



Title: Permit 21-161: Interlachen Country Club, 6200 Interlachen Blvd, Edina

Prepared by: Name: Abigail Ernst
Phone: 952-641-4504
aernst@minnehahacreek.org

Recommendation:

Approval of MCWD permit application on the following stipulations:

1. Submission of maintenance declaration for Stormwater Management, Waterbody Crossings and Structures, and Wetland Buffers for District approval, then recordation and submission of receipt
2. Submission of NPDES permit number and responsible contractor
3. Submission of Financial Assurance for Erosion Control and Stormwater Management
 - a. Erosion Control Financial Assurance- \$2,500.00
 - b. Stormwater Management Financial Assurance- \$2,600.00
4. Reimbursement of Engineering and mailing fees
 - a. Engineering Fee- \$6,454.00
 - b. Mailing Fee- \$108.00

Condition for permit closeout:

5. Submission of an as-built survey upon completion of the project

Summary:

The Interlachen Country Club (Applicant) has applied for a Minnehaha Creek Watershed District (MCWD) permit for the construction of a parking lot and small accessory building on their property. The project triggers Erosion Control, Stormwater Management, Waterbody Crossings and Structures, and Wetland Protection rules. The project meets the requirements for all applicable rules.

Background:

Location:

To provide context, the Interlachen Country Club is a 76.36-acre commercial property, consisting of several parking areas, tennis courts, accessory buildings, and an 18-hole golf course. The property sits in the Northwest corner of the City of Edina. The entirety of the proposed project area is within MCWD legal boundary, but the property does not fully lay within the hydrologic boundary; the southern portion of the property is within the Nine Mile Creek Watershed District. Drainage is generally split across the property, with the Northern half routing toward Wetland #1 (see site map) and continuing through stormwater pipes to the City of Hopkins; the other half routing South to Mirror Lake, either directly or through Wetland #2.

Project Areas and Proposed Improvements:

The Applicant is proposing to construction in three separate areas of the same property. The first area (Area 1) is in the Southwest portion of and is approximately 3.40 acres. The proposed improvements include a new bituminous parking lot, concrete curb and gutter, expanded parking along Waterman Ave, fire turn around cul-de-sac, concrete sidewalk, and filtration basin.

The second area (Area 2) is located along Interlachen Boulevard and is approximately 0.44 acres. The proposed improvements include a small accessory building, reconstructed bituminous road, and reconstructed curb and gutter.

The third area (Area 3) is the parking lot in the Northwest portion of the property, approximately 0.87 acres. The proposed improvements include reclamation of the existing parking area, installation of proposed storm sewer, and the upgrade of an existing lift station.

Stormwater Treatment:

Through geotechnical analysis, it was determined that infiltration was not feasible on site and that a filtration basin would have to be used for stormwater treatment. The proposed basin exceeds permitting standards by providing additional treatment. Full stormwater management is described in the Stormwater Management section.

District Rule Analysis:

Erosion Control Rule

The District's Erosion Control rule is applied to projects proposing 5,000 square feet of disturbance or 50 cubic yards of excavation, fill, or stockpiling on-site. The Applicant is proposing 5.04 acres of disturbance; therefore, the rule is triggered.

Per section 5(a) and 5(b) of the rule, an erosion and control plan has been submitted and displays erosion and sediment control best management practices. These include rock construction entrance, silt fence down gradient of disturbed areas, and inlet protections where necessary.

Per section 6 of the rule, a geotechnical report and soil boring results have been provided. It was determined that the soils are not conducive to infiltration, so filtration is proposed for stormwater management.

Section 7 of the rule does not apply, no additional information was requested.

Per section 8 of the rule, submission of a financial assurance is listed as a recommended condition of approval to satisfy this requirement.

In summary, upon satisfaction of the recommended conditions, the project meets the requirements of the Erosion Control Rule.

Wetland Protection Rule

The Buffer provision of the Wetland Protection rule is required if the work needs a permit under the Stormwater Management or Waterbody Crossings & Structures rule. Both the Stormwater Management and Waterbody Crossings and Structures rules are triggered; therefore, the buffer requirement is triggered. A previous project,

permit 18-313, required a buffer along the southern edge of Wetland #1, therefore, a buffer will only be added along the Eastern edge, which is adjacent to the disturbance of Area 2.

Per section 5(a) of the Wetland Protection rule, buffers must be provided on wetland edges downgradient of disturbance. The applicant has provided plans that include a wetland buffer provided on the eastern edge of the downgradient Wetland #1

Per section 5(b) of the rule, buffers are required, and have been analyzed under section 6, below.

Per section 5(c) of the rule, buffers must be documented by a declaration or other recordable instrument. Submission of a maintenance declaration is listed as a recommended condition of approval to satisfy this requirement.

Section 5(d) of the rule requires a permanent wetland buffer monument to be installed at each lot line where it intersects the buffer, and where needed to indicate the contour of the buffer, with a maximum spacing of 100 feet. A buffer monumentation plan has been submitted and will be included in the buffer maintenance declaration, which is listed as a recommended condition of approval.

Per section 6(a) of the rule, buffer width requirements are determined by the management class of the wetland. A delineation and MNRAM performed in June of 2018, classified this wetland as a Manage 2, which corresponds to a 30-foot buffer.

Per section 6(c) of the rule, buffer averaging is permitted should the full width of the buffer not be able to be provided in all locations. Under this provision of the rule, buffer averaging may encompass minimum buffer widths of 15 feet (50%), with a maximum width of 60 feet (200%) for Manage 2 wetlands, provided that there is no reduction in total buffer area (assumes an area equal to a uniform 30-foot buffer along the length of the wetland). Based on review of the plans and specifications, the Applicant will be averaging the buffer in two areas. Area 1 is being decreased by 491 sqft and Area 2 is being decreased by 1,112 sqft. Both Areas 1 and 2 deficiencies will be distributed along the remaining buffer areas to mitigate deficiencies.

Section 6(d) of the rule does not apply, as the Applicant has not requested a reduction in Applied Buffer Width.

Section 6(e) of the rule does not apply, because the project is not resurfacing, but reconstruction, and further while the project involves the reconstruction of a road, the road is privately owned and therefore has no public right-of-way.

Section 6(f) of this rule does not apply as this project is not a New Principal Residential Structure.

The criteria of section 7(a) of the Wetland Protection rule, which prohibits actions such as mowing, fertilizing or placement of yard waste within the buffer area, is memorialized with the maintenance declaration. Submission of a maintenance declaration including these provisions is listed as a recommended condition of approval.

Section 7(b) of the rule does not apply as the site is not considered public land, a homeowner's association property, or public right-of-way.

Per section 7(c) of the rule, a vegetated buffer plan will be required due to the disturbance caused by the storm sewer removal.

In summary, upon satisfaction of the recommended conditions, the project meets the requirements of the Wetland Protection Rule.

Waterbody Crossings and Structures Rule

The District Waterbody Crossings & Structures rule is applicable for any project that proposes to place a road, highway, utility, bridge, boardwalk, or associated structure in contact with the bed or bank of any waterbody. The project proposes the removal of a stormwater pipe and installation of new pipe and lift station, that outlets into the bank of a detention pond.

Section 3(a) of the rule does not apply as it does not involve a crossing and the detention pond is a not a public water.

Per section 3(b), the placement of the new pipe and lift station shall retain adequate hydraulic capacity, and any changes in hydraulic capacity may not result in upstream or downstream increases in flood stage. The proposed stormwater pipe and lift station will reduce rates and thus reduce stormwater flows during the 1-year, 10-year, and 100-year storm events. After review of the proposed plans, the District Engineer has confirmed that the applicant has demonstrated that hydraulic capacity will be retained.

Section 3(c) of the rule does not apply as the waterbody does not have adequate navigation capacity.

Per section 3(d), aquatic and upland wildlife passages shall be preserved. The proposed lift station is for stormwater conveyance from the detention pond and will not impede wildlife passage. Aquatic and upland wildlife passages will be preserved from existing to proposed conditions.

Per Section 3(e), the placement of a structure shall not adversely affect water quality. As proposed, no negative effects on water quality are associated with the pipe and lift station replacement.

Per Section 3(f), the applicant has submitted design alternatives to show the proposed plan meets the minimal impact solution with respect to all other reasonable alternatives. One alternative submitted was a no-build scenario. This option is not feasible because the current pipe system is degraded and would not meet project goals. The second alternative submitted was to use a portable sump pump, which is not a feasible solution because it would cause a safety hazard. Based on the two alternatives submitted for the project, MCWD staff concur that the applicant has demonstrated that the proposed plan represents a minimal impact solution.

Sections 3(g) and 3(h) do not apply to this project, as no work is proposed below the bed of the stormwater pond.

Per section 6, the maintenance requirement of waterbody crossings and structures will be satisfied through the recordation of a maintenance declaration, listed as a recommended condition of approval.

The project, as designed, meets the District's Waterbody Crossings and Structures rule.

Stormwater Management Rule

The District's Stormwater Management Rule is applied to projects that propose the creation of new or replacement of existing impervious surface. The proposed project proposes an increase of 0.76 acres from existing conditions. The project proposes redevelopment of a site greater than one acre; less than 40% of the site will be disturbed; less than 50% increase in impervious surface; and therefore, phosphorus, rate, and volume control will be required for the site's new impervious surface. The Applicant has proposed to meet the District's Stormwater Management rule by constructing a filtration basin to treat runoff from the new impervious surface.

Table 1: Existing and Proposed Site Conditions					
<i>Area</i>	<i>Area Size (ac)</i>	<i>Existing Drainage</i>	<i>Proposed Drainage</i>	<i>Existing Impervious (ac)</i>	<i>Proposed Impervious (ac)</i>
1	3.4	Mirror Lake	Mirror Lake/Wetland #1	0.89 (38,768sf)	1.57 (68,389sf)
2	0.44	Wetland #1	Wetland #1	0.17 (7,405sf)	0.25 (10,890sf)
3	0.87	Mirror Lake	Mirror Lake	0.38 (16,552sf)	0.38 (16,552sf)

Per section 3(a) of the rule, the phosphorus control requirement is satisfied by meeting the abstraction requirement as outlined in section 3(c). Because the Applicant has demonstrated conformance with the volume control requirement, the phosphorus control requirement has been met. Furthermore, the implementation of the filtration basin will decrease both TSS and TP.

Table 2: Comparison of Total Phosphorus and Total Suspended Solids (lbs./year)		
<i>Condition</i>	TSS	TP
<i>Existing</i>	1,878.0	6.00
<i>Proposed</i>	787.7	2.7
<i>% Reduction</i>	58%	55%

Per section 3 (b) of the rule, there shall be no net increase in peak runoff rates for 1-, 10-, and 100-year storm events. The District Engineer has reviewed the proposed plans, stormwater models, and stormwater calculations and determined that the project will not increase peak rates during 1-, 10-, and 100-year storm events. The project as proposed is in conformance with the rate requirements of the rule.

Table 3: Existing and Proposed Rate Summary to Wetland #1		
	Pre-Development Discharge Rate CFS	Post-Development Discharge Rate CFS
1-year	2.62	1.17
10-year	6.49	2.74
100-year	13.65	7.99

Table 4: Existing and Proposed Rate Summary to Mirror Lake		
	Pre-Development Discharge Rate CFS	Post-Development Discharge Rate CFS
1-year	4.64	1.22
10-year	9.63	6.54
100-year	18.45	9.67

Table 5: Existing and Proposed Rate Summary to Wetland #2		
	Pre-Development Discharge Rate CFS	Post-Development Discharge Rate CFS
1-year	1.04	1.20
10-year	2.17	2.34*
100-year	4.21	4.36*

The runoff rate increase to the existing Wetland #2 discharges to Mirror Lake and cumulative discharge to Mirror Lake decreases for each storm event

Per Section 3(c), the Applicant has proposed to provide for the first 1" of abstraction through construction of a filtration basin to treat runoff from the new impervious surface of 33,106 square feet. The Volume Abstraction Credit Schedule states that filtration will receive 50% volume abstraction credit. Therefore, the basin will need to treat for twice the amount.

$$\begin{aligned} \text{Net increase in impervious area} \times 1.0''/12 &= \text{Required treatment volume} \\ 33,106 \text{ sf} \times 1.0''/12 &= 2,759 \text{ cf} \\ \text{Filtration volume required} &= \text{Required treatment volume} \times 2 \\ 2,759 \times 2 &= 5,518 \text{ cf} \end{aligned}$$

The total treatment volume provided by the basin is 7,408 cf.

Per section 3(d) of the rule, best management practices must be incorporated to limit the creation of impervious surface, maintain or enhance on-site infiltration, peak flow, and limit pollution generation on and discharge from the site. The Applicant has provided plans, stormwater modeling, stormwater calculations, and a narrative to demonstrate conformance with this requirement. Based on review of the Applicant's submittals, staff and the District Engineer have determined that the proposed filtration basin, designed in conformance with the criteria as outlined in the Minnesota Stormwater Manual, and their incorporation satisfies the requirements of this provision.

Per section 3(e), this section of the rule does not apply as there are no structures within 100-year high water elevation of the filtration basin.

Section 7 of the rule does not apply as the Applicant does not propose using a regional stormwater facility for treatment.

Per section 8(a) of the rule, the impacts to downstream waterbodies section of the rule regulates new point

source discharges and impacts to the bounce, inundation, and runout control elevations of waterbodies. The project does not propose a new point source or a change in the runout control elevation of any waterbody

Per section 8(b) of the rule, no activity subject of this rule may alter a site in a manner that results in an increase in the bounce in water level for any downstream lake or wetland. No bounce or inundation of Mirror Lake and surrounding wetlands are above the allowable 0.0044 feet (bounce as described by the Minnesota Department of Natural Resources). The project as proposed is in conformance with the downstream waterbody requirements of the rule.

Table 6: Existing and Proposed Water Levels			
<i>Waterbody</i>	<i>Existing</i>	<i>Proposed</i>	<i>Change (ft)</i>
Mirror lake	911.53	911.53	0.0003
Wetland #1	915.37	915.37	0.0001

Per section 9 of the rule, the maintenance requirement of stormwater facilities will be satisfied through the recordation of a maintenance declaration, listed as a recommended condition of approval.

The project as proposed, upon fulfillment of the recommended condition, meets the requirements of the Stormwater Management Rule.

Conclusion:

The Interlachen Country Club has applied for a MCWD permit for the Erosion Control, Wetland Protection, Waterbody Crossings & Structures, and Stormwater Management rules. Staff have found that the project exceeds the required stormwater treatment and that the proposed project meets the applicable rule requirements and recommends approval subject to the conditions of approval.

Supporting documents:

1. Water Resources Application Form
2. Site Map
3. Civil Plans
4. Public Comment from Debra Frimerman (request to be included in packet)

WATER RESOURCE PERMIT APPLICATION FORM

Use this form to notify/apply to the Minnehaha Creek Watershed District (MCWD) of a proposed project or work which may fall within their jurisdiction. Fill out this form completely and submit with your site plan, maps, etc. to the MCWD at: 15320 Minnetonka Blvd. Minnetonka, MN 55345.

Keep a copy for your records.

YOU MUST OBTAIN ALL REQUIRED AUTHORIZATIONS BEFORE BEGINNING WORK.

1. Name of each property owner: Interlachen Country Club - Joel Livingood
Mailing Address: 6200 Interlachen Blvd City: Minneapolis State: MN Zip: 55436
Email Address: JLivingood@interlachenc.org Phone: 952-924-7401 Fax: _____

2. Property Owner Representative Information (not required) (licensed contractor, architect, engineer, etc...)
Business Name: BKBM Engineers Representative Name: Kevin Bohl
Business Address: 6120 Earle Brown Drive City: Minneapolis State: MN Zip: 55430
Email Address: KBohl@bkbm.com Phone: 763-843-0427 Fax: 763-843-0421

3. Project Address: 6200 Interlachen Blvd City: Edina
State: MN Zip: 55436 Qtr Section(s): _____ Section(s): 11 Township(s): 721 Range(s): 22
Lot: _____ Block: _____ Subdivision: t PID: 291722200

4. Size of project parcel (square feet or acres): 76.36
Area of disturbance (square feet): 5.04 Volume of excavation/fill (cubic yards): 5,100 cut
Area of existing impervious surface: 1.56 Area of proposed impervious surface: 2.52
Length of shoreline affected (feet): _____ Waterbody (& bay if applicable): _____

5. Type of permit being applied for (Check all that apply):
 EROSION CONTROL WATERBODY CROSSINGS/STRUCTURES
 FLOODPLAIN ALTERATION STORMWATER MANAGEMENT
 WETLAND PROTECTION APPROPRIATIONS
 DREDGING ILLICIT DISCHARGE
 SHORELINE/STREAMBANK STABILIZATION

6. Project purpose (Check all that apply):
 SINGLE FAMILY HOME MULTI FAMILY RESIDENTIAL (apartments)
 ROAD CONSTRUCTION COMMERCIAL or INSTITUTIONAL
 UTILITIES SUBDIVISIONS (include number of lots)
 DREDGING LANDSCAPING (pools, berms, etc.)
 SHORELINE/STREAMBANK STABILIZATION OTHER (DESCRIBE): _____

7. NPDES/SDS General Stormwater Permit Number (if applicable): _____

8. Waterbody receiving runoff from site: Wetland northeast of proposed parking lot and Mirror Lake South of site

9. Project Timeline: Start Date: October 2021 Completion Date: October 2022

Permits have been applied for: City County MN Pollution Control Agency DNR COE
Permits have been received: City County MN Pollution Control Agency DNR COE

By signing below, I hereby request a permit to authorize the activities described herein. I certify that I am familiar with MCWD Rules and that the proposed activity will be conducted in compliance with these Rules. I am familiar with the information contained in this application and, to the best of my knowledge and belief, all information is true, complete and accurate. I understand that proceeding with work before all required authorizations are obtained may be subject to federal, state and/or local administrative, civil and/or criminal penalties.

