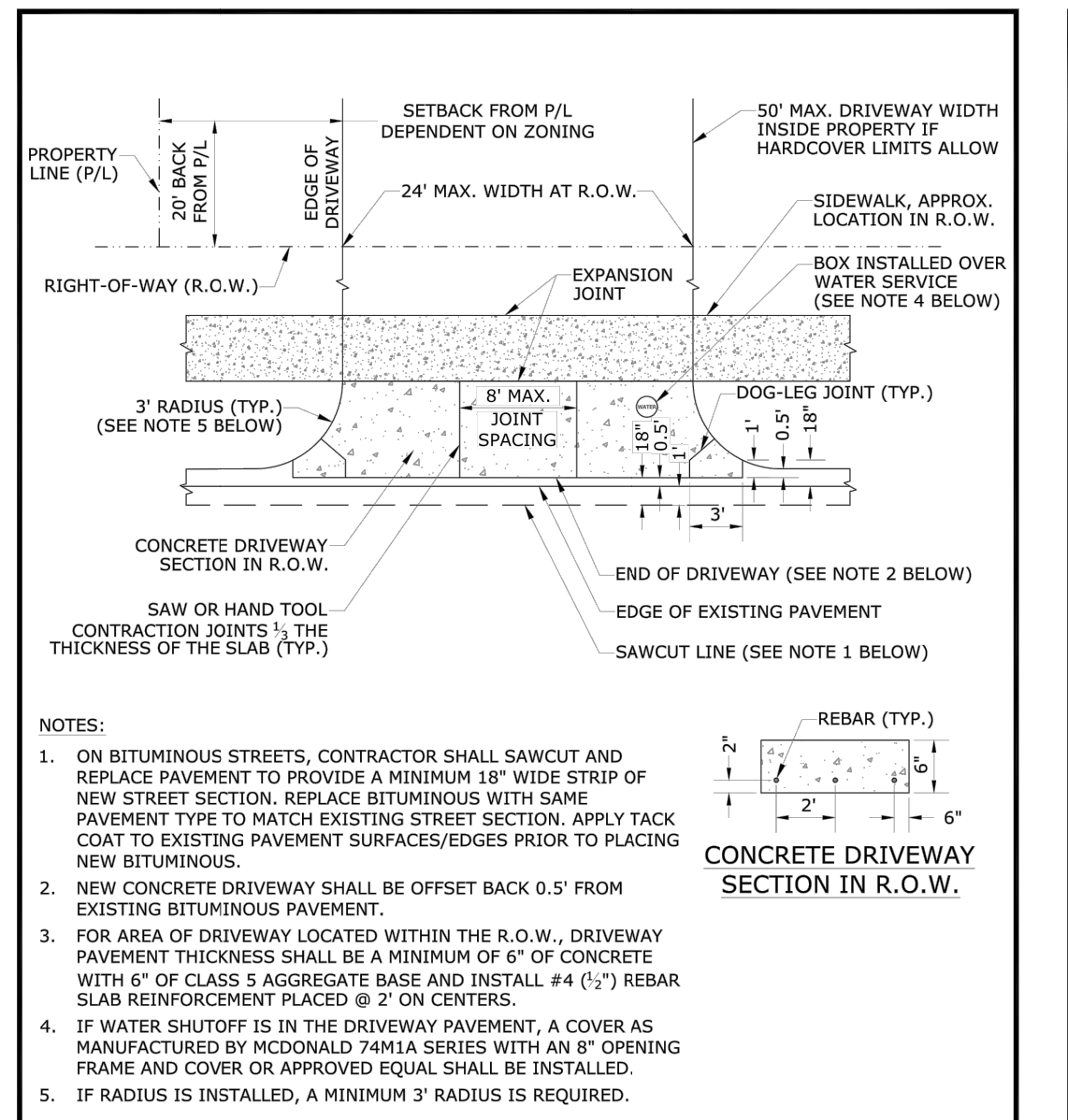
Westwood	PAVEMENT SECTIONS	LAST REVISED: 08/15/17	SI19
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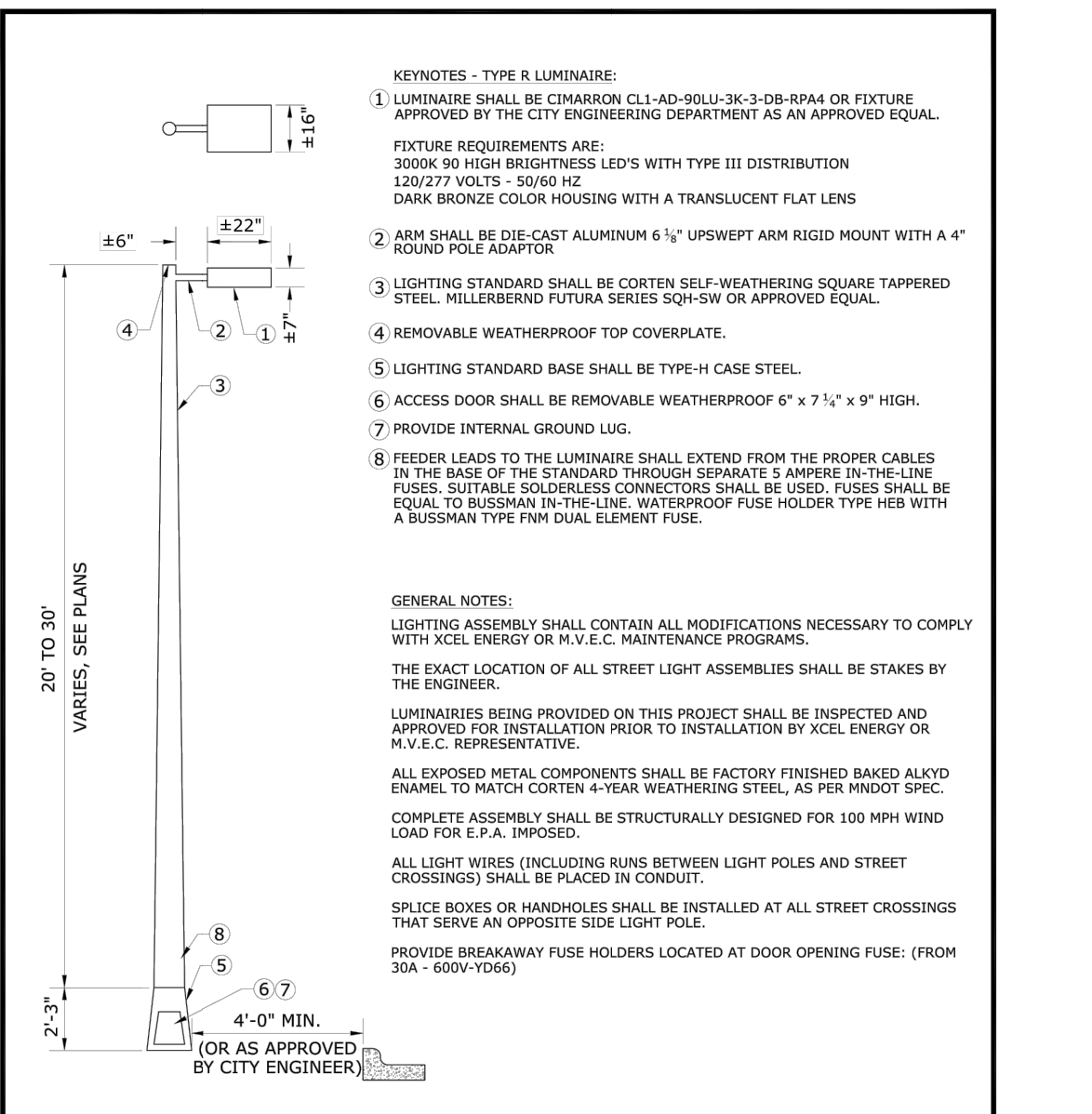
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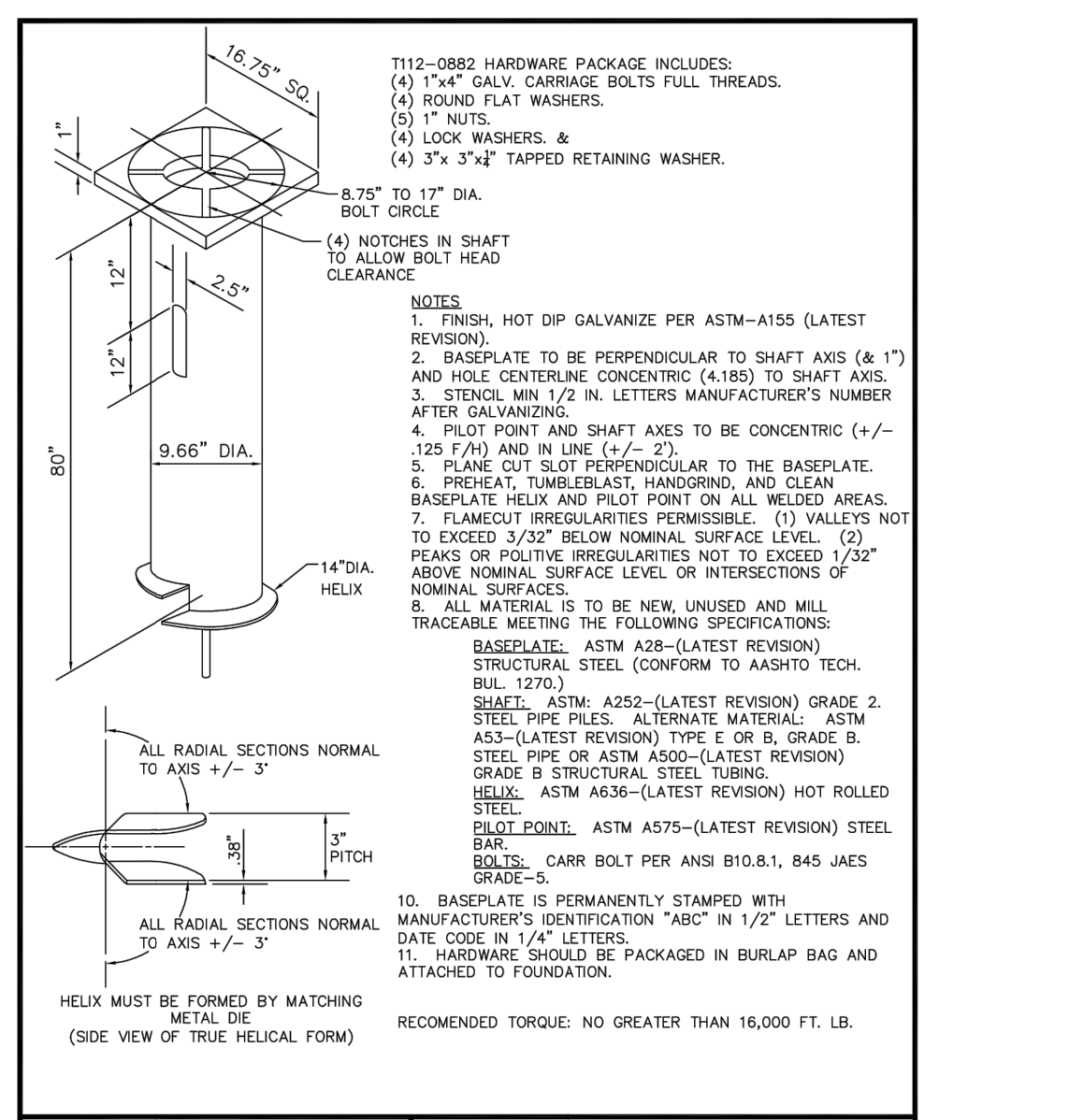
CITY OF CHANHASSEN	EROSION AND SEDIMENT CONTROL STANDARD NOTES	REVISION: 2-24	ENGINEERING DEPARTMENT	PLATE NO.: 5302D
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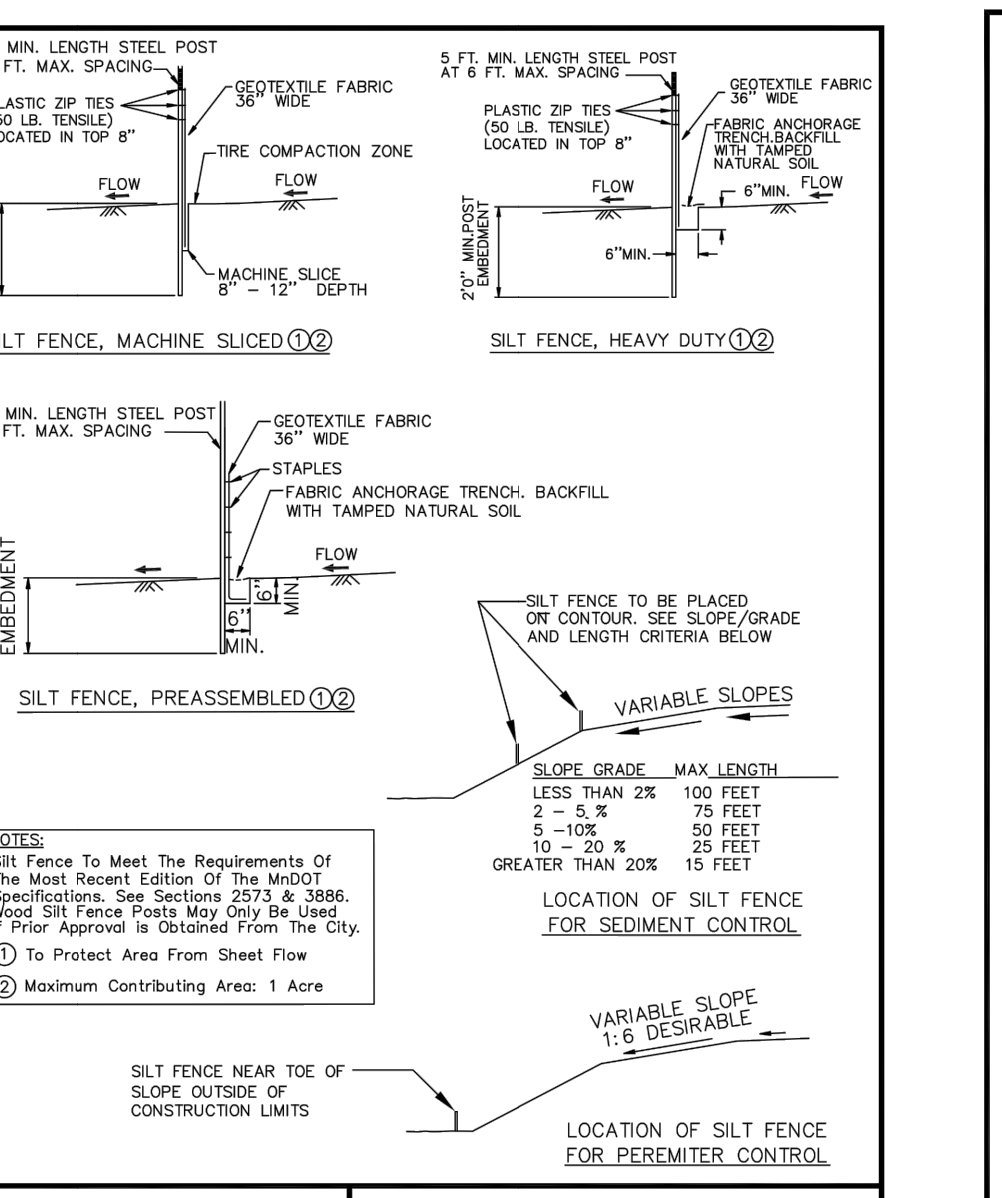