Signature of Each Property Owner:  Date: 3/24/21



Wet Pond

Wetland #1

Area 3

Area 1

MWD
Hydrologic
Boundary

Area 2

MCWD Legal
Boundary

Mirror Lake

Maloney Ave

Massena Cir



10 South Eighth Street
Minneapolis, MN 55402

1 612_339-2257
1 612_349-2930
sheadesign.com

consultant



6100 Cooks Brown Drive, Suite 700
Minneapolis, MN 55430
Phone: (763) 843-0429
Fax: (763) 843-0421
www.bkem.com

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BKEM JOB NUMBER: 20236.50

project title

INTERLACHEN COUNTRY CLUB
6200 INTERLACHEN BLVD.
EDINA, MN 55436



client

INTERLACHEN COUNTRY CLUB
6200 INTERLACHEN BLVD.
EDINA, MN 55436

seal

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Kevin A. Bohl
Kevin A. Bohl
Date: 06/07/2021 Lic. No. 52209

BID SET

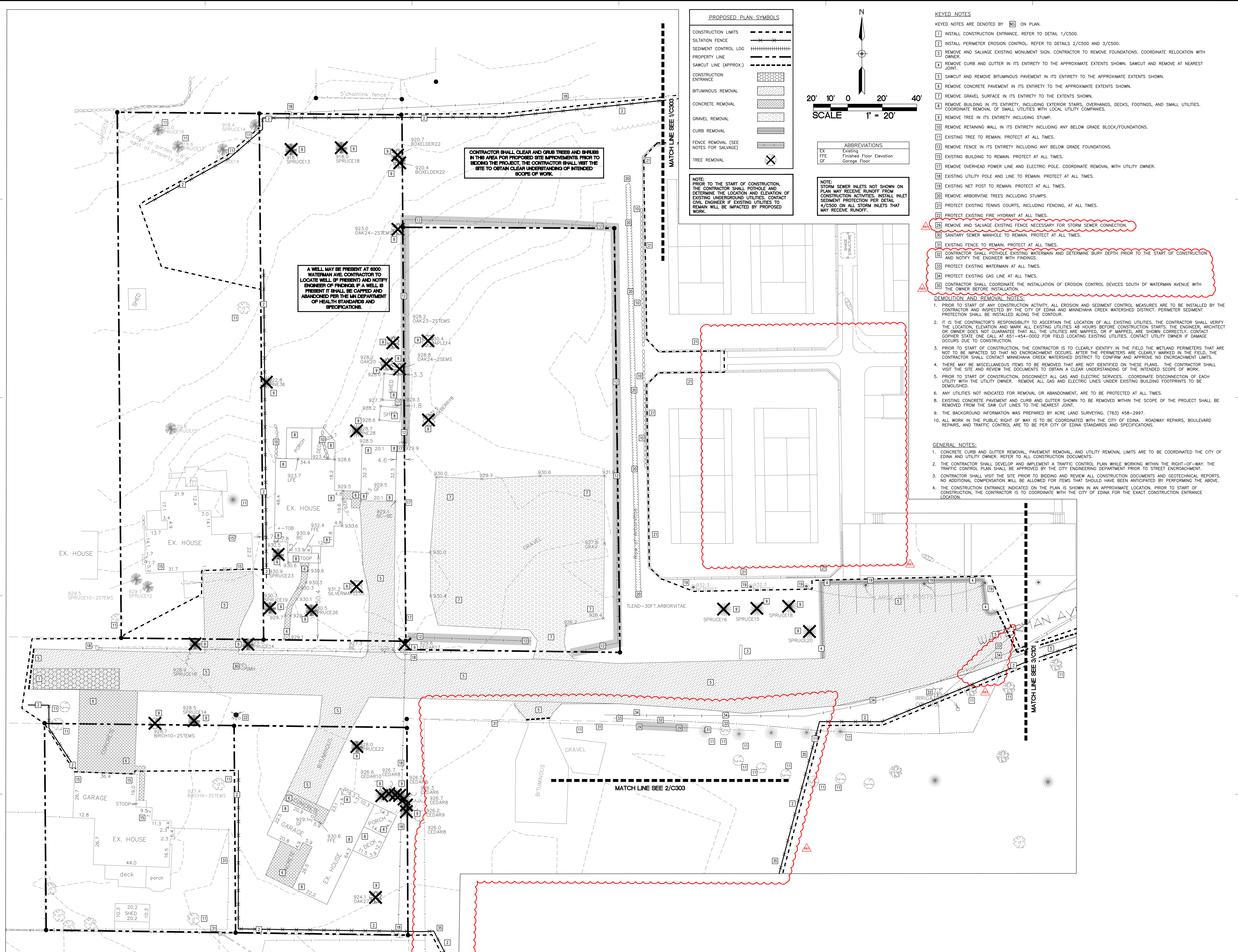
no.	date	issued for
03/25/2021	03/25/2021	WATERSHED SUBMITTAL
06/07/2021	06/07/2021	BID SET
07/15/2021	07/15/2021	WATERSHED RESUBMITTAL
08/04/2021	08/04/2021	PROPOSAL REQUEST #1

project no.	issue date
20236.50	06/07/2021
Drawn	checked
AJA/SJR	KAB

sheet title
SELECTIVE SITE
DEMOLITION AND EROSION
CONTROL PLAN

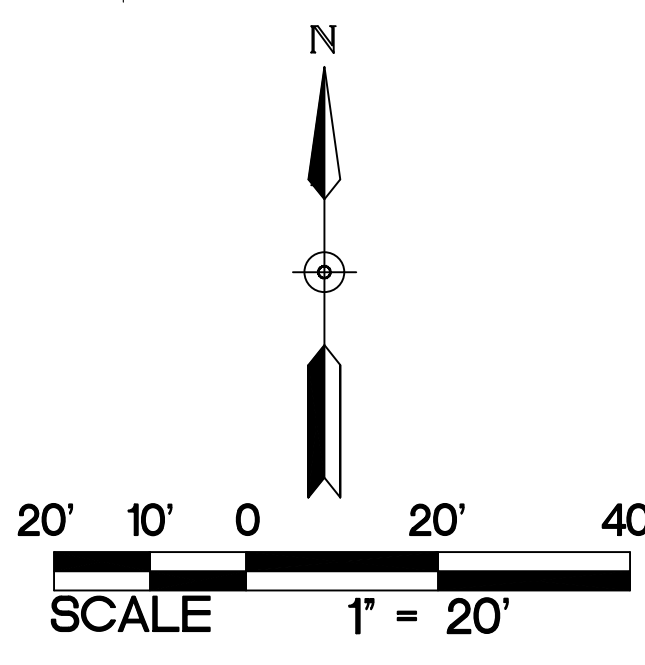
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PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
SILTATION FENCE	XXXX
SEDIMENT CONTROL LOG	
PROPERTY LINE	-----
SAWCUT LINE (APPROX.)	-----
CONSTRUCTION ENTRANCE	---
BITUMINOUS REMOVAL	XXXX
CONCRETE REMOVAL	XXXX
GRAVEL REMOVAL	XXXX
CURB REMOVAL	XXXX
FENCE REMOVAL (SEE NOTES FOR SALVAGE)	---
TREE REMOVAL	XX



ABBREVIATIONS

EX	Existing
FFE	Finished Floor Elevation
GF	Garage Floor

NOTE:
PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL POTHOLE AND DETERMINE THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES. CONTACT A CIVIL ENGINEER IF EXISTING UTILITIES TO REMAIN WILL BE IMPACTED BY PROPOSED WORK.

NOTE:
STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 4/C500 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [] ON PLAN.
 - INSTALL CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C500.
 - INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C500 AND 3/C500.
 - REMOVE AND SALVAGE EXISTING MONUMENT SIGN. CONTRACTOR TO REMOVE FOUNDATIONS. COORDINATE RELOCATION WITH OWNER.
 - REMOVE CURB AND GUTTER IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN. SAWCUT AND REMOVE AT NEAREST JOINT.
 - SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - REMOVE CONCRETE PAVEMENT IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - REMOVE GRAVEL SURFACE IN ITS ENTIRETY TO THE EXTENTS SHOWN.
 - REMOVE BUILDING IN ITS ENTIRETY, INCLUDING EXTERIOR STAIRS, OVERHANGS, DECKS, FOOTINGS, AND SMALL UTILITIES. COORDINATE REMOVAL OF SMALL UTILITIES WITH LOCAL UTILITY COMPANIES.
 - REMOVE TREE IN ITS ENTIRETY INCLUDING STUMP.
 - REMOVE RETAINING WALL IN ITS ENTIRETY INCLUDING ANY BELOW GRADE BLOCK/FOUNDATIONS.
 - EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.
 - REMOVE FENCE IN ITS ENTIRETY INCLUDING ANY BELOW GRADE FOUNDATIONS.
 - EXISTING BUILDING TO REMAIN. PROTECT AT ALL TIMES.
 - REMOVE OVERHEAD POWER LINE AND ELECTRIC POLE. COORDINATE REMOVAL WITH UTILITY OWNER.
 - EXISTING UTILITY POLE AND LINE TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING NET POST TO REMAIN. PROTECT AT ALL TIMES.
 - REMOVE ARBORVITAE TREES INCLUDING STUMPS.
 - PROTECT EXISTING TENNIS COURTS, INCLUDING FENCING, AT ALL TIMES.
 - PROTECT EXISTING FIRE HYDRANT AT ALL TIMES.
 - REMOVE AND SALVAGE EXISTING FENCE NECESSARY FOR STORM SEWER CONNECTION.
 - SANITARY SEWER MANHOLE TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING FENCE TO REMAIN. PROTECT AT ALL TIMES.
 - CONTRACTOR SHALL POTHOLE EXISTING WATERMAIN AND DETERMINE BURY DEPTH PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER WITH FINDINGS.
 - PROTECT EXISTING WATERMAIN AT ALL TIMES.
 - PROTECT EXISTING GAS LINE AT ALL TIMES.
 - CONTRACTOR SHALL COORDINATE THE INSTALLATION OF EROSION CONTROL DEVICES SOUTH OF WATERMAN AVENUE WITH THE OWNER BEFORE INSTALLATION.

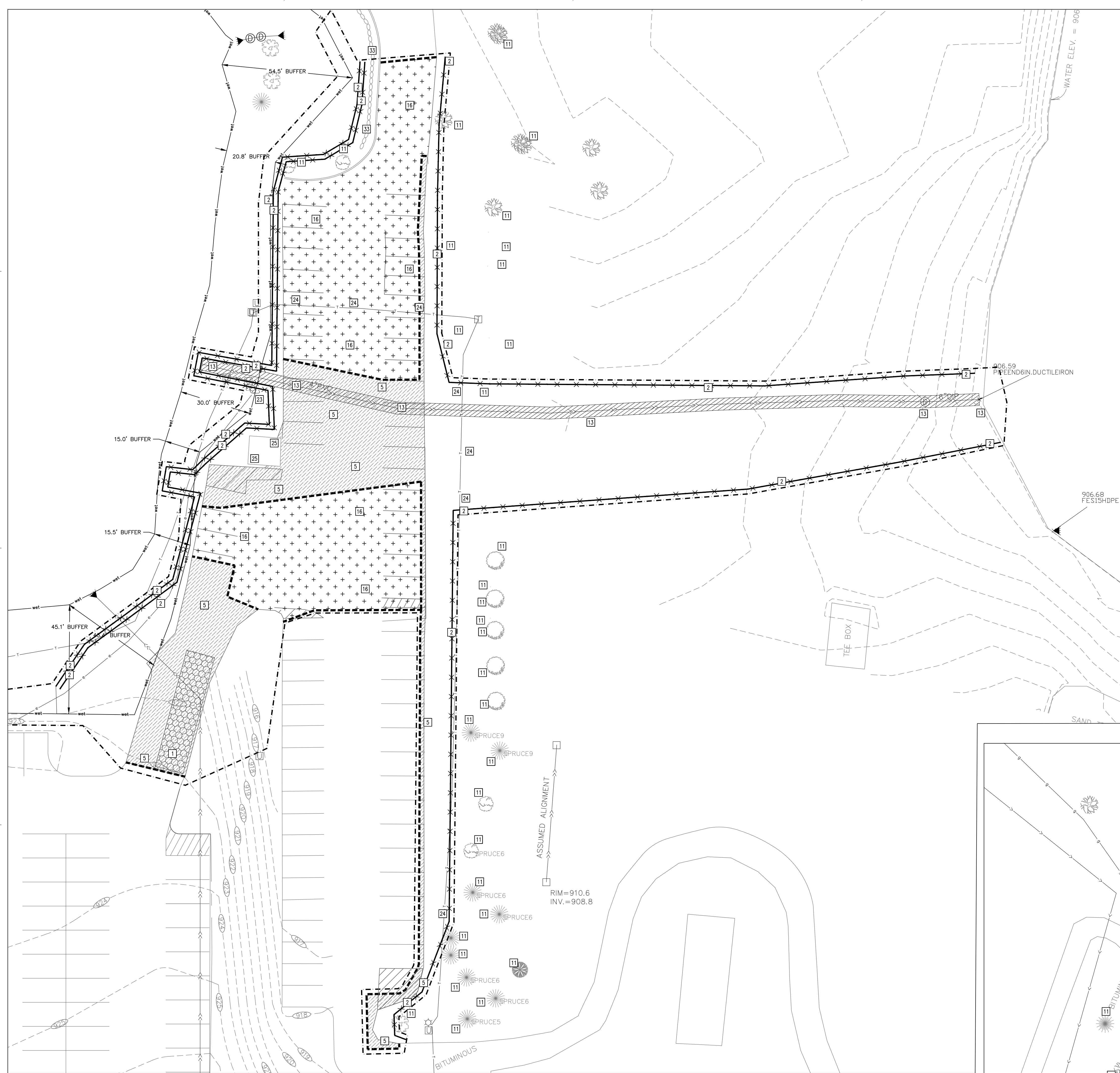
- DEMOLITION AND REMOVAL NOTES:**
- PRIOR TO START OF ANY CONSTRUCTION ACTIVITY, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF EDINA AND MINNEHAHA CREEK WATERSHED DISTRICT. PERIMETER SEDIMENT PROTECTION SHALL BE INSTALLED ALONG THE CONTOUR.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher State One Call at 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO CLEARLY IDENTIFY IN THE FIELD THE WETLAND PERIMETERS THAT ARE NOT TO BE IMPACTED SO THAT NO ENCROACHMENT OCCURS. AFTER THE PERIMETERS ARE CLEARLY MARKED IN THE FIELD, THE CONTRACTOR SHALL CONTACT MINNEHAHA CREEK WATERSHED DISTRICT TO CONFIRM AND APPROVE NO ENCROACHMENT LIMITS.
 - THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
 - PRIOR TO START OF CONSTRUCTION, DISCONNECT ALL GAS AND ELECTRIC SERVICES. COORDINATE DISCONNECTION OF EACH UTILITY WITH THE UTILITY OWNER. REMOVE ALL GAS AND ELECTRIC LINES UNDER EXISTING BUILDING FOOTPRINTS TO BE DEMOLISHED.
 - ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT, ARE TO BE PROTECTED AT ALL TIMES.
 - EXISTING CONCRETE PAVEMENT AND CURB AND GUTTER SHOWN TO BE REMOVED WITHIN THE SCOPE OF THE PROJECT SHALL BE REMOVED FROM THE SAW CUT LINES TO THE NEAREST JOINT.
 - THE BACKGROUND INFORMATION WAS PREPARED BY ACRE LAND SURVEYING, (763) 458-2997.
 - ALL WORK IN THE PUBLIC RIGHT OF WAY IS TO BE COORDINATED WITH THE CITY OF EDINA. ROADWAY REPAIRS, BOULEVARD REPAIRS, AND TRAFFIC CONTROL ARE TO BE PER CITY OF EDINA STANDARDS AND SPECIFICATIONS.

- GENERAL NOTES:**
- CONCRETE CURB AND GUTTER REMOVAL, PAVEMENT REMOVAL, AND UTILITY REMOVAL LIMITS ARE TO BE COORDINATED THE CITY OF EDINA AND UTILITY OWNER. REFER TO ALL CONSTRUCTION DOCUMENTS.
 - THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN WHILE WORKING WITHIN THE RIGHT-OF-WAY. THE TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO STREET ENCROACHMENT.
 - CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND REVIEW ALL CONSTRUCTION DOCUMENTS AND GEOTECHNICAL REPORTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ITEMS THAT SHOULD HAVE BEEN ANTICIPATED BY PERFORMING THE ABOVE.
 - THE CONSTRUCTION ENTRANCE INDICATED ON THE PLAN IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF EDINA FOR THE EXACT CONSTRUCTION ENTRANCE LOCATION.

CONTRACTOR SHALL CLEAR AND GRUB TREES AND SHRUBS IN THIS AREA FOR PROPOSED SITE IMPROVEMENTS. PRIOR TO BIDDING THE PROJECT, THE CONTRACTOR SHALL VISIT THE SITE TO OBTAIN CLEAR UNDERSTANDING OF INTENDED SCOPE OF WORK.

A WELL MAY BE PRESENT AT 6000 WATERMAN AVE. CONTRACTOR TO LOCATE WELL (IF PRESENT) AND NOTIFY ENGINEER OF FINDINGS. IF A WELL IS PRESENT IT SHALL BE CAPPED AND ABANDONED PER THE MN DEPARTMENT OF HEALTH STANDARDS AND SPECIFICATIONS.