CITY OF CHANHASSEN	RESIDENTIAL CONCRETE DRIVEWAY ENTRANCES WITHOUT CURBS	REVISION: 2-24	ENGINEERING DEPARTMENT	PLATE NO.: 5208B
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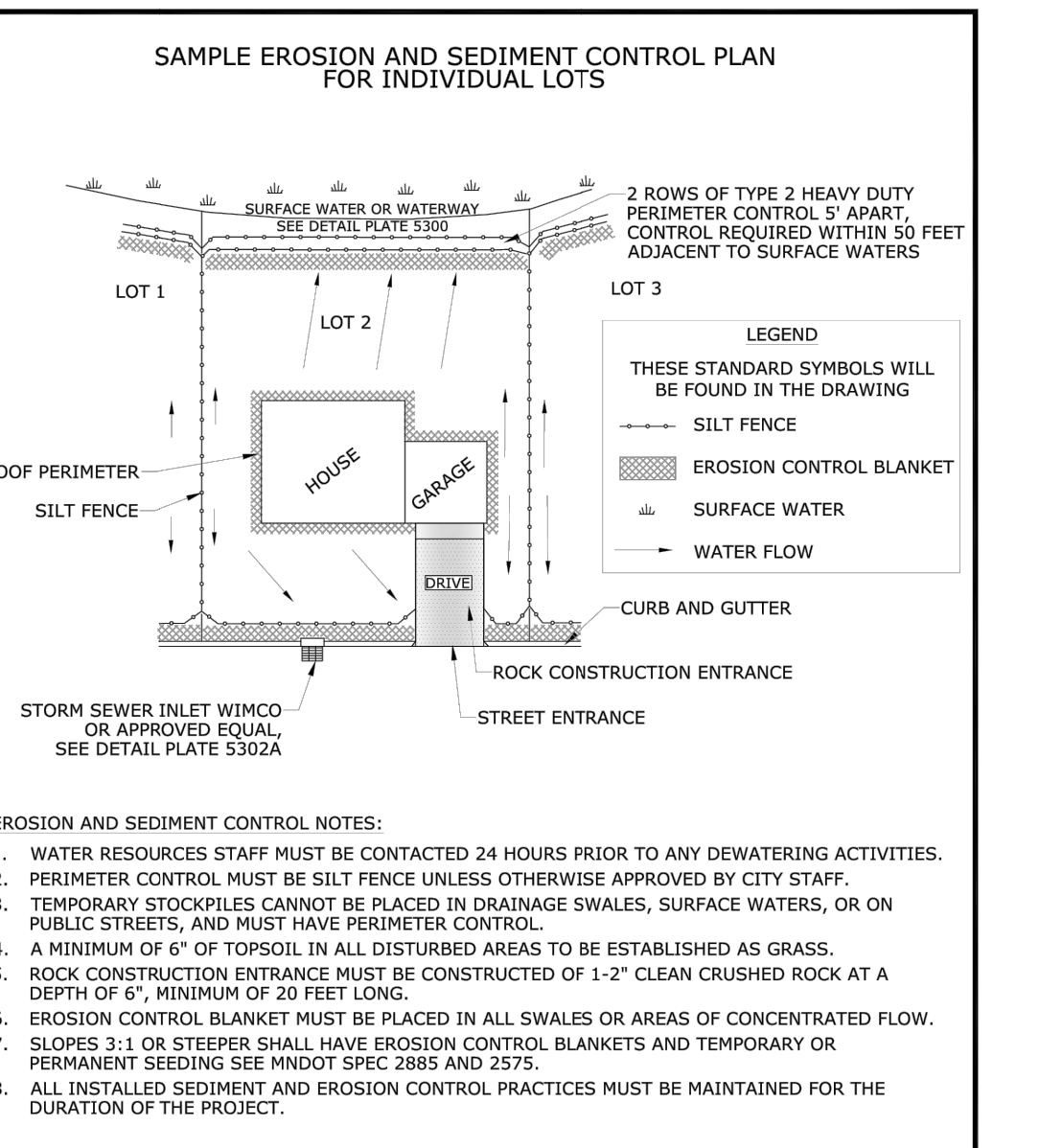
CITY OF CHANHASSEN	LIGHTING POLE	REVISION: 2-24	ENGINEERING DEPARTMENT	PLATE NO.: 5240
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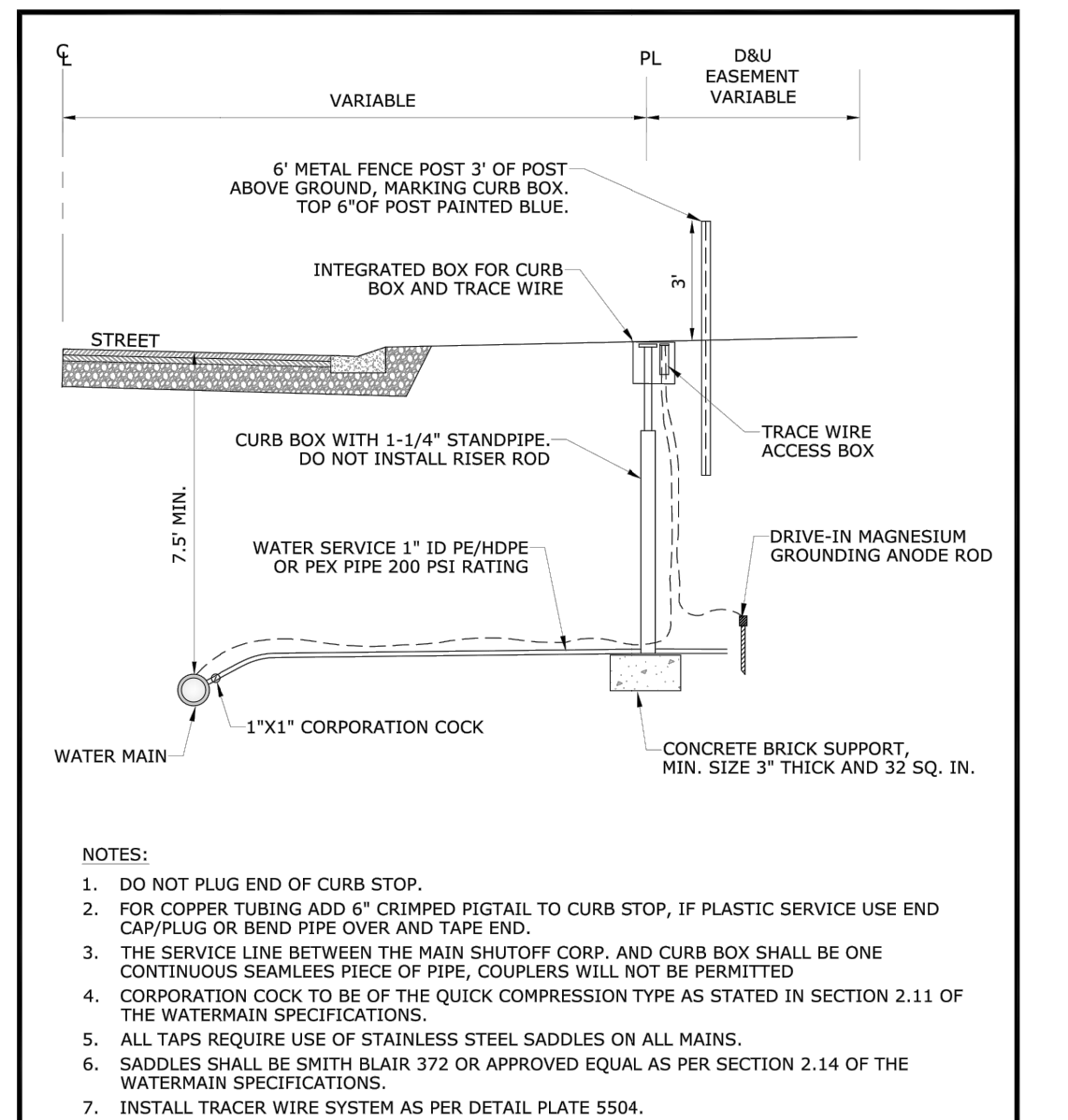
CITY OF CHANHASSEN	LIGHTING ASSEMBLY BASE DETAIL	REVISION: 2-08	ENGINEERING DEPARTMENT	PLATE NO.: 5241
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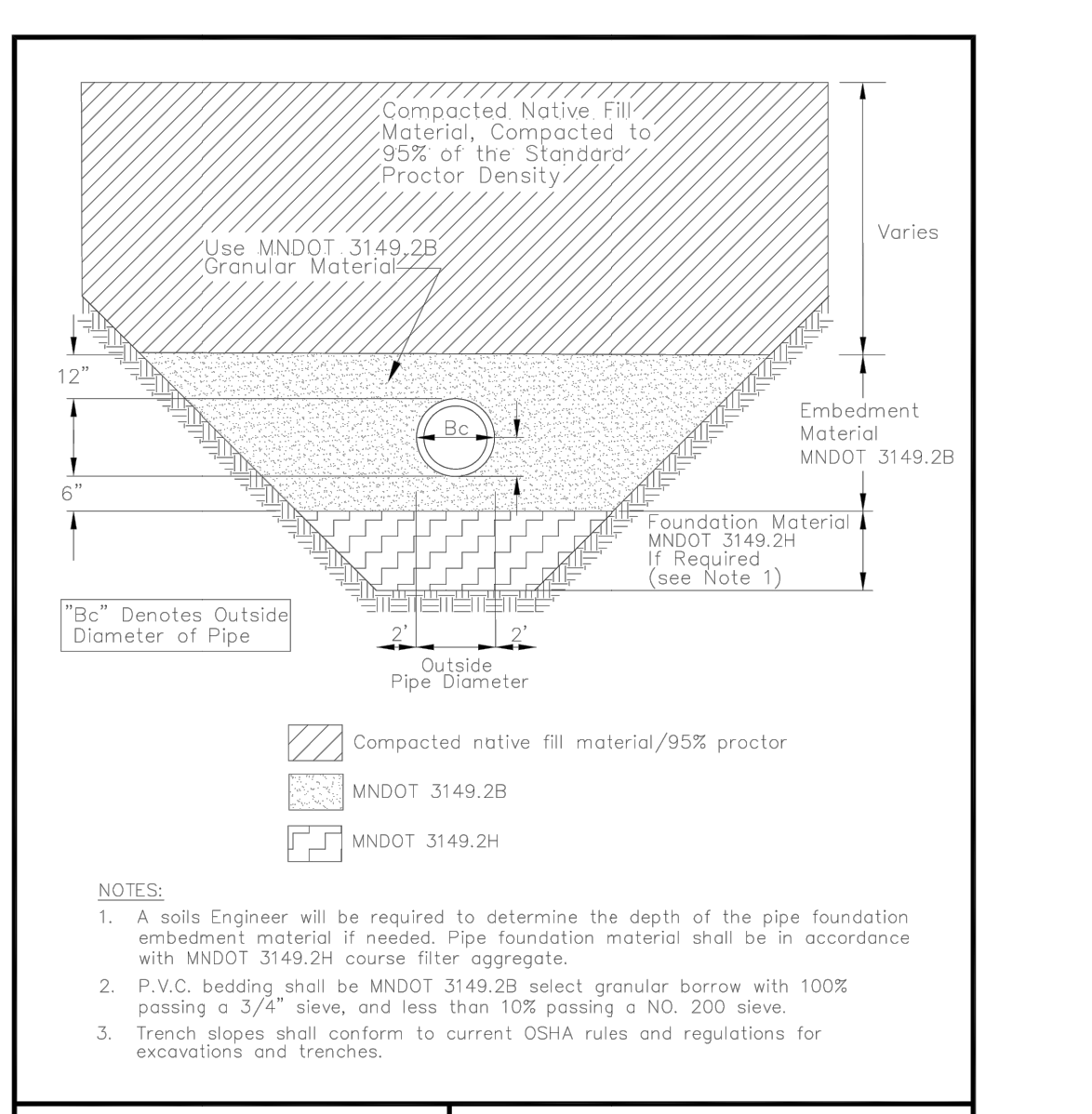