1
C100
SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN
1"=20'



PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
SILTATION FENCE	---X---
SEDIMENT CONTROL LOG	
SAWCUT LINE (APPROX.)	-----
CONSTRUCTION ENTRANCE	▨
BITUMINOUS REMOVAL	▨
MILL BITUMINOUS SURFACE	+
GRAVEL REMOVAL	▨
CURB REMOVAL	▨
PIPE REMOVAL	▨
TREE REMOVAL	⊗

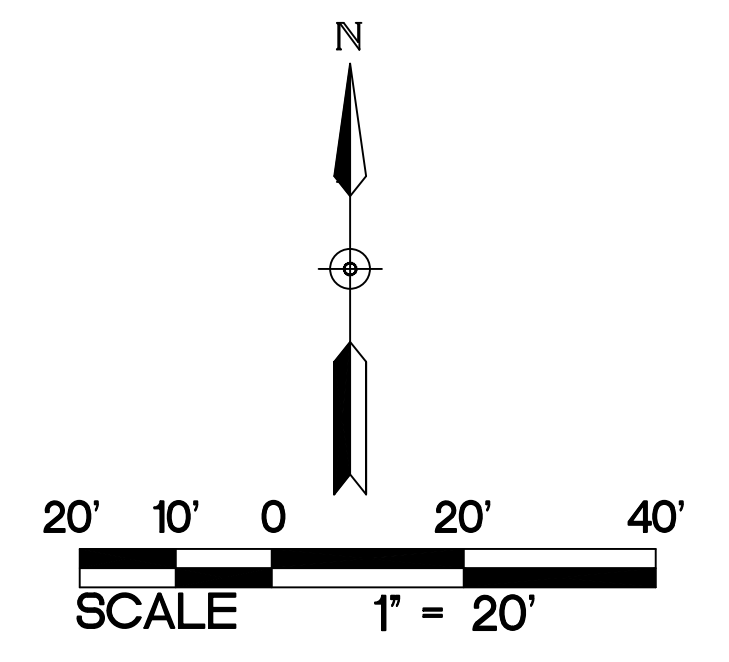
ABBREVIATIONS

INV	Invert
FES	Flared End Section
HDPE	High Density Polyethylene
CMP	Corrugated Metal Pipe
DIP	Ductile Iron Pipe

NOTE:
PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL POT-HOLE AND DETERMINE THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES. CONTACT CIVIL ENGINEER IF EXISTING UTILITIES TO REMAIN WILL BE IMPACTED BY PROPOSED WORK.

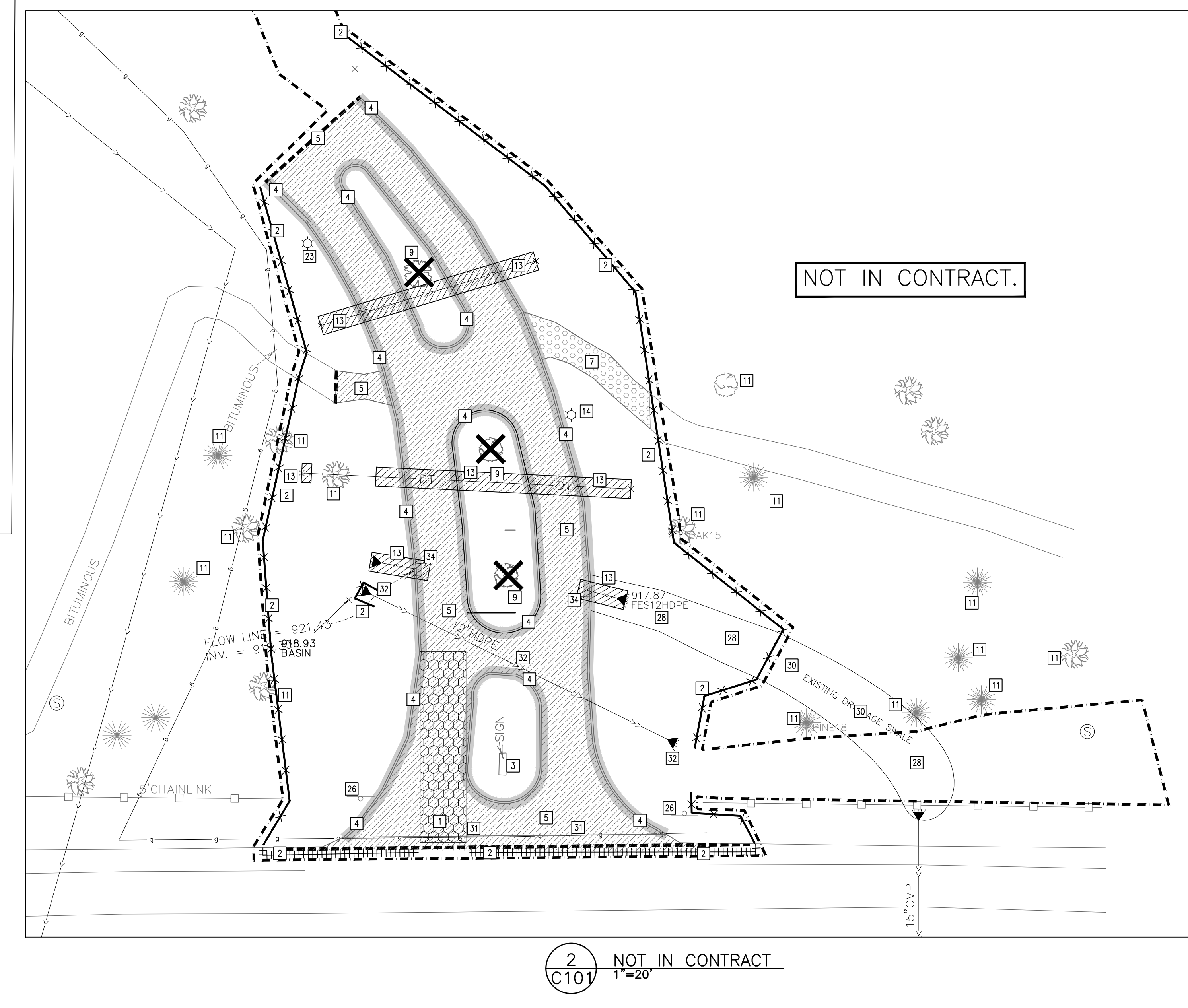
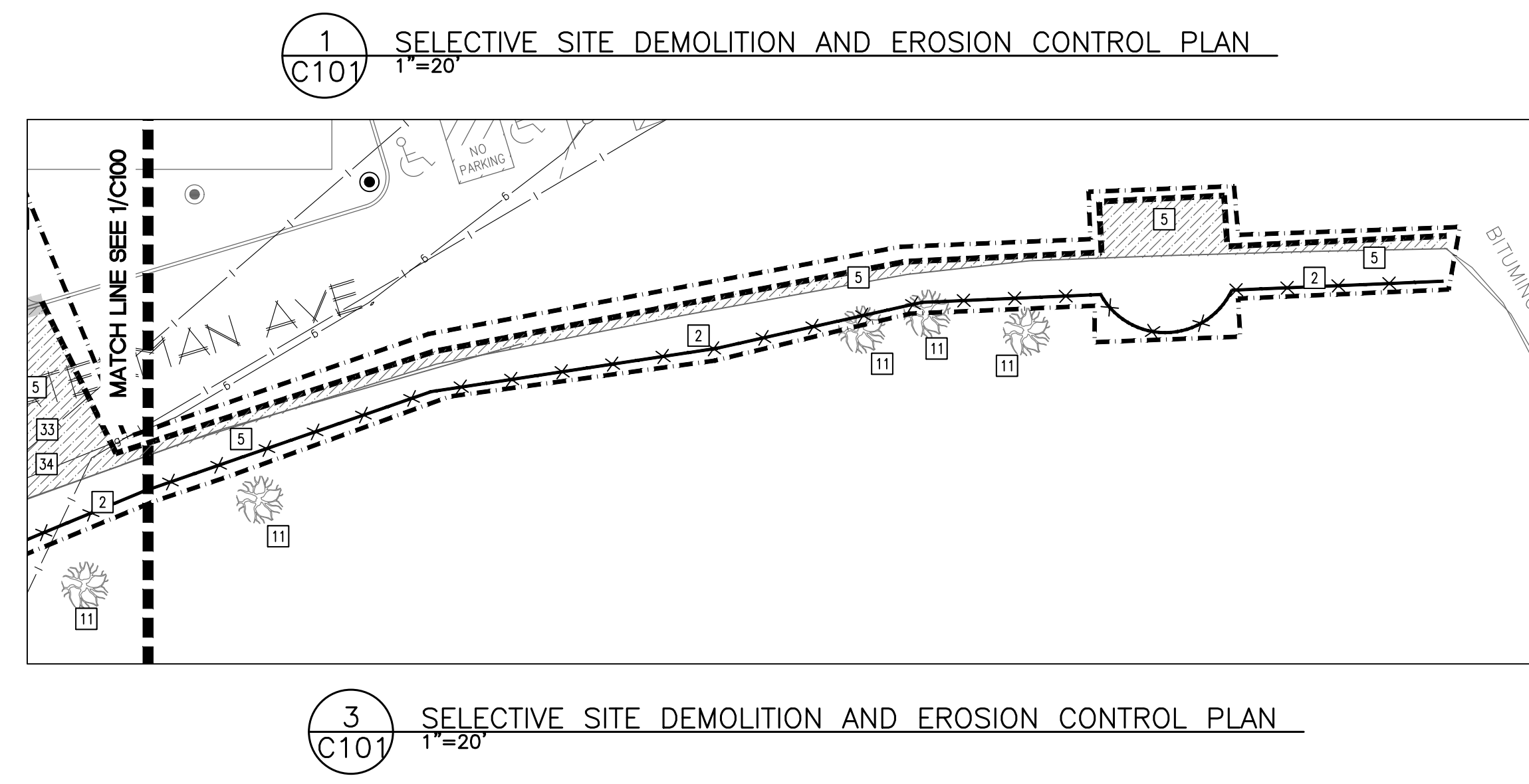
NOTE:
STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 4/C500 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

NOTE:
SEE DEMOLITION AND GENERAL NOTES ON SHEET C100.



KEYED NOTES

- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- INSTALL CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C500.
 - INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C500 AND 3/C500.
 - REMOVE AND SALVAGE EXISTING MONUMENT SIGN. CONTRACTOR TO REMOVE FOUNDATIONS AND COORDINATE RELOCATION WITH OWNER.
 - REMOVE CURB AND GUTTER IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN. SAWCUT AND REMOVE AT NEAREST JOINT.
 - SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - REMOVE GRAVEL SURFACE IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - REMOVE TREE IN ITS ENTIRETY INCLUDING STUMP.
 - EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.
 - REMOVE STORM SEWER IN ITS ENTIRETY TO THE EXTENTS SHOWN. FOLLOW ALL CITY OF EDINA STANDARDS AND SPECIFICATIONS.
 - SALVAGE EXISTING LIGHT POLE AND REMOVE ANY BELOW GRADE FOUNDATION. COORDINATE RELOCATION WITH ELECTRICAL.
 - MILL BITUMINOUS SURFACE TO APPROXIMATE DEPTH OF 2-INCHES. PAVEMENT BASE MATERIAL TO REMAIN IN PLACE. CONTRACTOR TO SAWCUT PAVEMENT AT THE EXTENTS OF THE MILL AND OVERLAY TO PROVIDE A CLEAN EDGE.
 - EXISTING LIGHT POLE TO REMAIN. PROTECT AT ALL TIMES.
 - PROTECT EXISTING UNDERGROUND TELEPHONE LINE AT ALL TIMES.
 - PROTECT EXISTING FUEL TANKS AND CONCRETE SLAB AT ALL TIMES.
 - PROTECT EXISTING SIGN AT ALL TIMES.
 - PROTECT EXISTING DRAIN TILE AT ALL TIMES.
 - REMOVE AND SALVAGE ROCK FROM EXISTING RIPRAP SWALE WITHIN CONSTRUCTION LIMITS.
 - PROTECT EXISTING RIPRAP SWALE OUTSIDE OF CONSTRUCTION LIMITS.
 - PROTECT EXISTING GAS LINE AT ALL TIMES.
 - PROTECT EXISTING STORM SEWER AND FLARED END SECTIONS AT ALL TIMES.
 - PROTECT RETAINING WALL AT ALL TIMES.
 - INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 4/C500.



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EDINA, MN 55436



client
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6200 INTERLACHEN BLVD.
EDINA, MN 55436

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Kevin A. Bohl
Kevin A. Bohl
Date 06/07/2021 Lic. No. 52209

BID SET

no.	date	issued for
03/25/2021	03/25/2021	WATERSHED SUBMITTAL
06/07/2021	06/07/2021	BID SET
07/15/2021	07/15/2021	WATERSHED RESUBMITTAL

project no.	20236.50	issue date	06/07/2021
Drawn	AJA/SJR	checked	KAB

sheet title
SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN

C101



1
C102 SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN - ALTERNATE #1
1" = 20'

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
SILTATION FENCE	-X-X-
SAWCUT LINE (APPROX.)	-X-X-
BITUMINOUS REMOVAL	▨
PIPE REMOVAL	▩

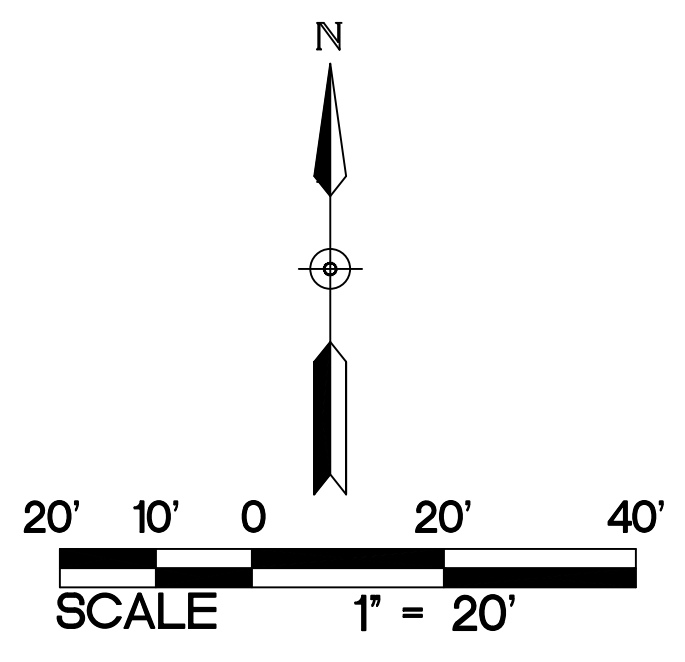
NOTE:
STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 4/C500 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

ABBREVIATIONS

INV	Invert
FES	Flared End Section
HDPE	High Density Polyethylene
CMP	Corrugated Metal Pipe
DIP	Ductile Iron Pipe

NOTE:
PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL POT-HOLE AND DETERMINE THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES. CONTACT CIVIL ENGINEER IF EXISTING UTILITIES TO REMAIN WILL BE IMPACTED BY PROPOSED WORK.

NOTE:
SEE DEMOLITION AND GENERAL NOTES ON SHEET C100.



KEYED NOTES

- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- [2] INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C500 AND 3/C500.
 - [3] SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
 - [11] EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.
 - [13] REMOVE STORM SEWER IN ITS ENTIRETY TO THE EXTENTS SHOWN. FOLLOW ALL CITY OF EDINA STANDARDS AND SPECIFICATIONS.
 - [24] PROTECT EXISTING UNDERGROUND TELEPHONE LINE AT ALL TIMES.
 - [25] PROTECT EXISTING FUEL TANKS AND CONCRETE SLAB AT ALL TIMES.



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BKBM JOB NUMBER: 202101

project site

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client

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seal

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Kevin A. Bohl
Kevin A. Bohl
Date 06/07/2021 Lic. No. 52209

BID SET

no.	date	issued for
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06/07/2021	06/07/2021	BID SET
07/15/2021	07/15/2021	WATERSHED RESUBMITTAL

project no.	issue date
20236.50	06/07/2021
Drawn	checked
AJA/SJR	KAB

sheet title
SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN - ALTERNATE #1

C102



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seal

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Minnesota

Kevin A. Bohl
Date: 06/07/2021 Lic. No. 52209

BID SET

no.	date	issued for
	03/25/2021	WATERSHED SUBMITTAL
	06/07/2021	BID SET
	07/15/2021	WATERSHED RESUBMITTAL
	08/04/2021	PROPOSAL REQUEST #1

project no.	issue date
20236.50	06/07/2021
Drawn	checked
AJA/SJR	KAB

sheet title
GRADING, DRAINAGE, AND
EROSION CONTROL PLAN

C200

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PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
SILTATION FENCE	---X---
BIO ROLL	
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
PROPOSED CONTOUR	---
DRAIN TILE	---
STORM SEWER	---
CATCH BASIN	---
FLARED END SECTION WITH RIPRAP	---
CLEANOUT	---
MANHOLE	---
FLARED END SECTION	---
EROSION CONTROL BLANKET (TEMPORARY)	---
CONSTRUCTION ENTRANCE	---
SLOPE	1.9%
SPOT ELEVATION	---
SOIL BORING	---
CONCRETE WASHOUT AREA	---
PROPOSED LIGHT POLE (SEE LANDSCAPE AND ELECTRICAL)	---
RETAINING WALL	---

ABBREVIATIONS

EX	Existing
FFE	Finished Floor Elevation
GF	Garage Floor
W.O.	Washout
TC	Top of Curb
TW	Top of Wall
BW	Bottom of Wall
EOF	Emergency Overflow

TOTAL SITE DISTURBED AREA IS 4.95 ACRES

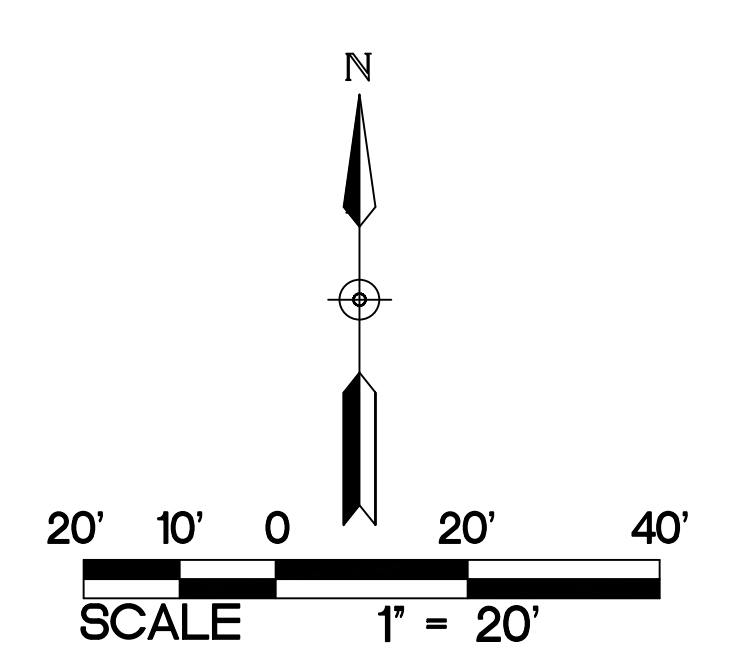
NOTE: STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 4/C500 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

NOTE: PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY TOP OF WALL ELEVATIONS OF EXISTING RETAINING WALLS NORTH OF CHAMPION'S WALK.

NOTE: SEE EROSION CONTROL NOTES ON SHEET C201.

RETAINING WALL NOTES:

1. ALL TOP AND BOTTOM ELEVATIONS CORRESPOND TO THE RESPECTIVE GRADE ELEVATIONS ON EACH SIDE OF THE WALL.
2. THE BOTTOM ELEVATION IS THE ELEVATION OF THE LOW-GRADE SIDE OF THE WALL, NOT THE TOP ELEVATION OF THE BURIED BLOCK COURSE.
3. ALL RETAINING WALLS SHALL HAVE PROTECTIVE FENCING AT THE TOP WHERE THE VERTICAL HEIGHT EXCEEDS 30 INCHES. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS AND SPECIFICATIONS.
4. MODULAR BLOCK RETAINING WALL SHALL BE DESIGNED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. DESIGN CALCULATIONS SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION OF WALL.



WALKWAY NOTES:

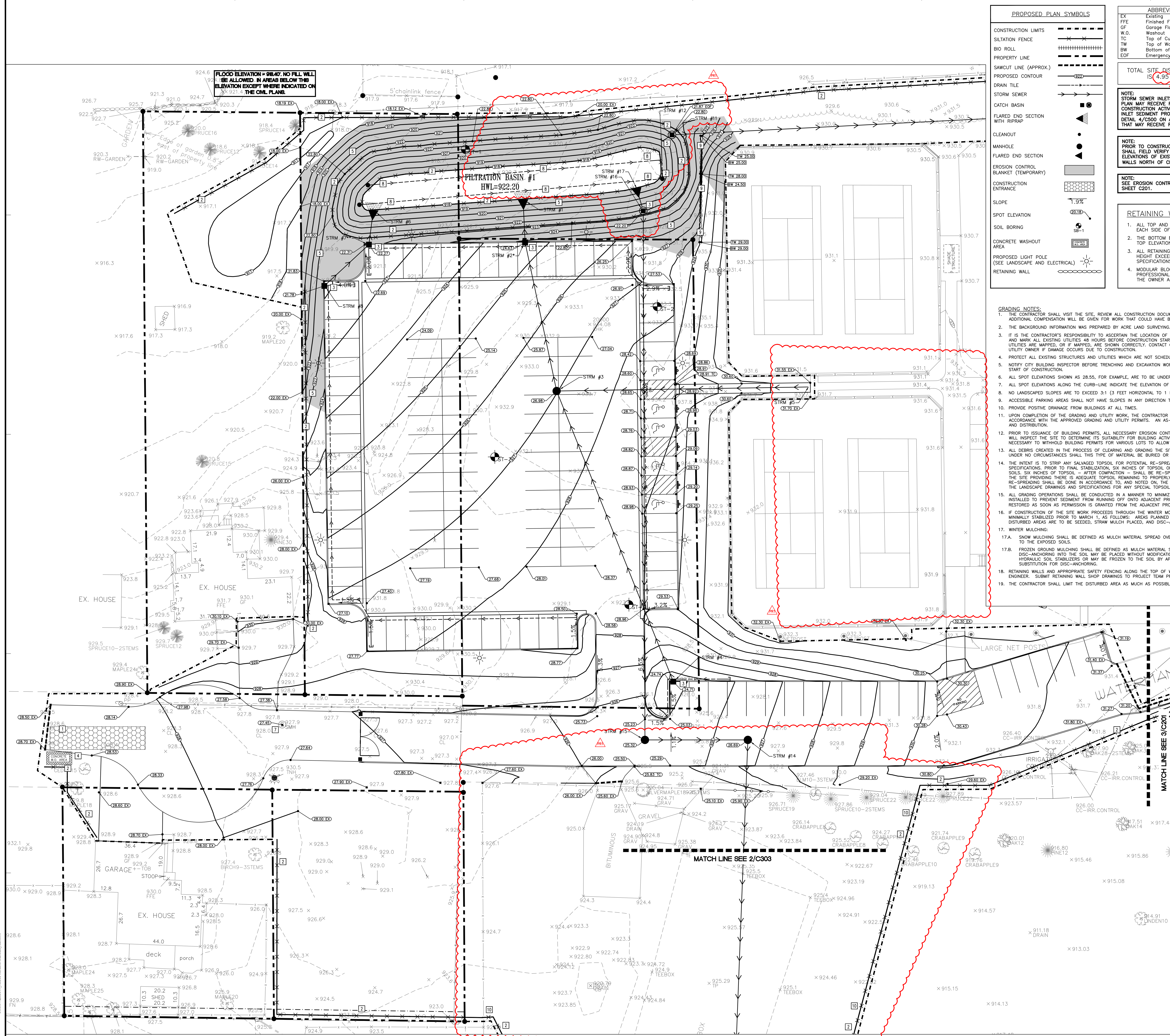
1. GRADING CONTRACTOR IS TO COORDINATE WITH PAVING CONTRACTOR SO THAT ALL STEPS AND LANDINGS ARE SLOPED PER CODE.
2. ALL SIDEWALK LONGITUDINAL AND TRANSVERSE SLOPES ARE TO BE PER CODE.

- GRADING NOTES:**
1. THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
 2. THE BACKGROUND INFORMATION WAS PREPARED BY AGRE LAND SURVEYING. CONTACT AT (612) 458-2897.
 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher One at 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
 4. PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
 5. NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.
 6. ALL SPOT ELEVATIONS SHOWN AS 28.55, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 928.55.
 7. ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER, UNLESS NOTED OTHERWISE.
 8. NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
 9. ACCESSIBLE PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 2%.
 10. PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
 11. UPON COMPLETION OF THE GRADING AND UTILITY WORK, THE CONTRACTOR SHALL CERTIFY THAT ALL GRADING AND UTILITY WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED GRADING AND UTILITY PLANS. AN AS-BUILT GRADING AND UTILITY PLAN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND DISTRIBUTION.
 12. PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY (AND WATERSHED) WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR CONSTRUCTION. IF THE PUBLIC UTILITIES HAVE NOT BEEN INSTALLED AT THIS POINT, IT MAY BE NECESSARY TO WITHHOLD BUILDING PERMITS FOR VARIOUS LOTS TO ALLOW THE CONTRACTOR ADEQUATE SPACE TO PERFORM THIS WORK.
 13. ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
 14. THE INTENT IS TO STRIP ANY FINAL TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. PRIOR TO FINAL STABILIZATION, SIX INCHES OF TOPSOIL OR ORGANIC MATERIAL IS TO BE SPREAD AND INCORPORATED IN THE UNDERLYING SOILS. SIX INCHES OF TOPSOIL - AFTER COMPACTION - SHALL BE RE-APPLIED PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDING THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE. THE TOPSOIL STRIPPING, STOCKPILING AND RE-SPREADING SHALL BE DONE IN ACCORDANCE TO THE APPROVED GRADING PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL TOPSOIL OR PLANTING REQUIREMENTS.
 15. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE MANUALLY STABILIZED PRIOR TO MARCH 1, AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 5 BASE INSTALLED. ALL OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.
 16. IF CONSTRUCTION OF THE SITE WORK PROCEEDS THROUGH THE WINTER MONTHS, ANY DISTURBED AREAS OUTSIDE THE BUILDING FOOTPRINT ARE TO BE MANUALLY STABILIZED PRIOR TO MARCH 1, AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 5 BASE INSTALLED. ALL OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.
 17. WINTER MULCHING:
 - 17.A. SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH MELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.
 - 17.B. FROZEN GROUND MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND. MULCH MATERIALS THAT DO NOT REQUIRE DISC-ANCHORING INTO THE SOIL MAY BE PLACED WITHOUT MODIFICATION. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING MAY BE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER, AT A RATE OF 2000 GALLONS PER ACRE, OVER THE MULCH AS A SUBSTITUTION FOR DISC-ANCHORING.
 18. RETAINING WALLS AND APPROPRIATE SAFETY FENCING ALONG THE TOP OF WALLS ARE TO BE DESIGNED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER. SUBMIT RETAINING WALL SHOP DRAWINGS TO PROJECT TEAM PRIOR TO CONSTRUCTION.
 19. THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

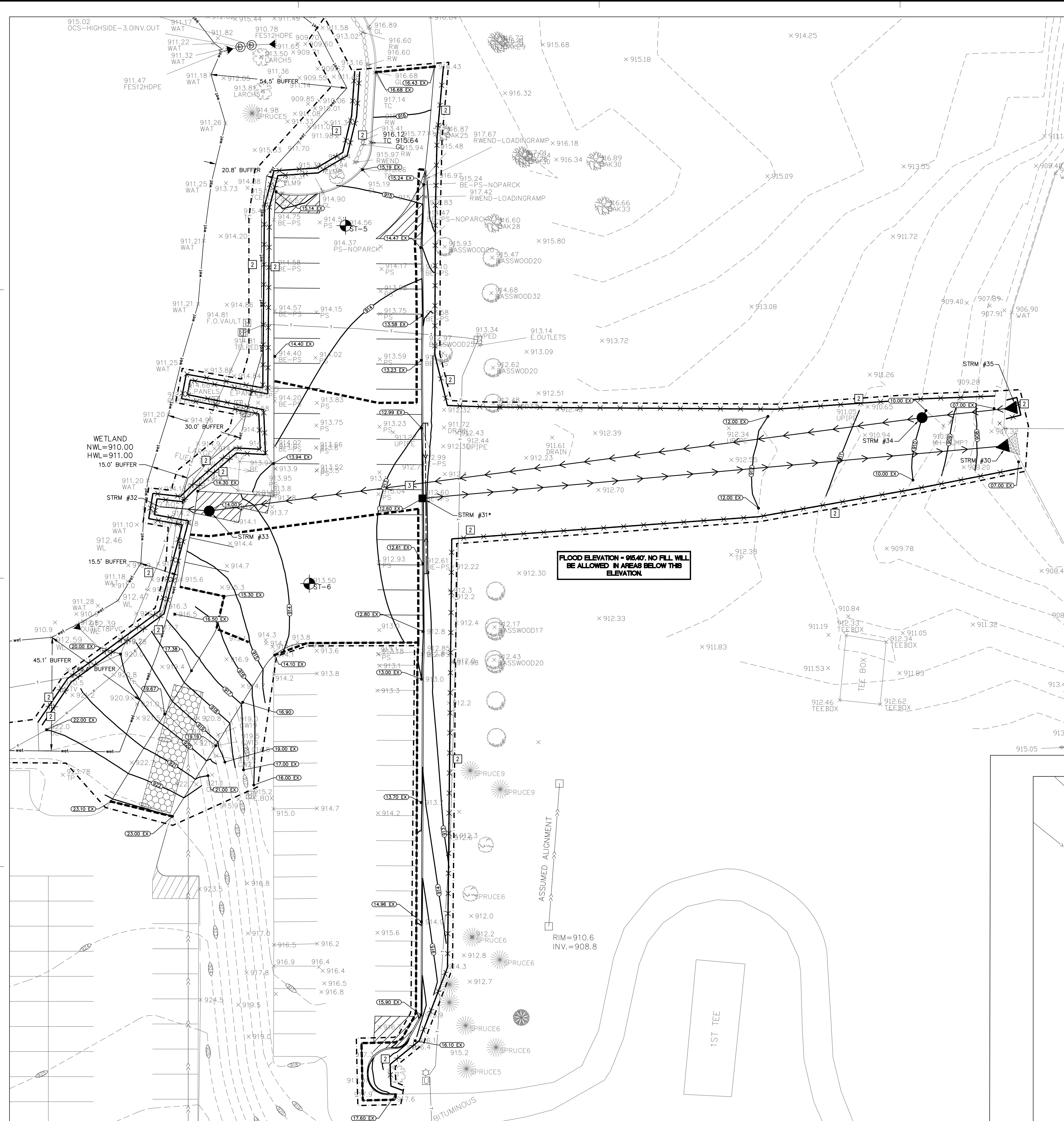
KEYED NOTES

KEYED NOTES ARE DENOTED BY [KEY] ON PLAN.

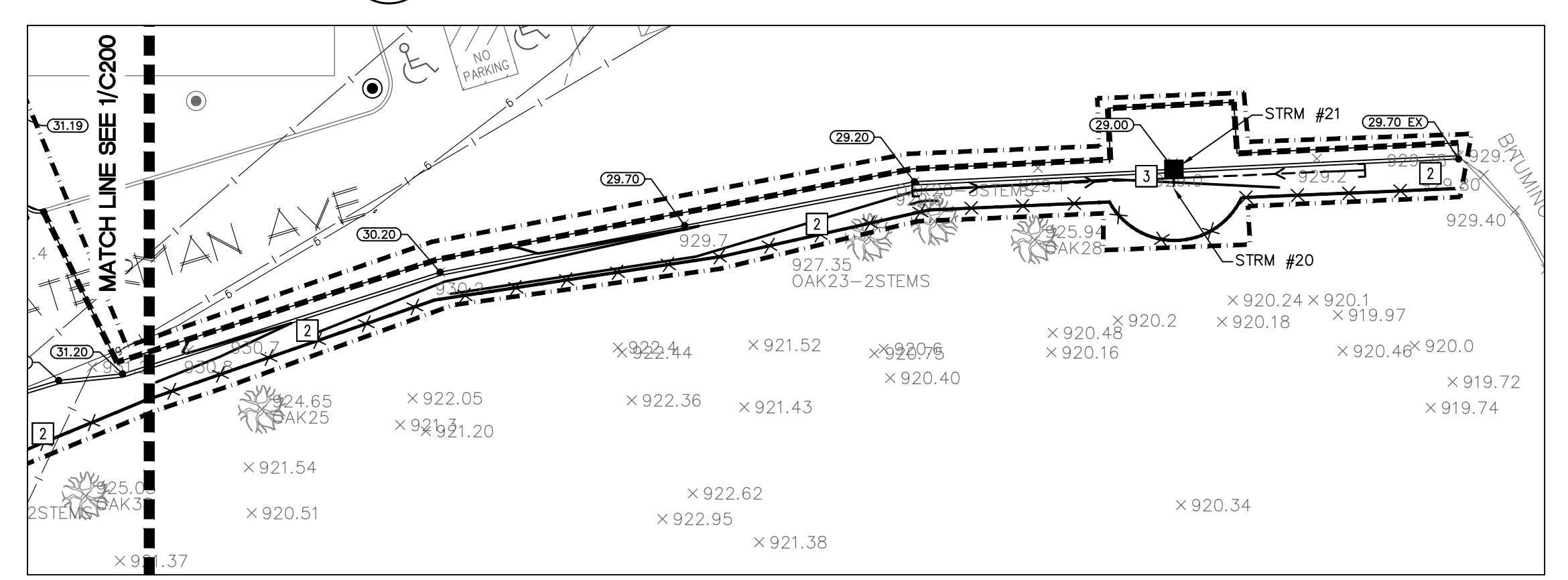
1. INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C500.
2. INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C500 AND 3/C500.
3. INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 4/C500.
4. APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA'S NPDES/SSS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.
5. INSTALL MN/DOT 3885 CATEGORY 3 TEMPORARY STRAW FIBER EROSION CONTROL BLANKET.
6. ADJUST MANHOLE TO FINISHED GRADE.
7. FILTRATION BASIN AND WATER QUALITY TREATMENT POND IS TO BE CONSTRUCTED AT THE END OF GRADING OPERATIONS ONCE THE TRIBUTARY AREA'S FINAL STABILIZATION HAS BEEN INSTALLED. REFER TO DETAIL 14/C500 FOR FILTRATION BASIN CROSS SECTION. CONSTRUCTION TRAFFIC IN FILTRATION AREA(S) IS NOT ALLOWED AFTER AREA HAS BEEN EXCAVATED. PRIOR TO FINAL STABILIZATION, LOOSEN SOIL WITH MECHANICAL TILLER. FILTRATION AREA IS NOT AN APPROVED BORROW SITE AND IS NOT TO BE USED FOR TEMPORARY SEDIMENT BASIN ONCE BASIN SUBGRADE ELEVATION HAS BEEN EXCAVATED. CONTRACTOR SHALL ENSURE THAT THE BASIN FILTRATE AT A MINIMUM RATE OF 1-INCH PER HOUR USING A DOUBLE RING INFILTROMETER TEST BEFORE FINAL ACCEPTANCE. DOUBLE RING INFILTROMETER TEST SHALL BE SIGNED BY A REGISTERED GEOTECHNICAL ENGINEER AND SUBMITTED TO THE CITY AND ENGINEER FOR REVIEW BEFORE FINAL APPROVAL.
8. INSTALL MODULAR BLOCK RETAINING WALL. REFER TO RETAINING WALL NOTES.
9. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF EROSION CONTROL DEVICES SOUTH OF WATERMAN AVENUE WITH THE OWNER BEFORE INSTALLATION.