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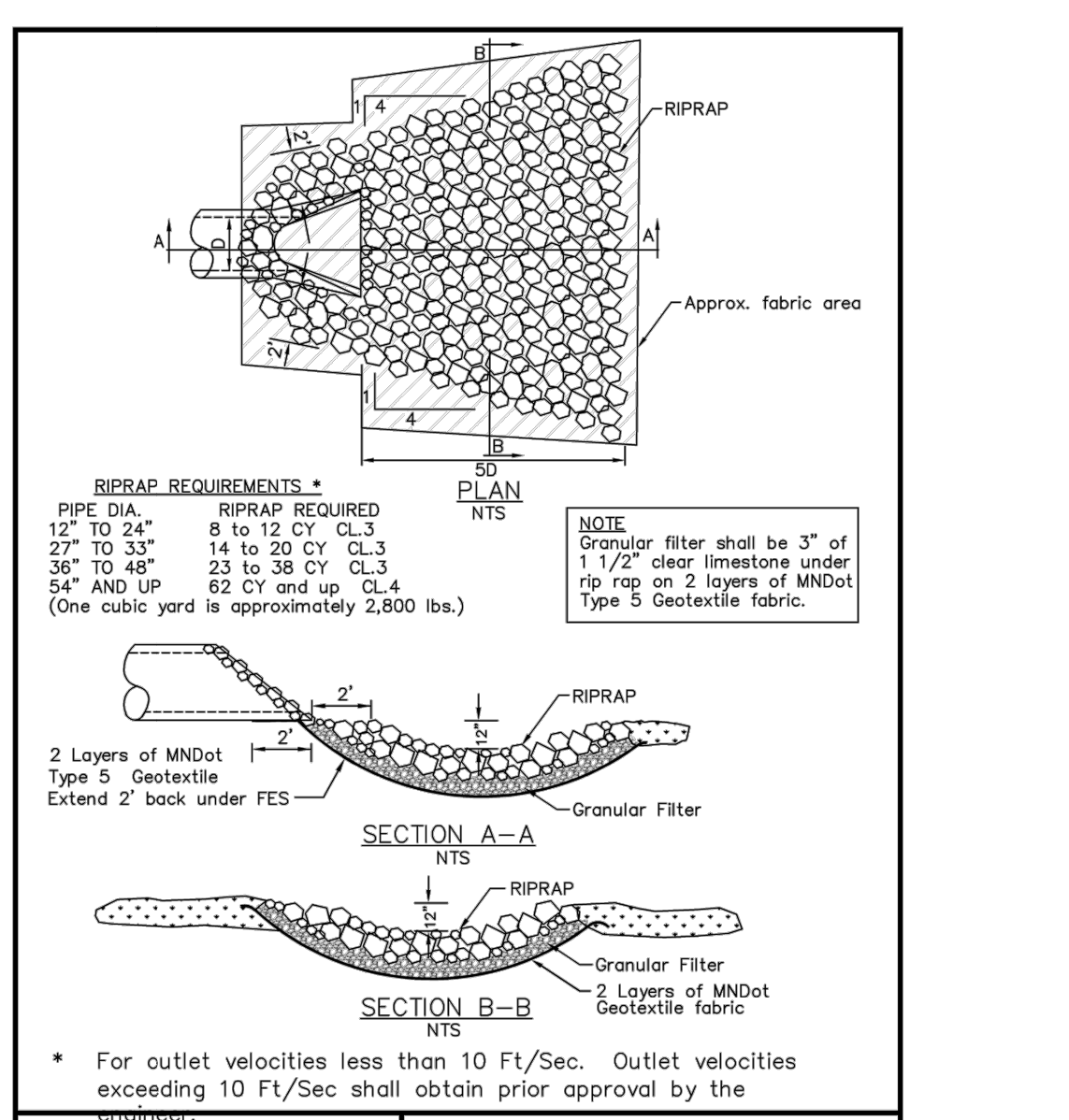
CITY OF CHANHASSEN	EROSION CONTROL FOR INDIVIDUAL LOTS (TYP.)	REVISION: 2-24	ENGINEERING DEPARTMENT	PLATE NO.: 5302B
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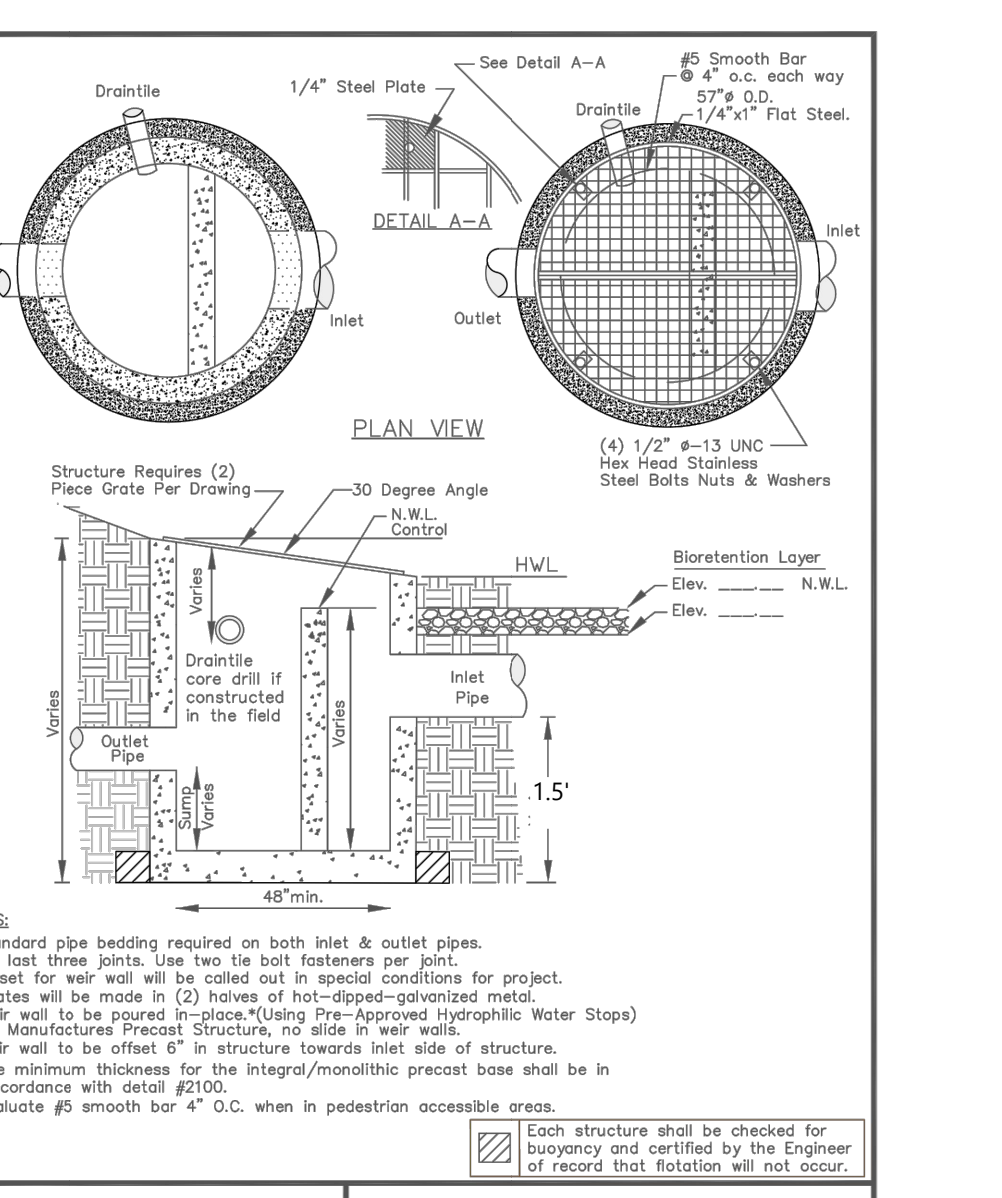
CITY OF CHANHASSEN	TYPICAL WATER SERVICE	REVISION: 2-24	ENGINEERING DEPARTMENT	PLATE NO.: 1005
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CITY OF CHANHASSEN	PIPE BEDDING FOR P.V.C. PIPE	REVISION: 11-19	ENGINEERING DEPARTMENT	PLATE NO.: 2203
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CITY OF CHANHASSEN	RIP RAP DETAIL	REVISION: 1-22	ENGINEERING DEPARTMENT	PLATE NO.: 3107
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CITY OF CHANHASSEN	BIORETENTION STRUCTURE WITH WEIR & DRAINTILE	REVISION: 1-23	ENGINEERING DEPARTMENT	PLATE NO.: 3109A
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DESIGNED: EJK	REVISIONS: 08/29/2024
CHECKED: GAB	
DRAWN: EJK/DW	
HORIZONTAL SCALE: 1/8" = 1'-0"	
VERTICAL SCALE: 1/8" = 1'-0"	