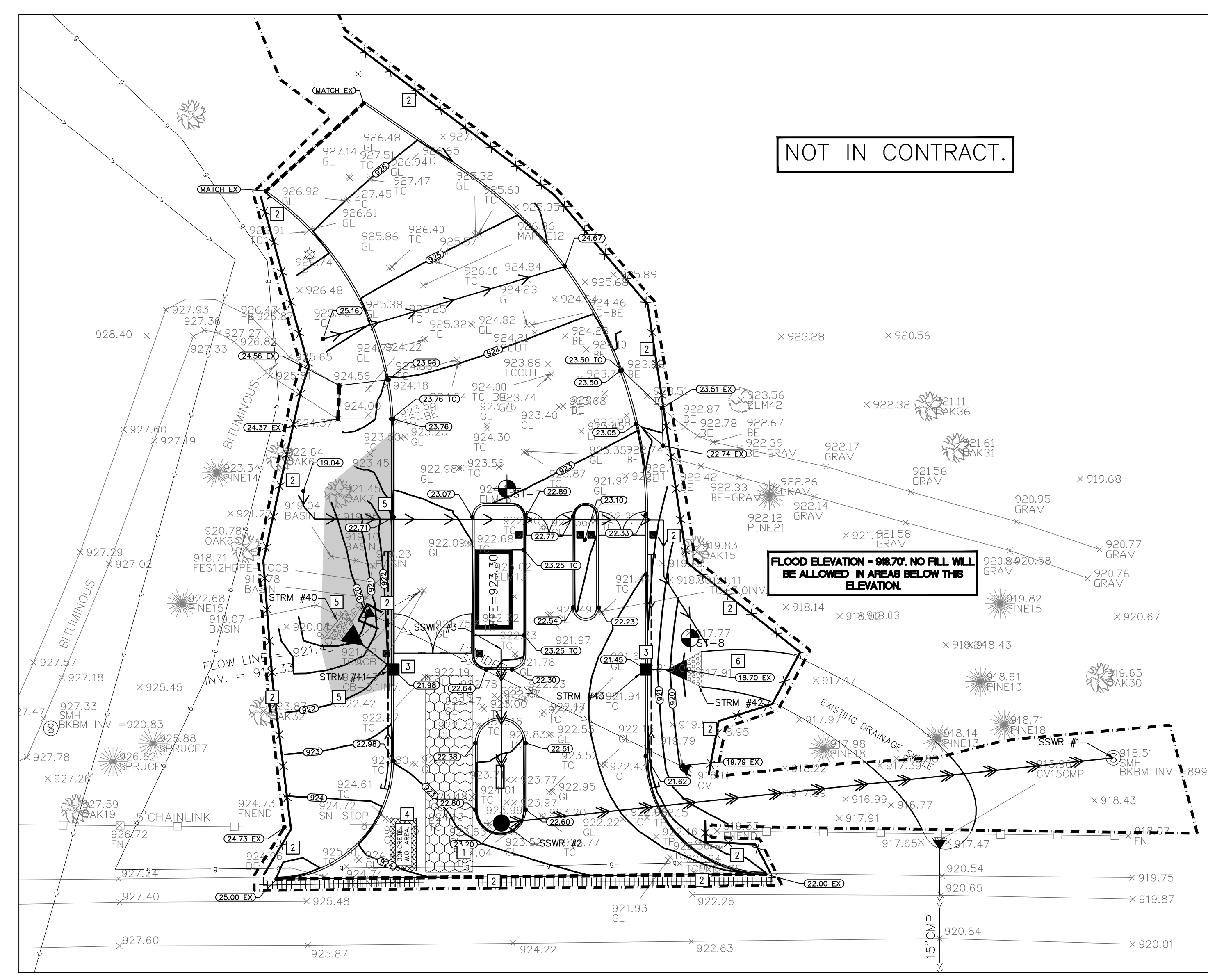
1 GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C200 1"=20'



1 GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C201 1"=20'



3 GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C203 1"=20'



2 NOT IN CONTRACT
C202 1"=20'

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
SILTATION FENCE	---X---
BIO ROLL	
SAWCUT LINE (APPROX.)	---X---
PROPOSED CONTOUR	---
DRAIN TILE	---
STORM SEWER	---
CATCH BASIN	---
FLARED END SECTION WITH RIPRAP	---
MANHOLE	---
FLARED END SECTION	---
EROSION CONTROL BLANKET (TEMPORARY)	---
CONSTRUCTION ENTRANCE	---
SPOT ELEVATION	---
SOIL BORING	---
CONCRETE WASHOUT AREA	---

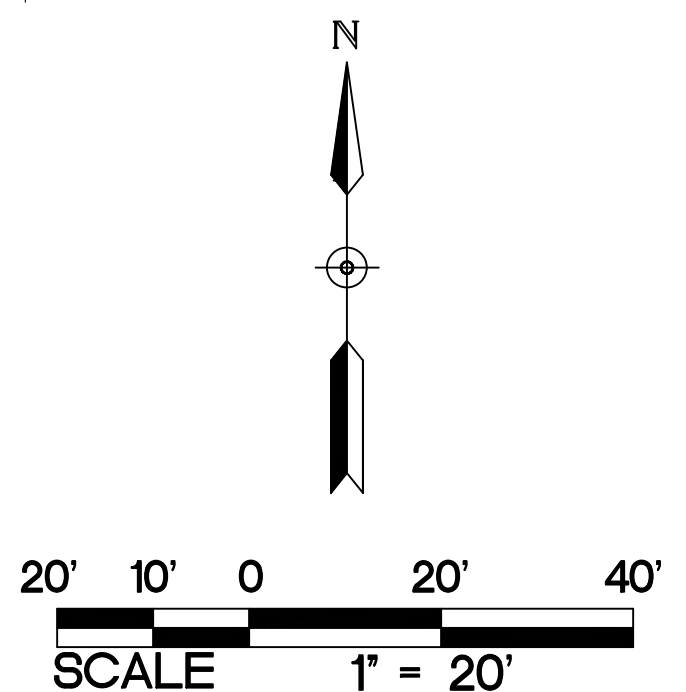
NOTE:
SEE GRADING NOTES ON SHEET C200.

ABBREVIATIONS

EX	Existing
FTE	Finished Floor Elevation
W.O.	Washout
TC	Top of Curb
HDPE	High Density Polyethylene

NOTE:
STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 4/C500 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

NOTE:
PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY TOP OF WALL ELEVATIONS OF EXISTING RETAINING WALLS NORTH OF CHAMPION'S WALK.



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 - APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.
 - INSTALL MN/DOT 3885 CATEGORY 3 TEMPORARY STRAW FIBER EROSION CONTROL BLANKET.
 - EXTEND FES RIPRAP TO EXISTING DRAINAGE SWALE.

EROSION CONTROL NOTES

- ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING OPERATIONS. THE CITY ENGINEERING DEPARTMENT AND MINNEHAHA CREEK WATERSHED DISTRICT MUST BE NOTIFIED UPON COMPLETION OF THE INSTALLATION OF THE REQUIRED EROSION CONTROL FACILITIES AND PRIOR TO ANY GRADING OPERATION BEING COMMENCED. THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION GRADING MEETING ON-SITE WITH THE CITY AND WATERSHED DISTRICT. IF DAMAGED OR REMOVED DURING CONSTRUCTION, ALL EROSION CONTROL FACILITIES SHALL BE RESTORED AND IN PLACE AT THE END OF EACH DAY.
- NO EROSION CONTROL FACILITIES DEEMED NECESSARY BY THE CITY OR WATERSHED DISTRICT; BEFORE, DURING OR AFTER THE GRADING ACTIVITIES, SHALL BE INSTALLED AT THEIR REQUEST.
- ALL DEVIATIONS SHALL BE MADE FROM THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN, WITHOUT PRIOR APPROVAL FROM THE CITY.
- FOR SITES GREATER THAN 1.0 ACRE, AS REQUIRED BY THE MPCA PERMIT REQUIREMENTS, THE PERMIT APPLICANT MUST KEEP AN EROSION CONTROL INSPECTION LOG. INSPECTION MUST BE MADE ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT. THE INSPECTION RECORD MUST BE MADE AVAILABLE TO THE CITY AND WATERSHED DISTRICT WITHIN 24 HOURS OF REQUEST.
- FLOWS FROM DIVERSION CHANNELS OR PIPES (TEMPORARY OR PERMANENT) SHALL BE ROUTED TO SEDIMENTATION BASINS OR APPROPRIATE ENERGY DISSIPATORS TO PREVENT TRANSPORT OF SEDIMENT TO OUTFLOW TO LATERAL CONVEYORS AND TO PREVENT EROSION AND SEDIMENTATION WHEN RUNOFF FLOWS INTO THESE CONVEYORS.
- SITE ACCESS ROADS SHALL BE GRADED OR OTHERWISE PROTECTED WITH SILT FENCES, DIVERSION CHANNELS, OR BIKES AND PIPES TO PREVENT SEDIMENT FROM EXITING THE SITE VIA THE ACCESS ROADS. SITE-ACCESS ROADS/DRIVEWAYS SHALL BE SURFACED WITH CRUSHED ROCK WHERE THEY ADJOIN EXISTING PAVED ROADWAYS.
- SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES OR EQUIPMENT SHALL BE CLEANED DAILY FROM PAVED ROADWAY SURFACES, OR MORE FREQUENTLY IF REQUESTED BY CITY OR WATERSHED DISTRICT, THROUGHOUT THE DURATION OF CONSTRUCTION.
- DUST CONTROL MEASURES SHALL BE PERFORMED PERIODICALLY WHEN CONDITIONS REQUIRE AND/OR AS DIRECTED BY THE CITY OR WATERSHED DISTRICT.
- ALL EROSION CONTROL MEASURES SHALL BE USED AND MAINTAINED FOR THE DURATION OF SITE CONSTRUCTION. IF CONSTRUCTION OPERATIONS OR NATURAL EVENTS DAMAGE OR INTERFERE WITH THESE EROSION CONTROL MEASURES, THEY SHALL BE RESTORED TO SERVE THEIR INTENDED FUNCTION AT THE END OF EACH DAY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
 - ALL SEEDED AREAS SHALL BE EITHER MULCHED AND DISC-ANCHORED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION. TEMPORARY STRAW MULCH SHALL BE DISC-ANCHORED AND APPLIED AT A UNIFORM RATE OF NOT LESS THAN TWO TONS PER ACRE AND NOT LESS THAN 80% COVERAGE.
 - IF THE GRADED AREA IS ANTICIPATED TO BE RE-DISTURBED/DEVELOPED WITHIN SIX MONTHS, PROVIDE A TEMPORARY VEGETATIVE COVER CONSISTING OF MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) SEED MIXTURE 21-111 (GRASS), OR 21-112 (WATER WHEAT), AT A RATE OF 100 POUNDS PER ACRE.
 - IF GRADED AREA WILL NOT BE DEVELOPED FOR A PERIOD GREATER THAN SIX MONTHS, PROVIDE A SEMI-PERMANENT VEGETATIVE COVER OF SEED MIXTURE MNDOT 22-112 AT A RATE OF 40 POUNDS PER ACRE.
 - GRADING BONDS OR THE EQUIVALENT SECURITIES SHALL BE RETAINED UNTIL TURF HAS GERMINATED AND SURVIVED A 60-DAY GROWING PERIOD.
- ALL AREAS THAT WILL NOT BE SHOWED OR MAINTAINED AS PART OF THE ULTIMATE DESIGN SHALL BE PERMANENTLY RESTORED USING SEED MIXTURE MNDOT 25-141 AT A RATE OF 59 POUNDS PER ACRE.
- UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS (I.E. ARCHITECTURAL SITE PLAN OR LANDSCAPE PLAN), PERMANENT TURF RESTORATION SHALL CONSIST OF MNDOT SEED MIXTURE 25-131 (COMMERCIAL TURF GRASS) AT A RATE OF 220 POUNDS PER ACRE.
- WHENEVER OTHER EROSION AND SEDIMENT CONTROL PRACTICES ARE INADEQUATE, TEMPORARY ON-SITE SEDIMENT BASINS THAT CONFORM TO THE CRITERIA FOR ON-SITE DETENTION BASINS SHALL BE PROVIDED.
- MULCH, HYDROMULCH, AND TACKIFIERS MAY NOT BE USED FOR STABILIZATION IN SWALES OR DRAINAGE DITCHES.
- RUNOFF SHALL BE PREVENTED FROM ENTERING ALL STORM SEWER CATCH BASINS PROVIDING THEY ARE NOT NEEDED DURING CONSTRUCTION. WHERE STORM SEWER CATCH BASINS ARE NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION, A SILT FENCE OR SEDIMENT PROTECTION DEVICES AS DETAILED SHALL BE INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS UNTIL THE TRIBUTARY AREA TO THE CATCH BASIN IS RESTORED.
- GRADING ACTIVITIES PROPOSED TO BEGIN AFTER OCTOBER 15 WILL REQUIRE AN APPROVED PHASING SCHEDULE. THE AREA OF LAND THAT THE CITY WILL ALLOW TO BE DISTURBED AT THIS TIME OF YEAR WILL BE SEVERELY LIMITED. THE CITY WILL ALSO REQUIRE ADDITIONAL EROSION CONTROL DEVICES, I.E., TEMPORARY SEDIMENT BASINS, DORMANT SEEDING AND HIGH RATES OF APPLICATION OF BOTH SEED AND MULCH.
- FILTER BLANKET AND RIPRAP SHALL BE INSTALLED ON THE DOWNSTREAM SIDES OF ALL STORM SEWER OUTLETS 24 HOURS AFTER CONSTRUCTION AS INDICATED AND DETAILED. ALL RIPRAP SHALL BE INSTALLED WITH A FILTER MATERIAL MEETING THE MNDOT SPECIFICATIONS FOR RIPRAP AND FILTER MATERIAL.
- EROSION CONTROL FACILITIES SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF ALL LAKES, PONDS AND WETLANDS WITHIN OR ADJACENT TO THE AREA TO BE GRADED UNTIL THE TRIBUTARY AREA TO THE LAKE, POND OR WETLAND IS RESTORED.
- TO MINIMIZE EROSION, ALL 3:1 SLOPES SHALL BE COVERED WITH A MNDOT 3885 CATEGORY 2 STRAW EROSION CONTROL BLANKETS OR STAKED SOIL.
- ACCUMULATION OF ALL SEDIMENT OCCURRING IN LAKES, PONDS, WETLANDS, STORM SEWERS AND DITCHES SHALL BE REMOVED PRIOR TO, DURING AND AFTER COMPLETION OF GRADING ACTIVITIES.
- EROSION CONTROL ITEMS AND DEVICES SHALL BE REMOVED ONLY AFTER THE AREA HAS RECEIVED FINAL STABILIZATION OR AS DIRECTED BY THE CITY AND/OR WATERSHED.



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project title

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6200 INTERLACHEN BLVD.
EDINA, MN 55436



client

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soil

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Kevin A. Bohl
Kevin A. Bohl Lic. No. 52209
Date 06/07/2021

BID SET

no.	date	issued for
03/25/2021		WATERSHED SUBMITTAL
06/07/2021		BID SET
07/15/2021		WATERSHED RESUBMITTAL

project no.	issue date
20236.50	06/07/2021
Drawn	checked
AJA/SJR	KAB

sheet title
GRADING, DRAINAGE, AND EROSION CONTROL PLAN

C201



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seal

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me or under my direct supervision and
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Engineer under the laws of the state of
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no.	date	issued for
03/25/2021	03/25/2021	WATERSHED SUBMITTAL
06/07/2021	06/07/2021	BID SET
07/15/2021	07/15/2021	WATERSHED RESUBMITTAL
08/04/2021	08/04/2021	PROPOSAL REQUEST #1

project no.	issue date
20236.50	06/07/2021
Drawn	checked
AJA/SJR	KAB

sheet title
UTILITY PLAN

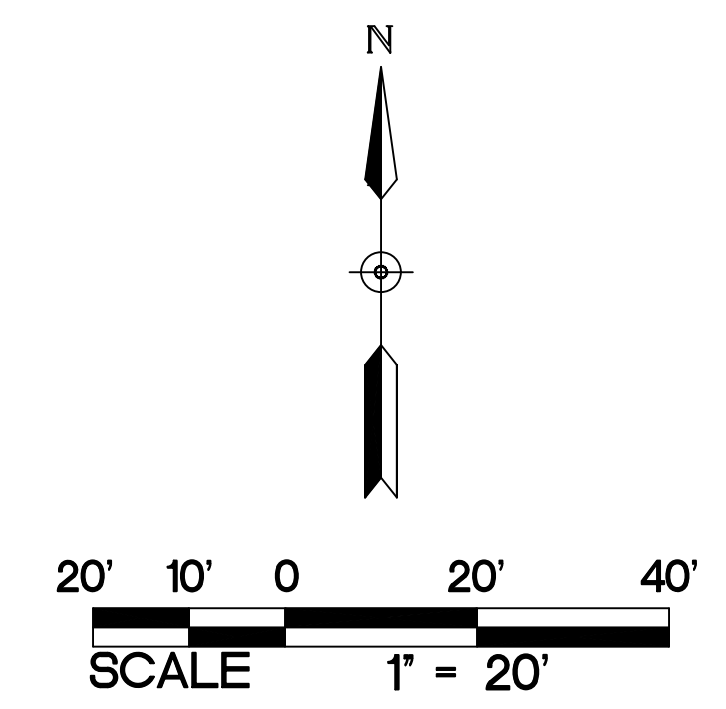
C300

UTILITY NOTES:

- PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED.
- COORDINATE SERVICE CONNECTION LOCATIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR UNCOORDINATED WORK.
- COORDINATE UTILITY INSTALLATION WITH STRUCTURAL PRIOR TO START OF CONSTRUCTION. UTILITIES SHALL NOT BE INSTALLED WITHIN THE ZONE OF INFLUENCE OF ANY STRUCTURAL ELEMENTS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR UNCOORDINATED WORK.
- ALL SEWER SERVICE CONNECTIONS WITH LESS THAN 5 FEET OF COVER OVER THE TOP OF PIPE SHALL BE INSULATED. INSULATION SHALL BE INSTALLED FROM THE CONNECTION OF THE SERVICE AT THE BUILDING TO THE POINT WHICH THE SERVICE ATTAINS 5 FEET OF COVER. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM ARCHITECT OR ENGINEER PRIOR TO INSTALLATION OF INSULATION.
- ALL SEWER AND WATER CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 1.5 FEET AND HORIZONTAL SEPARATION OF 10 FEET. FOLLOW ALL HEALTH DEPARTMENT AND CITY OF EDINA AND HENNEPIN COUNTY STANDARDS.
- ALL WATER MAIN TO BE 1 1/2-INCH TYPE K COPPER.
- ALL FORCE MAIN STORM SEWER SHALL BE PVC SCH 80.
- SANITARY SEWER PIPING SHALL BE SDR 35 PVC UNLESS NOTED OTHERWISE.
- STORM SEWER PIPING SHALL BE REINFORCED CONCRETE PIPE (RCP), UNLESS NOTED OTHERWISE. ALL 12-INCH THROUGH 18-INCH RCP STORM SEWER PIPE SHALL BE CLASS 5. RCP PIPE LARGER THAN 18-INCH SHALL BE CLASS 3 UNLESS NOTED OTHERWISE.
- ALL FLARED END SECTIONS SHALL HAVE TRASH GUARDS. ALL DOWNSTREAM FLARED END SECTIONS SHALL HAVE GEOTEXTILE FABRIC AND RIPRAP PER WINDOT STANDARDS, AS DETAILED.
- CONTRACTORS SHALL COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
- WHERE PROPOSED GRADE OVER EXISTING SMALL UTILITIES IS PROPOSED TO BE LOWERED, CONTRACTOR SHALL COORDINATE WITH UTILITY OWNER FOR THE LOWERING OF THE EXISTING UTILITY TO PROVIDE THE MINIMUM COVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10-FOET OF THE BUILDING OR WATER SERVICE LINE SHALL BE TESTED IN ACCORDANCE WITH MN PLUMBING CODE. PIPING MATERIAL SHALL BE SCHEDULE 40 PVC.
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATER TIGHT IN ACCORDANCE TO MN PLUMBING CODE. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES. RESILIENT WATER-STOP GROUTING RINGS ARE AN ACCEPTABLE ALTERNATIVE. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.
- ALL PROPOSED UTILITIES ARE TO BE PRIVATE. UTILITIES SHALL BE OPERATED AND MAINTAINED BY THE PROPERTY OWNER.

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
DRAIN TILE	---
STORM SEWER	---
CLEANOUT	---
CATCH BASIN	---
FLARED END SECTION WITH RIPRAP	---
FLARED END SECTION	---
RETAINING WALL	---
PROPOSED LIGHT POLE (SEE LANDSCAPE AND ELECTRICAL)	---
SEWER INVERT ELEVATION	---



KEYED NOTES

KEYED NOTES ARE DENOTED BY [] ON PLAN.

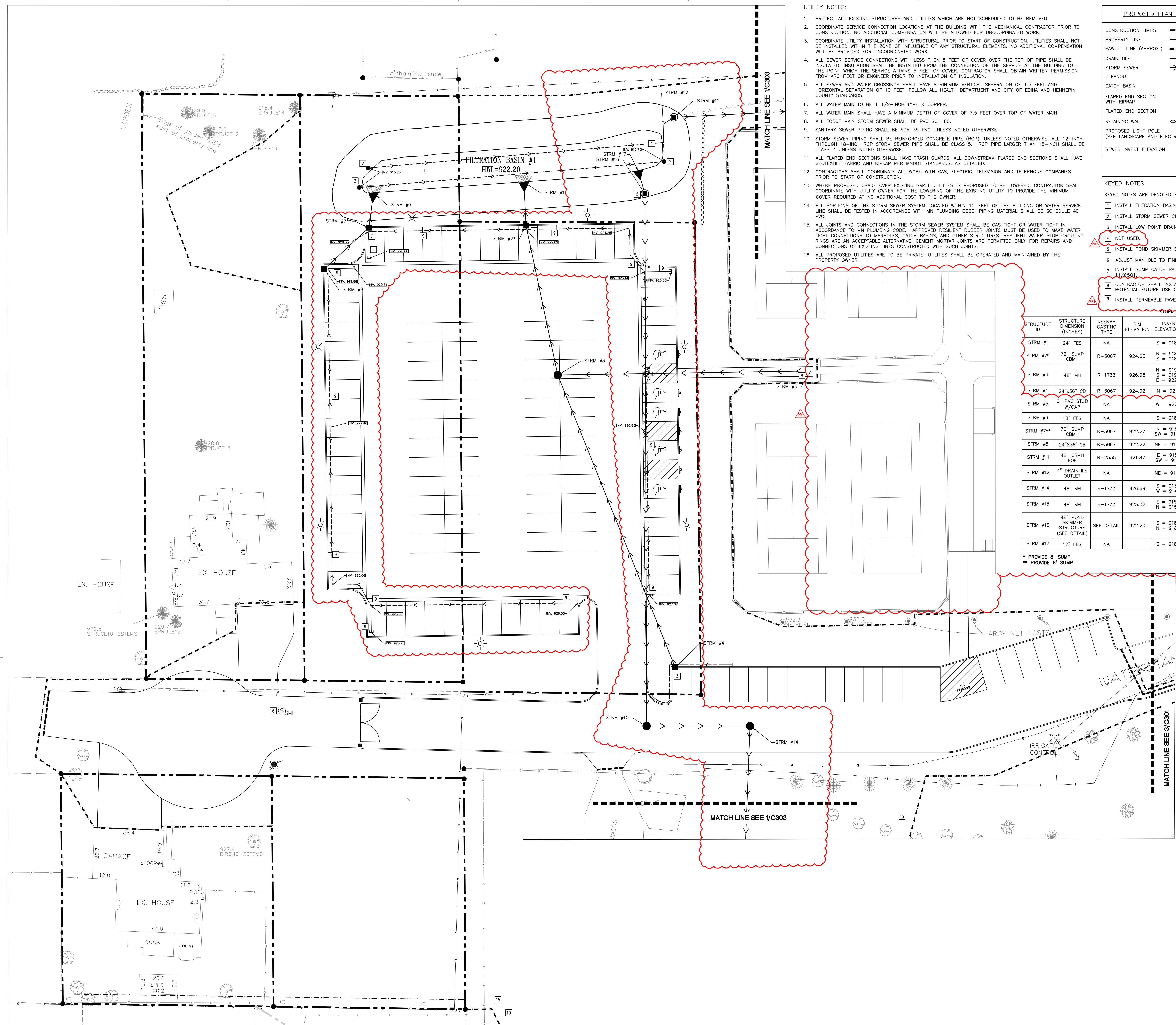
- INSTALL FILTRATION BASIN AND DRAIN TILE PER DETAIL 14/C500.
- INSTALL STORM SEWER CLEANOUT. REFER TO DETAIL 2/C501.
- INSTALL LOW POINT DRAIN TILE AT CATCH BASIN. REFER TO DETAIL 13/C500.
- NOT USED.
- INSTALL POND SKIMMER STRUCTURE WITH WEIR WALL. REFER TO DETAIL 8/C501.
- ADJUST MANHOLE TO FINISHED GRADE. REFER TO GRADING PLAN C200.
- INSTALL SUMP CATCH BASIN WITH SNOUT, ENVIROHOOD, OR APPROVED EQUAL. REFER TO DETAIL 14/C501.
- CONTRACTOR SHALL INSTALL STORM SEWER UP TO STRM #5 AND CAP END. PIPE IS INTENDED FOR POTENTIAL FUTURE USE ONLY.
- INSTALL PERMEABLE PAVERS WITH 4" PERFORATED DRAIN TILE. REFER TO DETAIL 16/C500.

STORM SEWER TABLE

STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	MINENAH CASTING TYPE	RIM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
STRM #1	24" FES	NA		S = 918.00	22 L.F. OF 24" RCP @ 1.00% STRM #2*
STRM #2*	72" SUMP CBMH	R-3067	924.63	N = 918.22 S = 918.78	80 L.F. OF 24" RCP @ 1.20% STRM #3
STRM #3	48" MH	R-1733	926.98	N = 919.74 S = 919.74 E = 922.46	164 L.F. OF 18" RCP @ 1.20% STRM #4 132 L.F. OF 6" PVC @ 4.00% STRM #5
STRM #4	24"x36" CB	R-3067	924.92	N = 921.71 W = 927.74	-----
STRM #5	6" PVC STUB W/CAP	NA			-----
STRM #6	18" FES	NA		S = 918.00	18 L.F. OF 18" RCP @ 1.00% STRM #7**
STRM #7**	72" SUMP CBMH	R-3067	922.27	N = 918.18 SW = 918.80	32 L.F. OF 15" RCP @ 1.50% STRM #8
STRM #8	24"x36" CB	R-3067	922.22	NE = 919.28	-----
STRM #11	48" CBMH EOP	R-2535	921.87	E = 915.71 SW = 915.71	7 L.F. OF 4" PVC @ 0.57% STRM #12
STRM #12	4" DRAIN TILE OUTLET	NA		NE = 915.75	-----
STRM #14	48" MH	R-1733	926.69	S = 913.70 W = 914.70	54 L.F. OF 12" RCP @ 1.00% STRM #15
STRM #15	48" MH	R-1733	925.32	E = 915.24 N = 915.24	277 L.F. OF 12" RCP @ 1.00% STRM #16
STRM #16	48" POND SKIMMER STRUCTURE (SEE DETAIL)	SEE DETAIL	922.20	S = 918.00 N = 918.00	12 L.F. OF 12" RCP @ 0.00% STRM #17
STRM #17	12" FES	NA		S = 918.00	-----

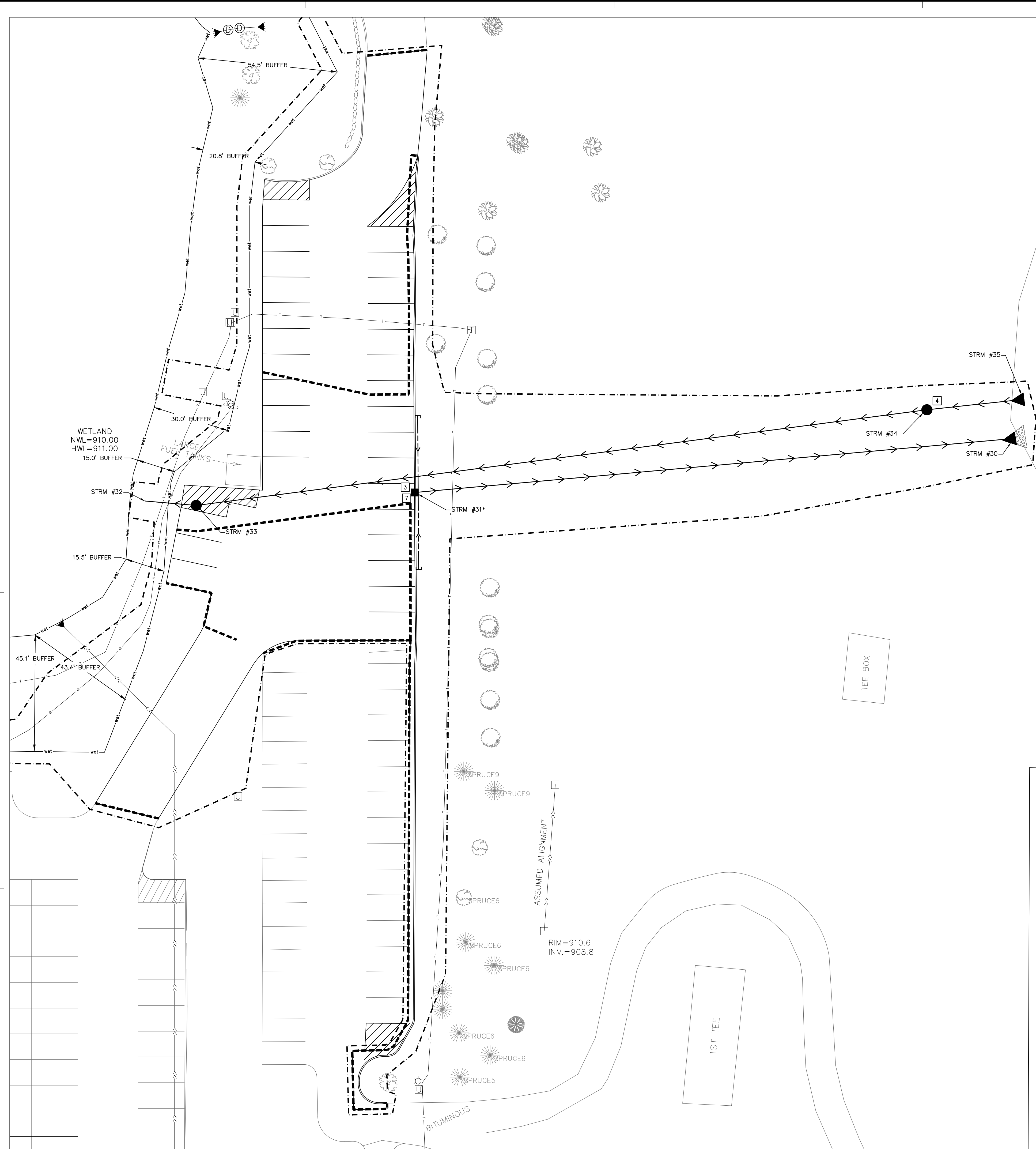
* PROVIDE 6" SUMP

** PROVIDE 6" SUMP

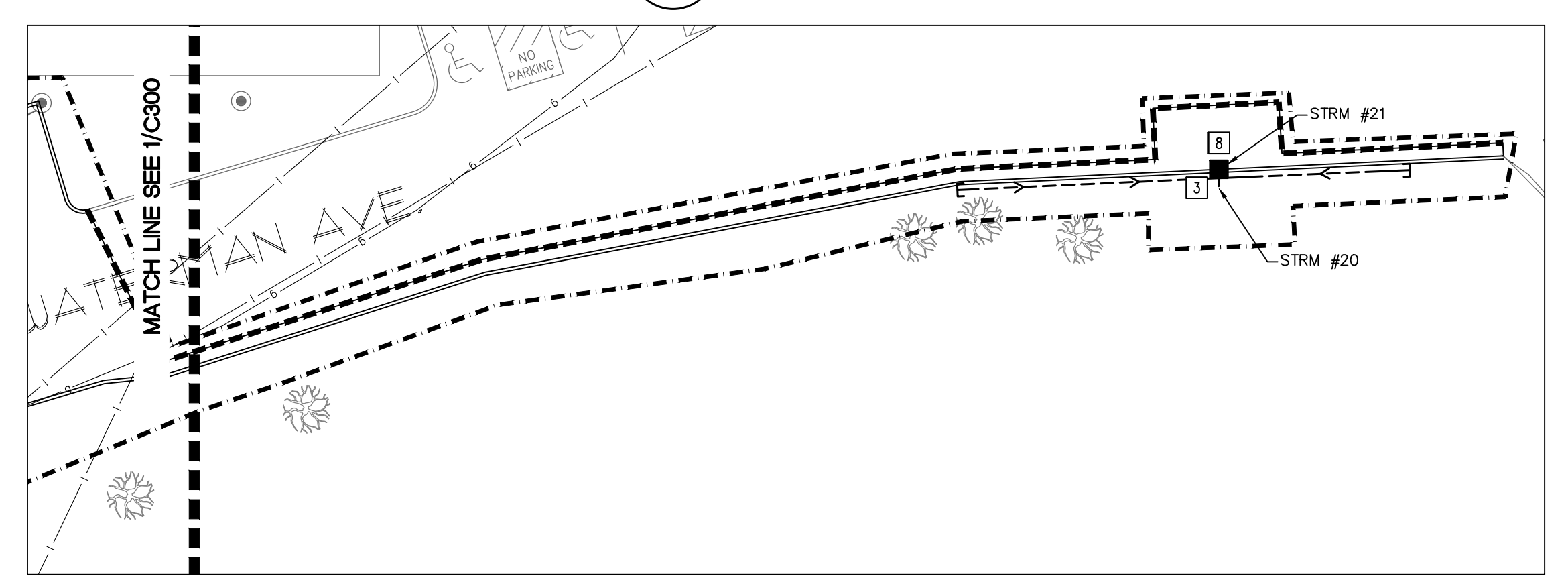


1 C300 UTILITY PLAN 1"=20'

DATE PLOTTED: 06/07/2021 10:00 AM



1 UTILITY PLAN
C301 1"=20'



3 UTILITY PLAN
C301 1"=20'

KEYED NOTES
KEYED NOTES ARE DENOTED BY [KEY] ON PLAN.