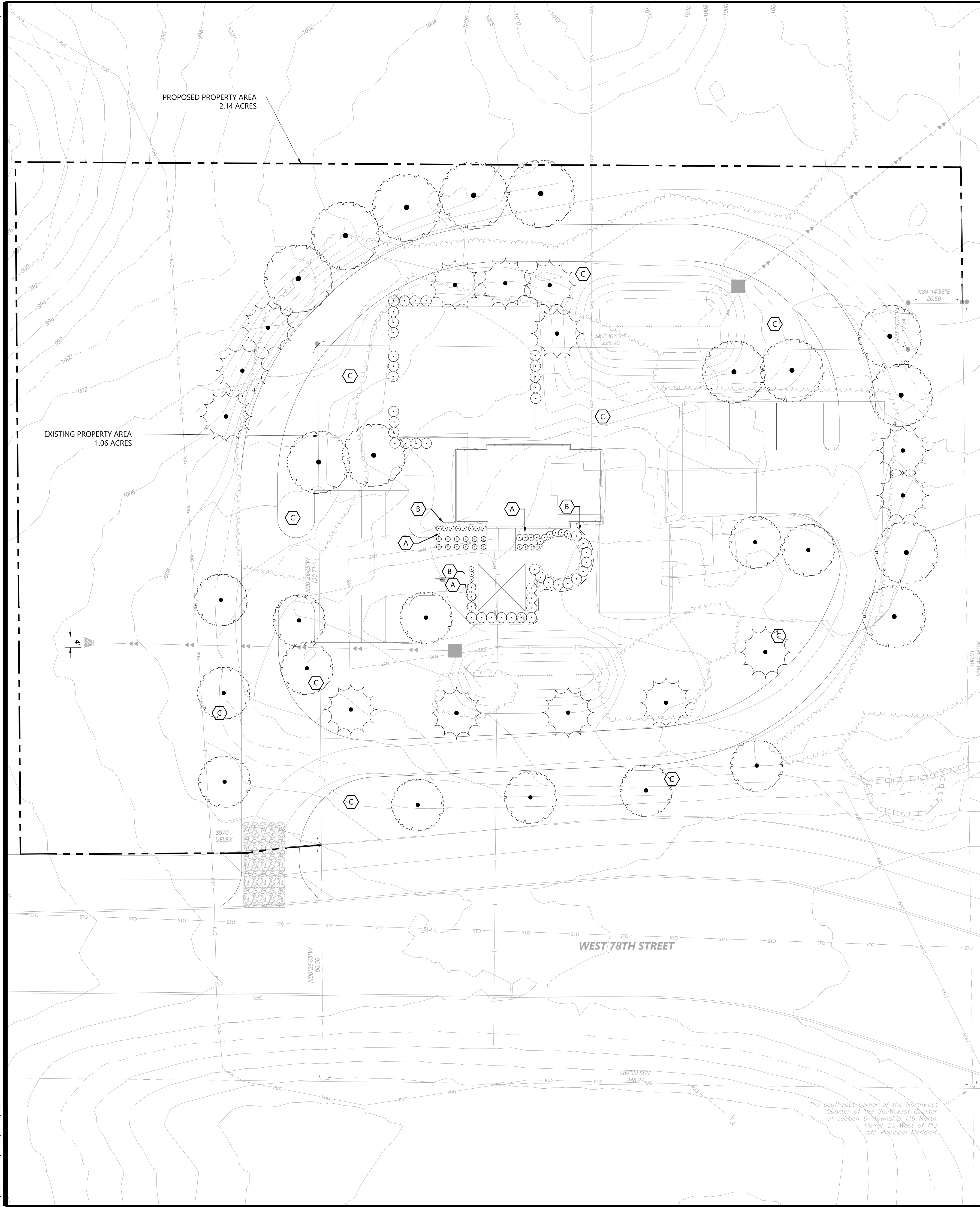
PREPARED FOR:  
**WESTWOOD CHURCH**  
3121 WESTWOOD DRIVE  
EXCELSIOR, MN 55331

DESIGNED BY:  
**HOPE HOUSE EXPANSION**  
DATE: 08/29/2024 LICENSE NO. 40409  
EXCELSIOR, MN

**Westwood**  
Phone: (828) 937-5150  
Fax: (828) 937-5622  
12701 Whitewater Drive, Suite 8000  
Charlotte, NC 28217  
www.westwoodps.com  
Westwood Professional Services, Inc.