- INSTALL LOW POINT DRAIN TILE AT CATCH BASIN. REFER TO DETAIL 13/C500.
- INSTALL STORM SEWER LIFT STATION. REFER TO DETAILS 5/C501 & 7/C501.
- STUB 1.5-INCH TYPE K COPPER WATER SERVICE TO WITHIN 5-FEET OF PROPOSED BUILDING. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- INSTALL 1.5-INCH CURB STOP AND BOX. REFER TO DETAIL 9/C501.
- INSTALL SUMP CATCH BASIN WITH SNOUT, ENVIROHOOD, OR APPROVED EQUAL. REFER TO DETAIL 11/C501.
- COORDINATE INSTALLATION OF CATCH BASIN WITH OWNER. OWNER TO PROVIDE CONNECTION TO DOWNSTREAM SEWER.
- INSTALL 4" PVC SCHEDULE 40 PIPE. CONTRACTOR TO SAW CUT AND MITER BOTH INLET AND OUTLET PIPE TO PROPOSED SLOPE.
- INSTALL INTRAFLOW INSIDE DROP SYSTEM IN EXISTING MANHOLE. FOLLOW ALL CITY OF EDINA STANDARDS AND SPECIFICATIONS.
- REPLACE RIP RAP FOR DRAINAGE SWALE AFTER UTILITY CONSTRUCTION IS COMPLETE.
- LOCATION OF PROPOSED SANITARY SEWER SERVICE. REFER TO SANITARY SEWER TABLE FOR INVERT ELEVATIONS AND PIPE SIZES. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS
PROPERTY LINE
SAWCUT LINE (APPROX.)
DRAIN TILE
STORM SEWER
FLARED END SECTION
CATCH BASIN
MANHOLE
FLARED END SECTION WITH RIPRAP
WATER PIPE
CURB STOP
SANITARY SEWER
SEWER INVERT ELEVATION

ABBREVIATIONS
EX Existing
EOP Emergency Overflow
INV Invert
MH Manhole
CB Catch Basin
PVC Polyvinyl Chloride
RCP Reinforced Concrete
FES Flared End Section
CMP Corrugated Metal Pipe
HDPE High Density Polyethylene

NOTE:
SEE UTILITY NOTES ON SHEET C300.

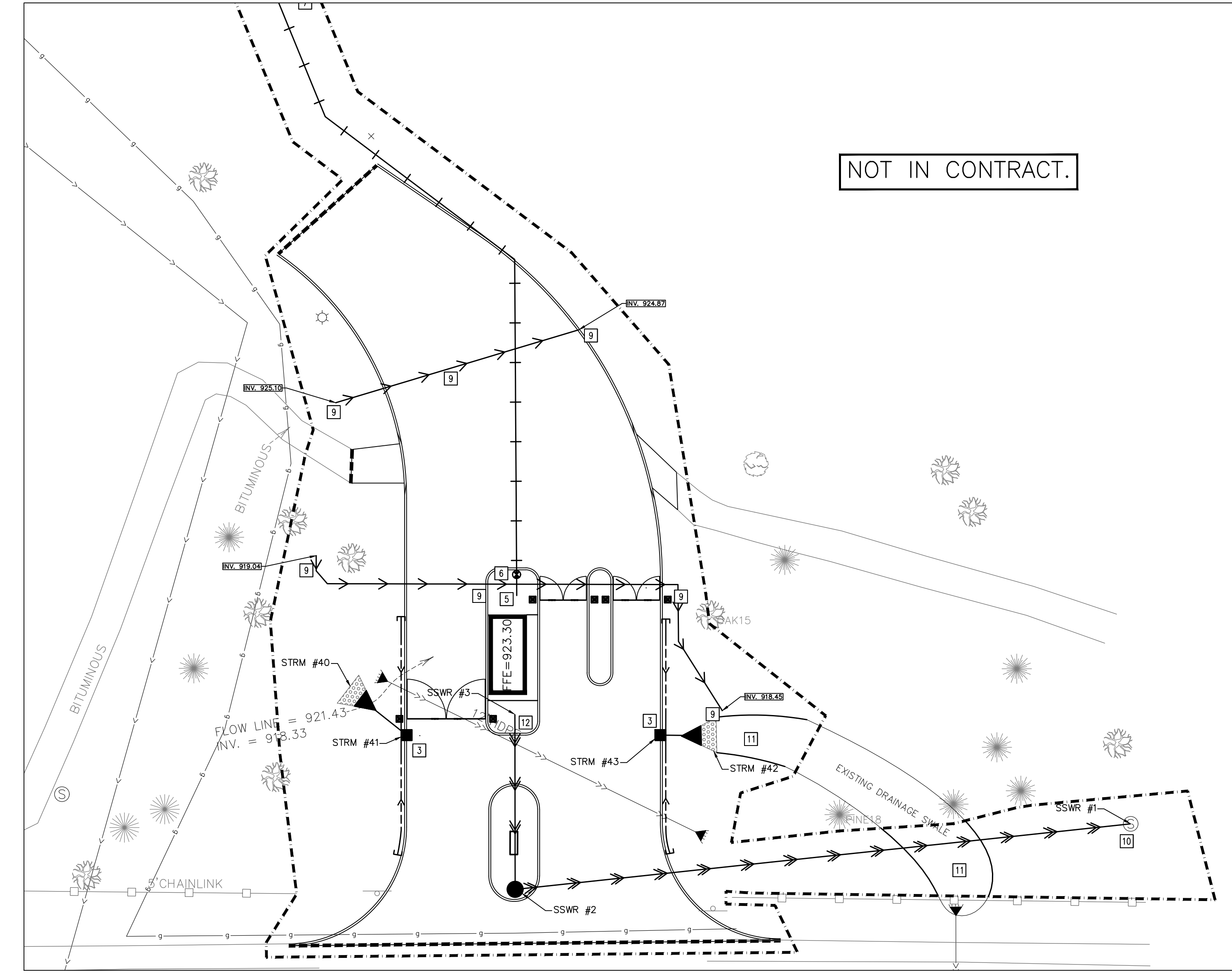
SANITARY SEWER TABLE

STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RIM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
SSWR #1	EX MH CONNECTION	EXISTING	918.84	E = 899.48 W = 899.48 N = 912.19	156 L.F. OF 4" PVC @ 2.00%, SSWR #2
SSWR #2	48" MH	R-1733	923.20	E = 915.32 N = 915.42	44 L.F. OF 4" PVC @ 2.00%, SSWR #3
SSWR #3	SANITARY SEWER SERVICE CONNECTION	NA	S = 916.30		

STORM SEWER TABLE

STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RIM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
STRM #20	6" PVC CAP	NA	N = 920.94		3 L.F. OF 6" PVC @ 2.00%, STRM #21
STRM #21	48" CB	R-3501-TB	929.00	S = 921.00	
STRM #30	21" FES	NA	W = 907.50		235 L.F. OF 21" RCP @ 0.47%, STRM #31*
STRM #31*	48" SUMP CSMH	R-3067	912.60	E = 908.60	
STRM #32	4" PVC DAYLIGHT	NA		E = 911.50	20 L.F. OF 4" PVC @ 1.00%, STRM #33
STRM #33	27" MH	R-1733	914.00	W = 911.70 E = 911.70	287 L.F. OF 4" PVC @ -1.33%, STRM #34
STRM #34	60" PUMP MH (SEE DETAIL)	R-1878-B10L	910.00	W = 907.90 E = 906.90	38 L.F. OF 15" RCP @ -5.01%, STRM #35
STRM #35	15" FES	NA		W = 905.00	
STRM #40	15" FES	NA		SE = 918.50	15 L.F. OF 15" RCP @ 1.04%, STRM #41
STRM #41	24"x36" CB	R-3501-TB	921.98	NW = 918.66	
STRM #42	15" FES	NA		W = 917.50	10 L.F. OF 15" RCP @ 2.19%, STRM #43
STRM #43	24"x36" CB	R-3501-TB	921.45	E = 917.73	

* PROVIDE 6" SUMP



2 NOT IN CONTRACT
C301 1"=20'



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project title
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Kevin A. Bohl
Kevin A. Bohl
Date 06/07/2021 Lic. No. 52209

BID SET

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project no. 20236.50
drawn AJA/SJR
checked KAB

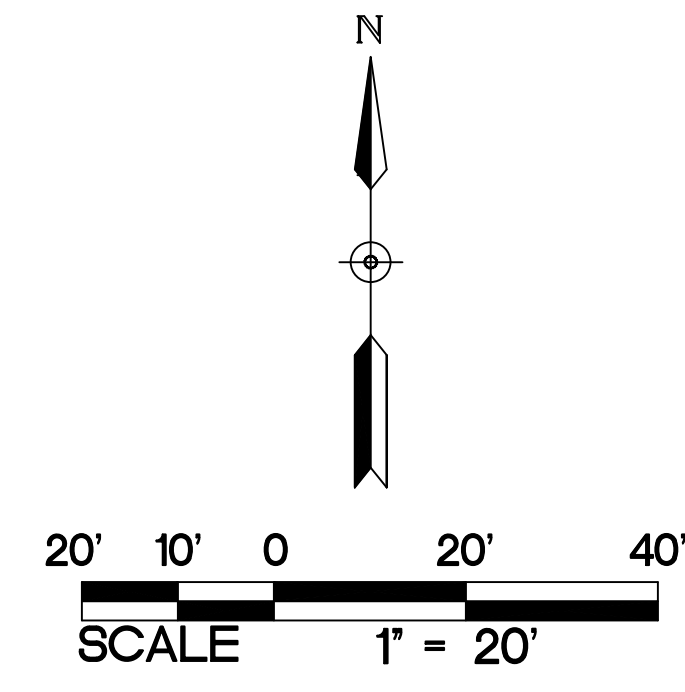
issue date 06/07/2021
sheet title UTILITY PLAN

C301



PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
SAWCUT LINE (APPROX.)	- - - - -
WATER PIPE	—+—+—+—+—+—+—

ABBREVIATIONS	
GV	Gate Valve



KEYED NOTES
 KEYED NOTES ARE DENOTED BY [] ON PLAN.
 [5] STUB 1.5-INCH DOMESTIC WATER SERVICE TO WITHIN 5- FEET OF EXISTING BUILDING FOR PROPOSED BUILDING CONNECTION. FOLLOW ALL CITY OF EDINA STANDARDS AND SPECIFICATIONS.
 [6] SAWCUT, REMOVE, AND REPLACE ASPHALT FOR PROPOSED WATER SERVICE. CONTRACTOR TO MATCH EXISTING PAVEMENT SECTION.
 [7] APPROXIMATE ROUTING OF PROPOSED 1.5-INCH COPPER WATER SERVICE. CONTRACTOR TO ADJUST ROUTE AS NECESSARY WITH BENDS TO AVOID TREES. NO TREE REMOVALS WILL BE ALLOWED FOR SERVICE INSTALLATION. CONTRACTOR IS TO COORDINATE WORK WITH OWNER.

THIS SHEET IS FOR REFERENCE ONLY.
 WATERMAIN EXTENSION IS NOT IN CONTRACT.

1 NOT IN CONTRACT
 C302 1" = 20'



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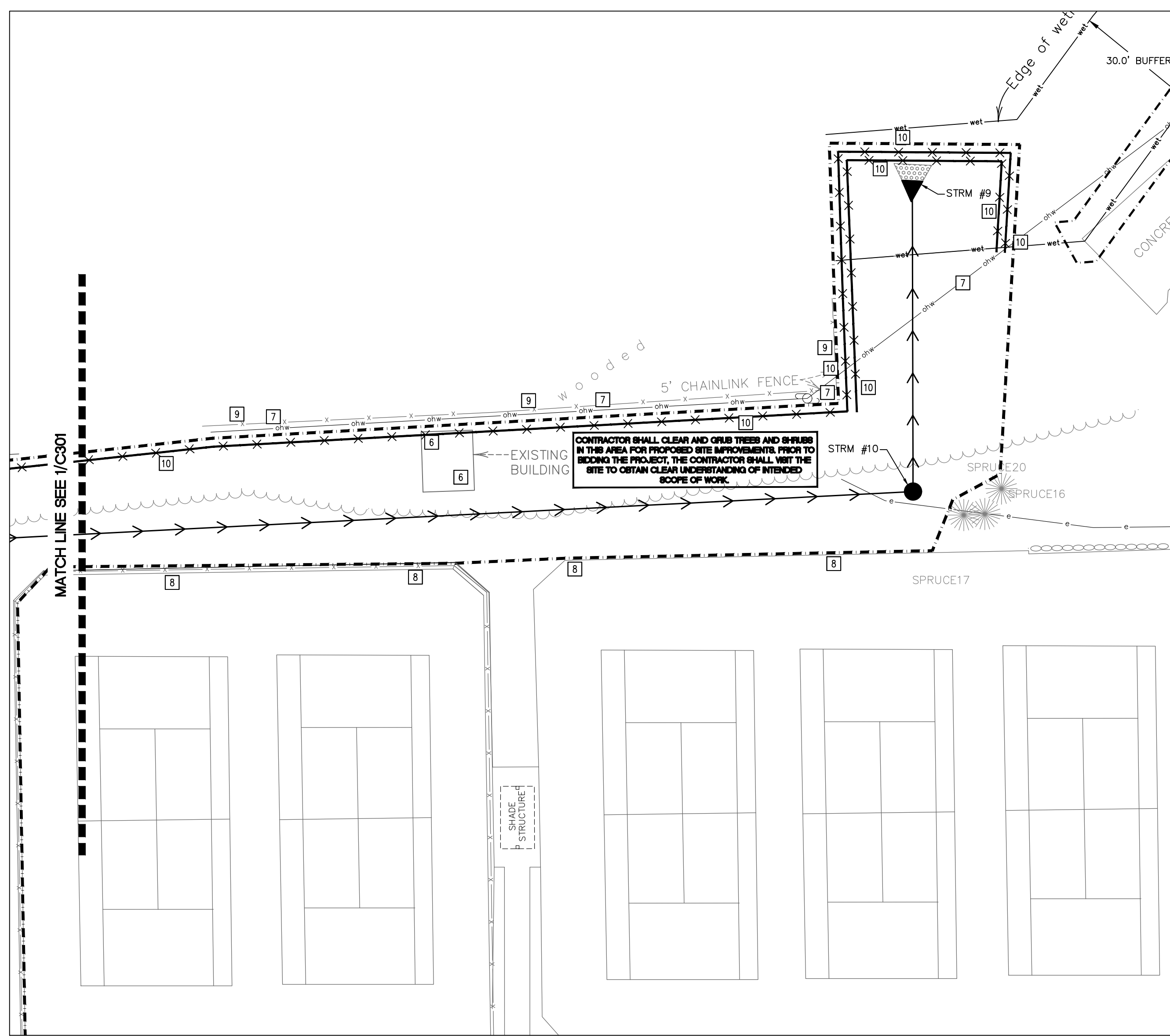
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06/07/2021	06/07/2021	BID SET
07/15/2021	07/15/2021	WATERSHED RESUBMITTAL

project no.	issue date
20236.50	06/07/2021
Drawn	checked
AJA/SJR	KAB

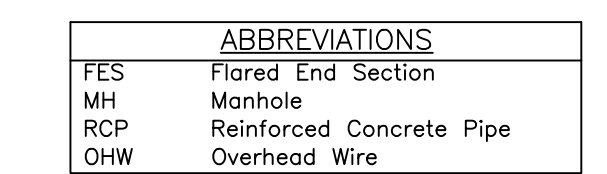
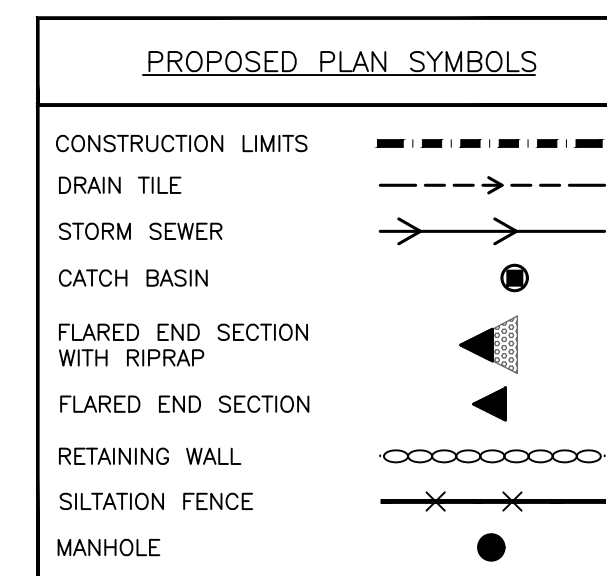
sheet title
DEMOLITION AND UTILITY PLAN