DETAILS  
SHEET NUMBER:  
**C600**  
DATE: 08/29/2024  
PROJECT NUMBER: 0032076.00





### PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING O.C.	MATURE SIZE
<b>CONIFEROUS TREES</b>					
BHS	7	PICEA GLAUCOA 'DENSATA' / BLACK HILLS WHITE SPRUCE	8' HT B&B	AS SHOWN	H 30'-40' W 20'-30'
SCP	7	PINUS SYLVESTRIS / SCOTCH PINE	8' HT B&B	AS SHOWN	H 35'-45' W 20'-25'
<b>DECIDUOUS TREES</b>					
GMS	8	ACER SACCHARUM 'PNI 0285' / GREEN MOUNTAIN® SUGAR MAPLE	2.5" CAL	AS SHOWN	H 40'-60' W 30'-40'
AGG	7	GINKGO BILOBA 'AUTUMN GOLD' / AUTUMN GOLD GINKGO	2.5" CAL	AS SHOWN	H 30'-40' W 20'-30'
SUH	5	GLEDITSIA TRIACANTHOS INERMIS 'SUNCOLE' / SUNBURST® HONEY LOCUST	2.5" CAL	AS SHOWN	H 30'-50' W 25'-30'
HRD	12	HEMEROCALLIS X 'HAPPY RETURNS' / HAPPY RETURNS DAYLILY	#1 CONT.	24" O.C.	H 18'-22" W 24'-30"
<b>CONIFEROUS SHRUBS</b>					
ANJ	3	JUNIPERUS HORIZONTALIS 'ANDORRA' / ANDORRA JUNIPER	#5 CONT.	4'-0" O.C.	H 2'-3' W 3'-4'
<b>DECIDUOUS SHRUB</b>					
AFD	24	CORNUS SERICEA 'FARROW' / ARCTIC FIRE® RED TWIG DOGWOOD	#5 CONT.	4'-0" O.C.	H 3'-5' W 3'-5'
BUR	5	QUERCUS MACROCARPA / BUR OAK	2.5" CAL	AS SHOWN	H 50'-60' W 50'-60"
<b>ANNUALS/PERENNIALS</b>					
ANH	19	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE HYDRANGEA	#5 CONT.	4'-0" O.C.	H 3'-5' W 3'-5'
<b>GRASSES</b>					
KFG	10	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	#1 CONT.	3'-0" O.C.	H 4'-5' W 2'-3"

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER  
 QTY. = QUANTITY CONT. = CONTAINER

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

### LANDSCAPE SUMMARY

- It is a policy of the City of Chanhassen to protect the integrity of the natural environment through the preservation, protection, and planting of trees. The city finds that trees provide many benefits including: stabilization of the soil by the prevention of erosion and sedimentation, reduction of stormwater runoff and the costs associated therewith, improvement of air quality, reduction of noise pollution, control of urban heat island effect, protection and increase of property values, protection of privacy, energy conservation through natural insulation, control of drainage and restoration of denuded soil subsequent to construction and grading, protection from severe weather, providing habitat for birds and other wildlife, conservation and enhancement of city's physical and aesthetic environment, reforestation of open lands, and general protection and enhancement of the quality of life and general welfare of the city. It is therefore the purpose of this section to provide regulations related to the cutting, removal, or killing of trees on construction and development sites and to ensure the protection and preservation of the natural environment and beauty of the City of Chanhassen.
  - Prior to the submittal of development plans, a tree survey of the site shall be prepared by a registered landscape architect, licensed forester, or other professional approved by the city. The tree survey shall reflect conditions on site at the time of submittal, or shall have been reviewed and updated no more than two years prior to the submittal date. This survey shall include the species, DBH size, condition, location of all trees over ten inches in diameter and any damaged or diseased trees on site. All significant special, damaged or diseased trees shall be tagged and identified by number on the survey. A delineation of the existing canopy coverage area(s) which outlines all areas covered by tree canopy shall be included as part of the survey. Additionally, all damaged and diseased trees shall be cataloged with the nature and extent of any damage or disease specified.
    - Based on this survey and either site observation and measurement or a current aerial photograph (taken within one year of the date of plan submittal) interpretation, the following shall be calculated:
      - Base line canopy coverage.
      - Minimum canopy coverage requirements.
- The following table shall be used to determine the minimum amount of canopy coverage that must be maintained or provided on-site as part of the development. It shall represent the minimum canopy coverage, consisting of existing tree canopy and/or additional trees required for the site. Existing wetland areas, bluff areas, and dedicated park land located on site shall be excluded from the calculation of site area in the determination of site coverage. If a forested area is to be dedicated to the city for park land, then this area shall not be included in the base line canopy coverage area calculation nor shall it count towards the minimum canopy coverage for the site.

Comprehensive Plan Designation	Base Line Canopy Coverage Per Acre				
	80—100%	60—79%	40—59%	20—39%	19% or less
Commercial/Industrial/Institutional	28%	25%	20%	14%	10%
High density residential	35%	30%	25%	20%	15%
Medium density residential	40%	35%	30%	25%	20%
Low density residential	55%	46%	35%	30%	25%
Large lot residential	68%	56%	43%	35%	25%

Base line canopy coverage is the canopy coverage existing at the time the development application is filed with the city. Minimum canopy coverage is determined by using the matrix.

- Priority shall be given to retaining stands of trees and undisturbed wooded lands over individual specimen trees that will be incorporated into the development. No more than ten percent of the canopy retention requirement may be met by an individual tree that is not included within a designated woodland area.
- For developments that do not meet the minimum canopy coverage, the developer shall be required to develop a reforestation plan to bring the total canopy coverage up to the minimum requirement. Where existing woodlands are removed or there is a loss of trees that would otherwise be used to meet the canopy coverage retention requirement, the developer shall develop a woodland replacement plan. The replacement plan must designate an area at least one and two-tenths (1.2) times the removed canopy coverage area that shall be planted with replacement trees for those removed. These plans shall locate additional trees either as a continuation of existing stands of trees that are to be preserved or create new stands of trees in desirable locations such as along roadway corridors, on the north and west perimeters of the development, in common open areas, or adjacent to park facilities.
- The following criteria shall be followed in establishing minimum canopy coverage:
  - When planting trees, one tree shall be deemed to provide 1,089 square feet of required canopy coverage;
  - Trees must be from the approved list of desirable species (preference given for trees designated as native);
  - No more than ten percent of the trees may be from any one tree species, no more than 20 percent of the trees may be from any one genus, and no more than 30 percent of trees from any one family;
  - Overstory trees shall be at least 2 1/2-inch caliper and understory trees shall be a minimum of 1 1/2-inch caliper;
  - Conifer trees shall be a minimum of six feet in height;
  - Plant materials used for the reforestation shall be of a similar species as vegetation found on-site;
  - Trees shall be used that are appropriate to the soil conditions found on site;
  - Trees shall be from certified nursery stock as defined and controlled by M.S. §§ 18.44 through 18.61, the Plant Pest Act; and
  - Not less than 75 percent of the total trees required shall be overstory species.

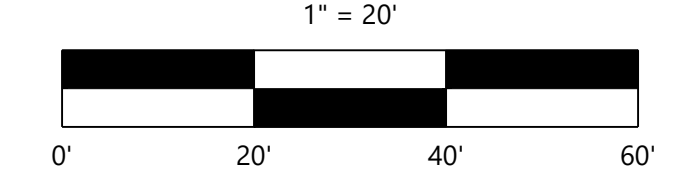
BASE LINE CANOPY COVERAGE:	23,746 SF
PERCENT CANOPY COVERAGE:	25.5% (23,746/93,218.4 = .2547)
REQUIRED CANOPY COVERAGE:	32,627 SF (93,218.4*.35= 32626.44)
CANOPY COVERAGE SHORTAGE:	8,881 SF (32,627-23,746=8,881)
TREES REQUIRED:	9 (8,881/1,089= 8.155)
TREES PROVIDED:	20
PROVIDED CANOPY COVERAGE:	45,526 SF (20*1,089=21780+23,746)

### LANDSCAPE LEGEND

- OVERSTORY DECIDUOUS TREE
- OVERSTORY CONIFEROUS TREE
- SHRUBS
- PERENNIALS
- EDGER

### LANDSCAPE KEYNOTES

- A SHREDDED HARDWOOD MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP.)



PRELIMINARY DOCUMENTS

DESIGNED:	EJK
CHECKED:	GAB
DRAWN:	EJK/DW
HORIZONTAL SCALE:	30'
VERTICAL SCALE:	# OF 2'

PREPARED FOR:  
**WESTWOOD CHURCH**  
 3121 WESTWOOD DRIVE  
 EXCELSIOR, MN 55331

VERIFY BEFORE THAT THE PLAN WAS PREPARED BY THE ONLY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA  
 DATE: \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

**HOPE HOUSE EXPANSION**  
 EXCELSIOR, MN

**Westwood**  
 12701 Whitehawk Drive, Suite 6000  
 (828) 937-5100  
 (828) 937-5022  
 Minneapolis, MN 55433  
 Phone  
 Fax  
 Email  
 Westwood Professional Services, Inc.

**LANDSCAPE PLAN**

SHEET NUMBER:

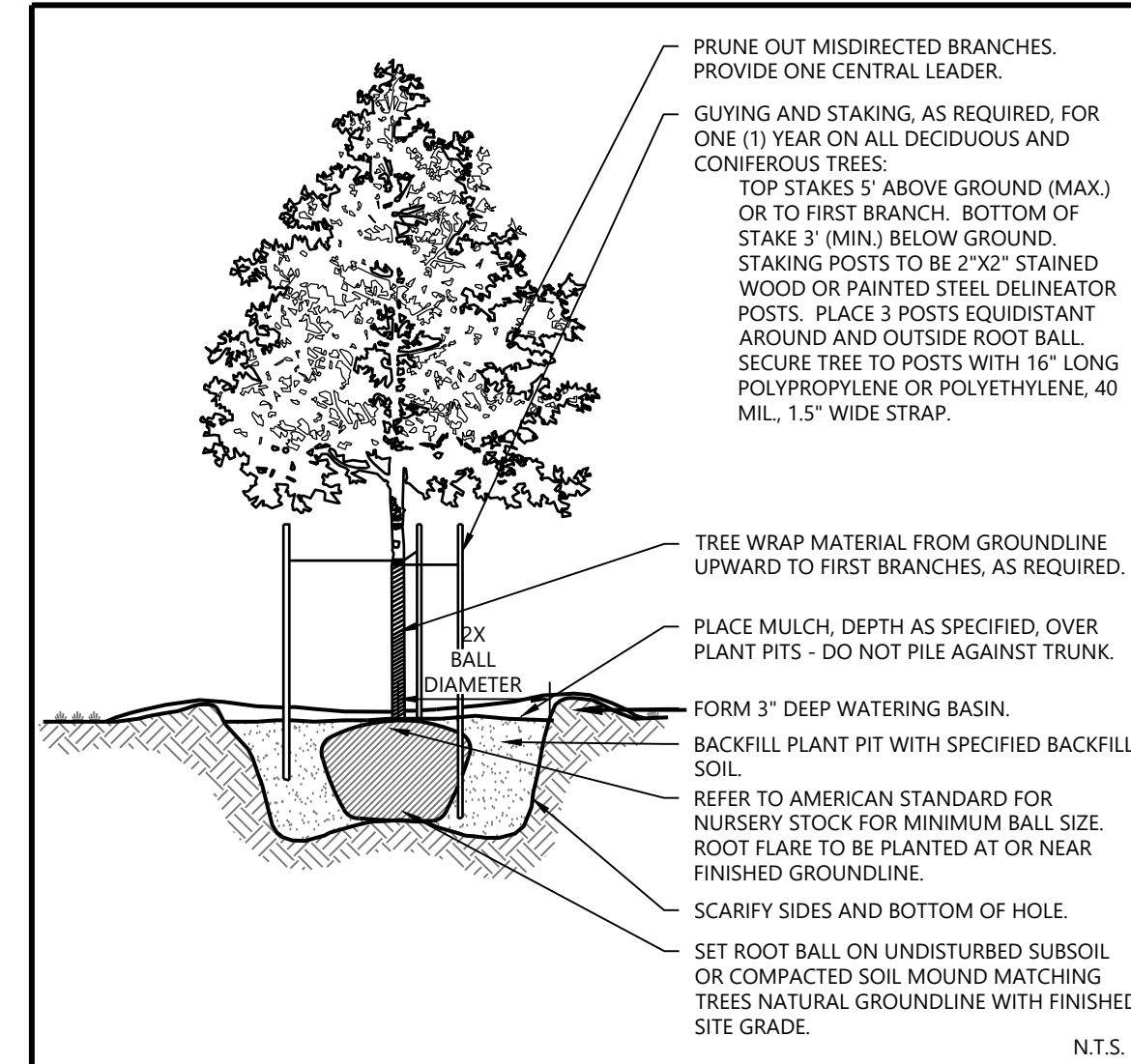
**L100**

DATE: 08/29/2024

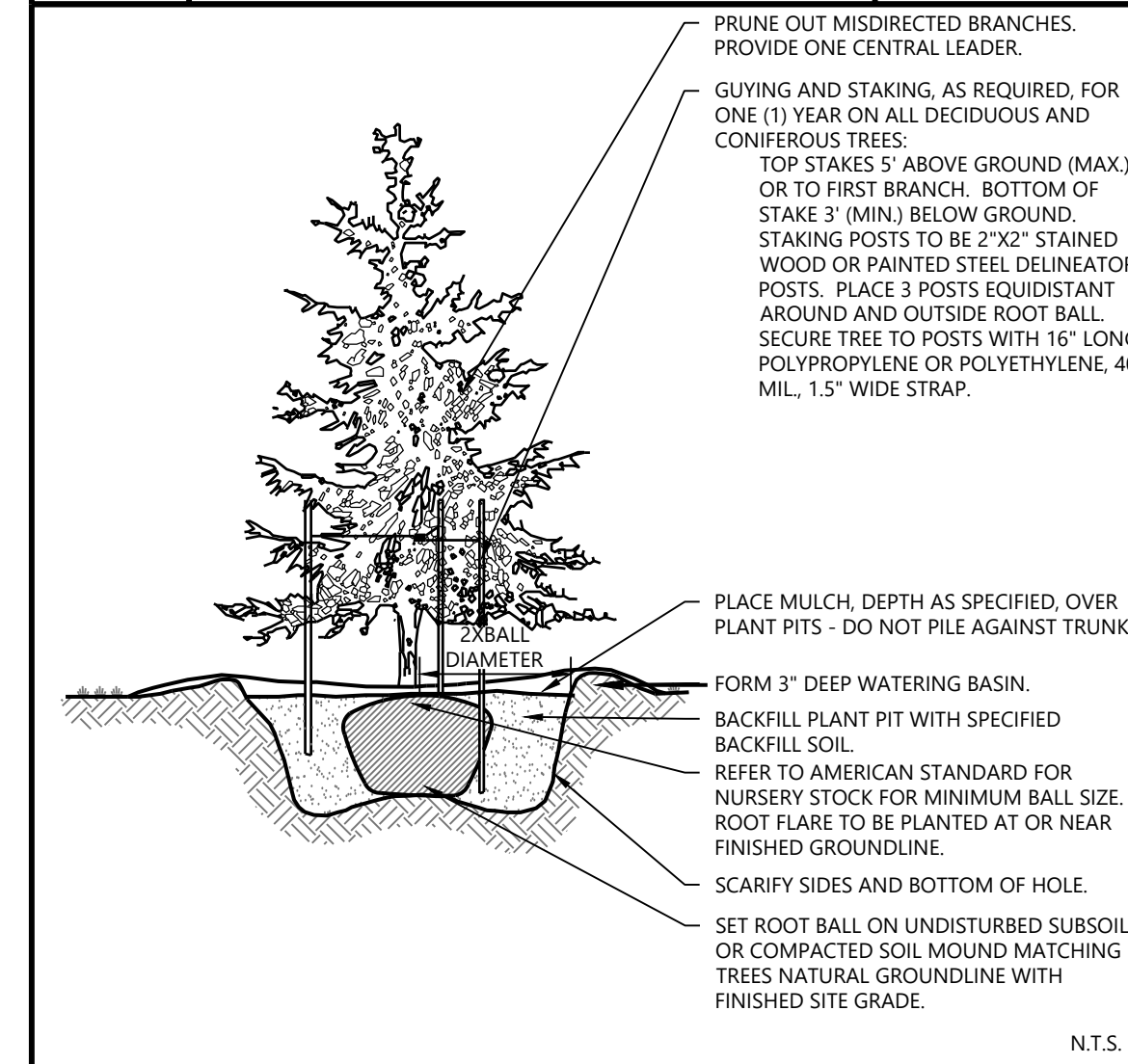
PROJECT NUMBER: 0032076.00



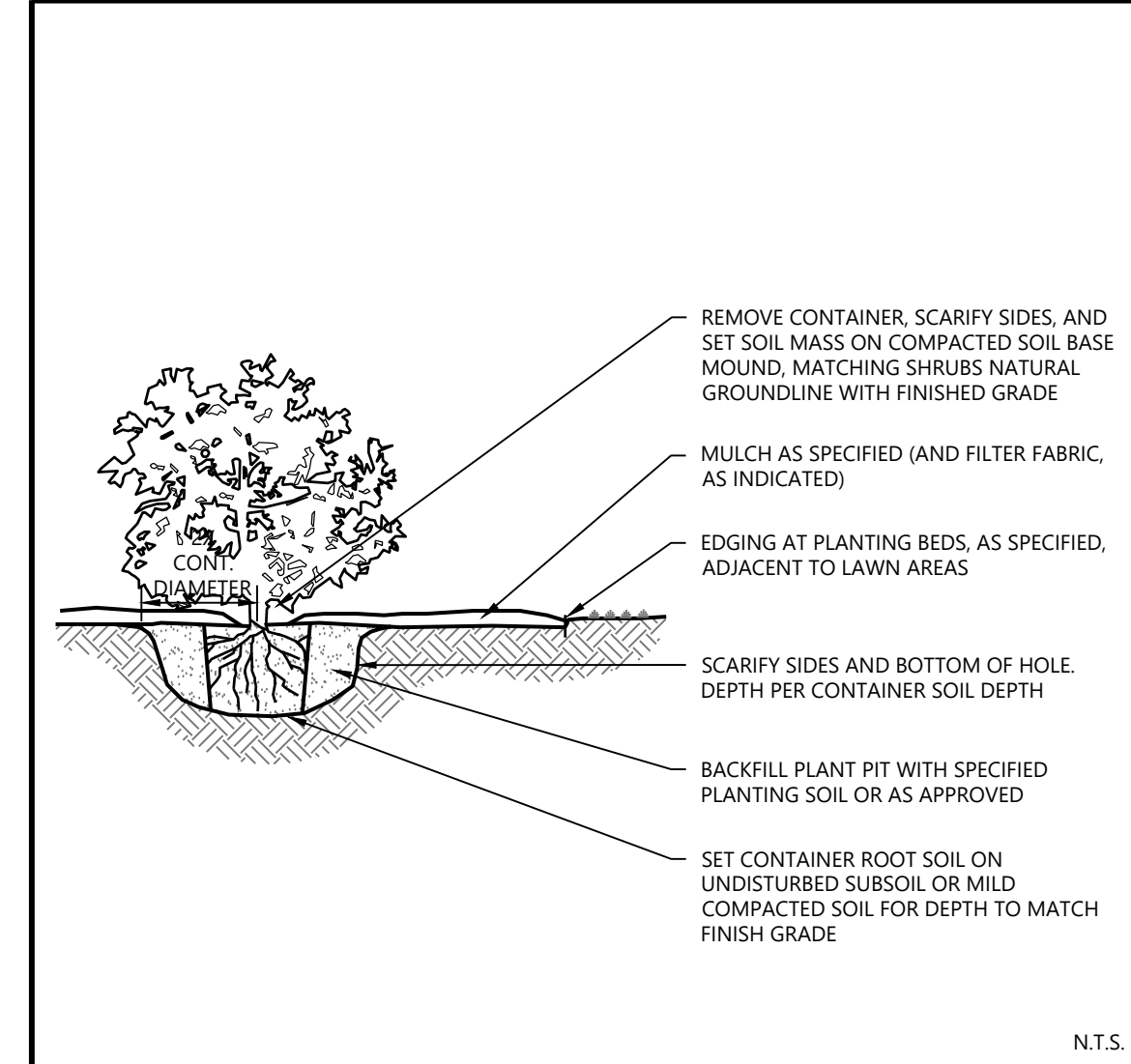
- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:  
 ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.  
 ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.  
 ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.  
 ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.  
 CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 6" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL COLORED, OR APPROVED EQUAL. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- BOULDERS TO BE FIELDSTONE BOULDERS, SIZED BETWEEN 36"-48" IN BOTH WIDTH AND HEIGHT. BOULDERS AVAILABLE FROM ROCK HARD LANDSCAPE SUPPLY, [www.rockhardlandscapesupply.com/](http://www.rockhardlandscapesupply.com/), 952.207.4456.
- ALL DISTURBED AREAS TO BE SODDED OR SEEDDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILT BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.



Westwood	DECIDUOUS TREE PLANTING	LAST REVISED: 10/19/18
		LA28



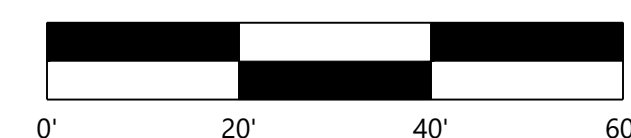
Westwood	EVERGREEN TREE PLANTING	LAST REVISED: 10/19/18
		LA29



Westwood	SHRUB & PERENNIAL CONTAINER PLANTING	LAST REVISED: 10/19/18
		LA27-C



1" = 20'



PRELIMINARY DOCUMENTS

DESIGNED:	EJK
CHECKED:	GAB
DRAWN:	EJK/DW
HORIZONTAL SCALE:	30'
VERTICAL SCALE:	# OF 2'
INITIAL ISSUE:	08/29/2024
REVISIONS:	

PREPARED FOR:  
**WESTWOOD CHURCH**  
 3121 WESTWOOD DRIVE  
 EXCELSIOR, MN 55331

VERIFY BEFORE THAT THE PLAN WAS PREPARED BY THE DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 DATE: \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

**HOPE HOUSE EXPANSION**  
 EXCELSIOR, MN

**Westwood**  
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 Fax: (612) 937-5022  
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 Westwood Professional Services, Inc.

LANDSCAPE NOTES + DETAILS

SHEET NUMBER:

**L101**

DATE: 08/29/2024

PROJECT NUMBER: 0032076.00