C302



1 DEMOLITION AND UTILITY PLAN
1"=10'

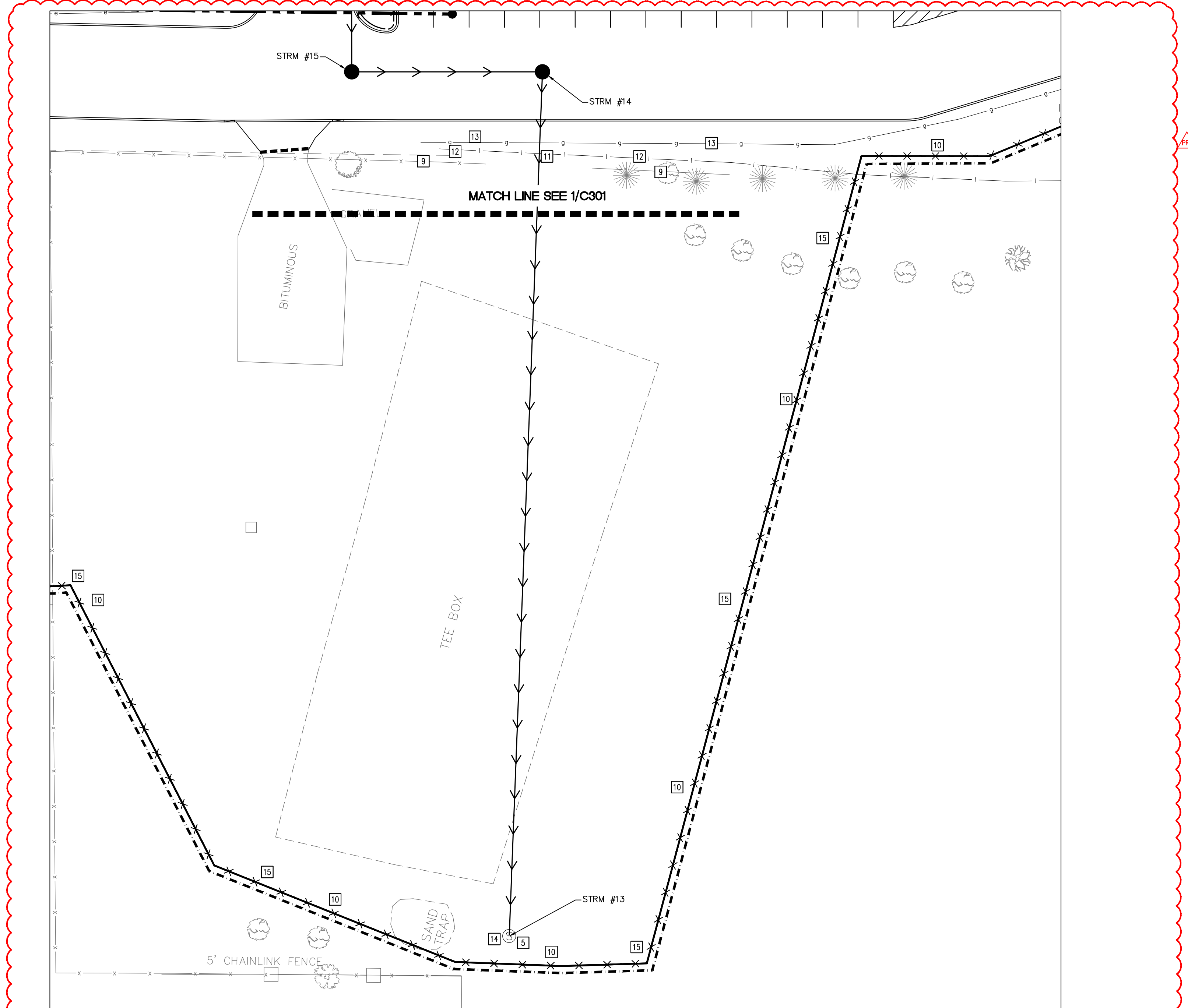
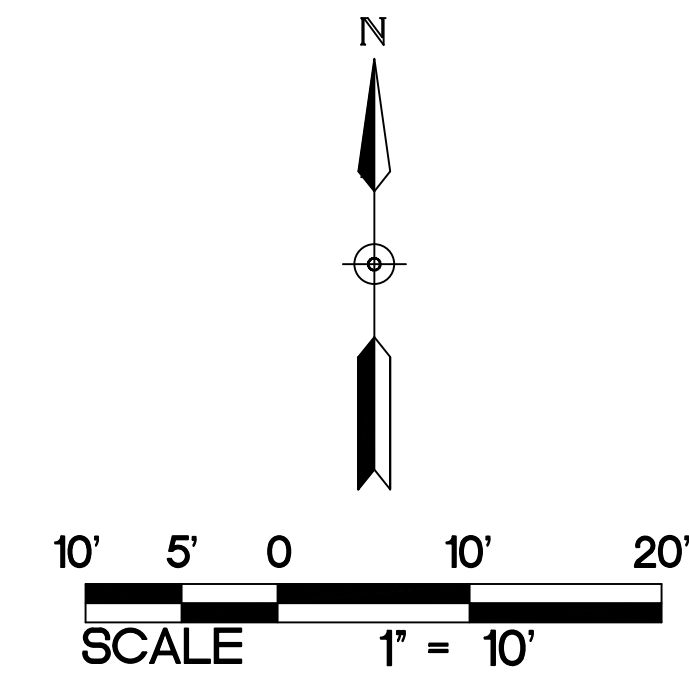
STORM SEWER TABLE					
STRUCTURE ID	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING TYPE	RIM ELEVATION	INVERT ELEVATION(S)	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
STRM #9	12" FES	NA		S = 912.58	74 L.F. OF 12" RCP @ 1.00%, STRM #10
STRM #10	48" MH	R-1733	930.50	N = 913.32 W = 913.32	240 L.F. OF 12" RCP @ 0.99%, STRM #11
STRM #13	EX. CB CONNECTION	EXISTING	921.00	S = 907.75 N = 911.25	245 L.F. OF 12" RCP @ 1.00%, STRM #14



NOTE:
SEE UTILITY NOTES ON SHEET C300.
SEE DEMO NOTES ON SHEET C100.

KEYED NOTES

- KEYED NOTES ARE INDICATED BY [Symbol] ON PLAN.
- CORE DRILL EXISTING MANHOLE FOR PROPOSED PIPE CONNECTION. GROUT SEAL AROUND OPENING. FOLLOW ALL CITY OF EDINA STANDARDS AND SPECIFICATIONS.
 - REMOVE BUILDING IN ITS ENTIRETY, INCLUDING EXTERIOR STAIRS, OVERHANGS, AND FOOTINGS.
 - EXISTING UTILITY POLE AND LINE TO REMAIN. PROTECT AT ALL TIMES.
 - PROTECT EXISTING TENNIS COURTS, INCLUDING FENCING, AT ALL TIMES.
 - EXISTING FENCE TO REMAIN. PROTECT AT ALL TIMES.
 - INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 2/C500 AND 3/C500.
 - CONTRACTOR SHALL POTHOLE EXISTING WATERMAIN AND DETERMINE BURY DEPTH PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER WITH FINDINGS.
 - PROTECT EXISTING WATERMAIN AT ALL TIMES.
 - PROTECT EXISTING GAS LINE AT ALL TIMES.
 - INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 4/C500.
 - CONTRACTOR SHALL COORDINATE THE INSTALLATION OF EROSION CONTROL DEVICES SOUTH OF WATERMAN AVENUE WITH THE OWNER BEFORE INSTALLATION.



2 UTILITY PLAN
1"=10'



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EDINA, MN 55436



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Kevin A. Bohl
Kevin A. Bohl
Date 06/07/2021 Lic. No. 52209

BID SET

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06/07/2021	06/07/2021	BID SET
07/15/2021	07/15/2021	WATERSHED RESUBMITTAL
08/04/2021	08/04/2021	PROPOSAL REQUEST #1

project no.	issue date
20236.50	06/07/2021
Drawn AJA/SJR	checked KAB

sheet title
DEMOLITION AND UTILITY PLAN

C303



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▲	08/04/2021	PROPOSAL REQUEST #1

project no.	issue date
20236.50	06/07/2021
Drawn	checked
AJA/SJR	KAB

sheet title
PAVING AND GEOMETRIC PLAN

C400

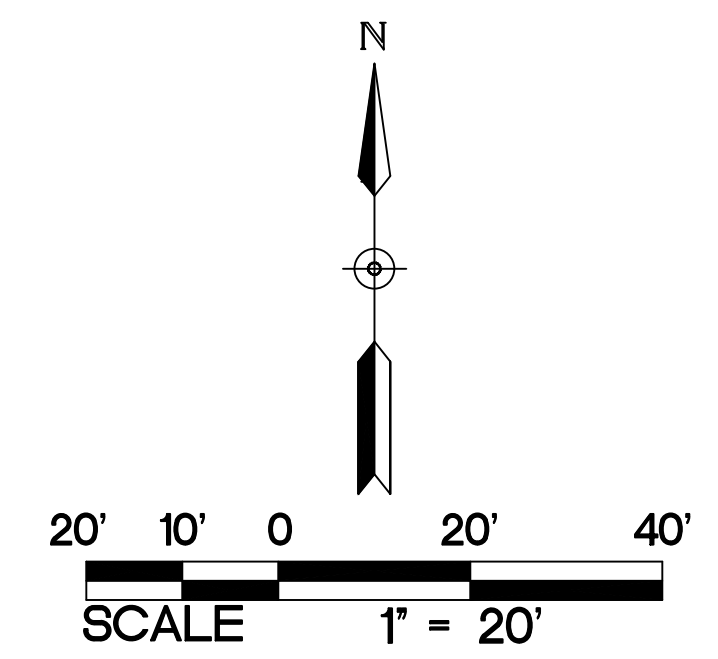
PAVING NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL CURB AND GUTTER IS TO BE B612 CONCRETE CURB AND GUTTER UNLESS NOTED OTHERWISE.
- NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
- ALL PARKING STALLS, INCLUDING ACCESSIBLE STALLS, ARE TO BE 10 FEET WIDE BY 18 FEET LONG, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL STRIPE PARKING LOT PER PLAN LAYOUT AND SPECIFICATIONS.
- ACCESSIBLE AISLES SHALL BE STRIPED PER MN CODE (SECTION 502), WHERE "NO PARKING" SIGNAGE WOULD OBSTRUCT A CURB RAMP OR ACCESSIBLE ROUTE, "NO PARKING" SHALL BE PRINTED ON THE SURFACE OF THE ACCESS AISLE.
- THE CONTRACTOR IS TO CONTACT THE CITY OF EDINA FIRE MARSHALL FOR THE EXACT PLACEMENT OF FIRE LANES, YELLOW-PAINTED CURBING AND NO PARKING AREAS FOR FIRE PROTECTION PURPOSES.
- INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
- MATCH NEW PAVEMENT INTO EXISTING PAVEMENT. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- MATCH NEW CONCRETE CURB AND GUTTER INTO EXISTING. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- MATCH NEW SIDEWALK INTO EXISTING SIDEWALK. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- MATCH NEW SIDEWALK INTO EXISTING SIDEWALK. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- REFER TO SPECIFICATIONS FOR GRADE VERIFICATION SURVEY REQUIREMENTS PRIOR TO PLACEMENT OF SUB-BASE MATERIAL, BASE MATERIAL, AND PAVEMENTS/SIDEWALKS.

INTERLACHEN CAMPUS PARKING STALL COUNT
 EXISTING PARKING STALL TOTAL: 238
 EXISTING ACCESSIBLE STALL TOTAL: 6
 PROPOSED PARKING STALL TOTAL: 124
 NEW ACCESSIBLE STALL TOTAL: 5
 RE-STRIPED STALL TOTAL: 29
 FINAL PARKING STALL TOTAL: 367
 FINAL ADA STALL TOTAL: 11

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
CONCRETE PAVEMENT/SIDEWALK	▨
BITUMINOUS PAVEMENT	▨
ACCESSIBLE PARKING SYMBOL	♿
SIGN	Ⓢ
PARKING STALL COUNT	10
PROPOSED LIGHT POLE (SEE LANDSCAPE AND ELECTRICAL)	☀
RETAINING WALL	▬
SURMOUNTABLE CURB	▬
FLAT CURB AND GUTTER	▬
PERMEABLE PAVERS	▨



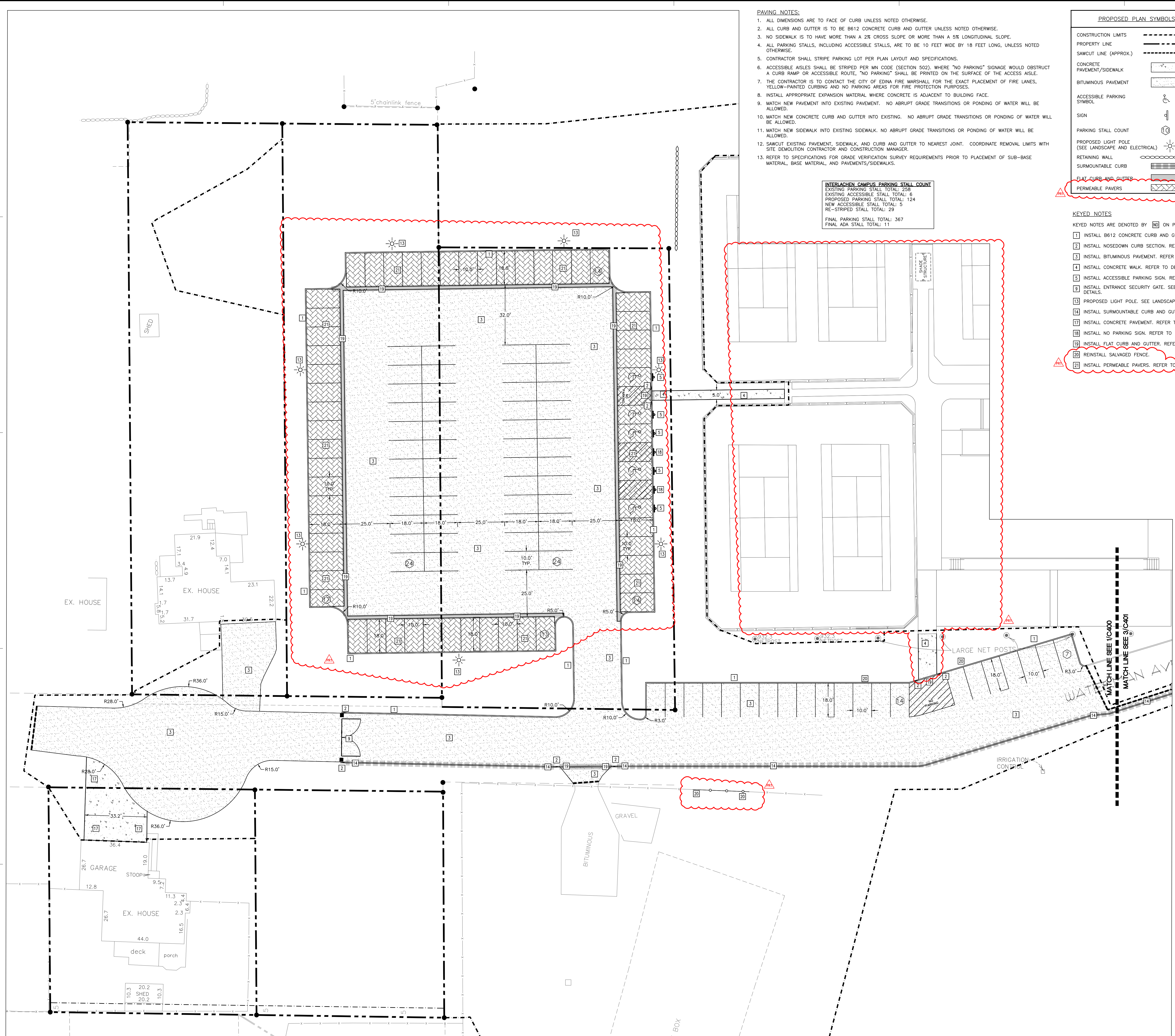
ABBREVIATIONS

R	Radius
EX	Existing
TYP.	Typical

KEYED NOTES

KEYED NOTES ARE DENOTED BY [] ON PLAN.

- INSTALL B612 CONCRETE CURB AND GUTTER. REFER TO DETAIL 7/C500.
- INSTALL NOSEDOWN CURB SECTION. REFER TO DETAIL 10/C500.
- INSTALL BITUMINOUS PAVEMENT. REFER TO DETAIL 8/C500.
- INSTALL CONCRETE WALK. REFER TO DETAIL 9/C500.
- INSTALL ACCESSIBLE PARKING SIGN. REFER TO DETAIL 11/C500.
- INSTALL ENTRANCE SECURITY GATE. SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR DETAILS.
- PROPOSED LIGHT POLE. SEE LANDSCAPE AND ELECTRICAL PLANS.
- INSTALL SURMOUNTABLE CURB AND GUTTER. REFER TO DETAIL 4/C501.
- INSTALL CONCRETE PAVEMENT. REFER TO DETAIL 3/C501.
- INSTALL NO PARKING SIGN. REFER TO DETAIL 11/C500.
- INSTALL FLAT CURB AND GUTTER. REFER TO DETAIL 10/C501.
- REINSTALL SALVAGED FENCE.
- INSTALL PERMEABLE PAVERS. REFER TO DETAIL 16/C500.



1 PAVING AND GEOMETRIC PLAN
C400 1"=20'



1
402 PAVING AND GEOMETRIC PLAN — ALTERNATE #1
1" = 20'

KEYED NOTES

- KEYED NOTES ARE DENOTED BY [KEY] ON PLAN.
- 1 INSTALL B612 CONCRETE CURB AND CUTTER. REFER TO DETAIL 7/C500.
 - 2 INSTALL NOSEDOWN CURB SECTION. REFER TO DETAIL 10/C500.
 - 3 INSTALL BITUMINOUS PAVEMENT. REFER TO DETAILS 8/C500.
 - 4 INSTALL WETLAND BUFFER SIGN. SIGN SHALL BE PROVIDED BY THE MINNEHAHA CREEK WATERSHED DISTRICT. INSTALL SIGN POST PER DETAIL 12/C501.
 - 5 ALL DISTURBED AREA WITHIN THE WETLAND BUFFER SHALL BE PLANTED ACCORDING TO THE MINNEHAHA CREEK WATERSHED DISTRICT SPECIFICATIONS. REFER TO LANDSCAPE PLANS FOR DETAILS.

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
SAWCUT LINE (APPROX.)	---
BITUMINOUS PAVEMENT	[Pattern]
PARKING STALL COUNT	[Symbol]
WETLAND BUFFER REDUCTION/ADDITION (SEE LANDSCAPE)	[Pattern]
WETLAND BUFFER SIGN	[Symbol]

NOTE:
SEE PAVING NOTES ON SHEET C400.

N

SCALE 1" = 20'

ABBREVIATIONS

R	Radius
FTE	Finished Floor Elevation



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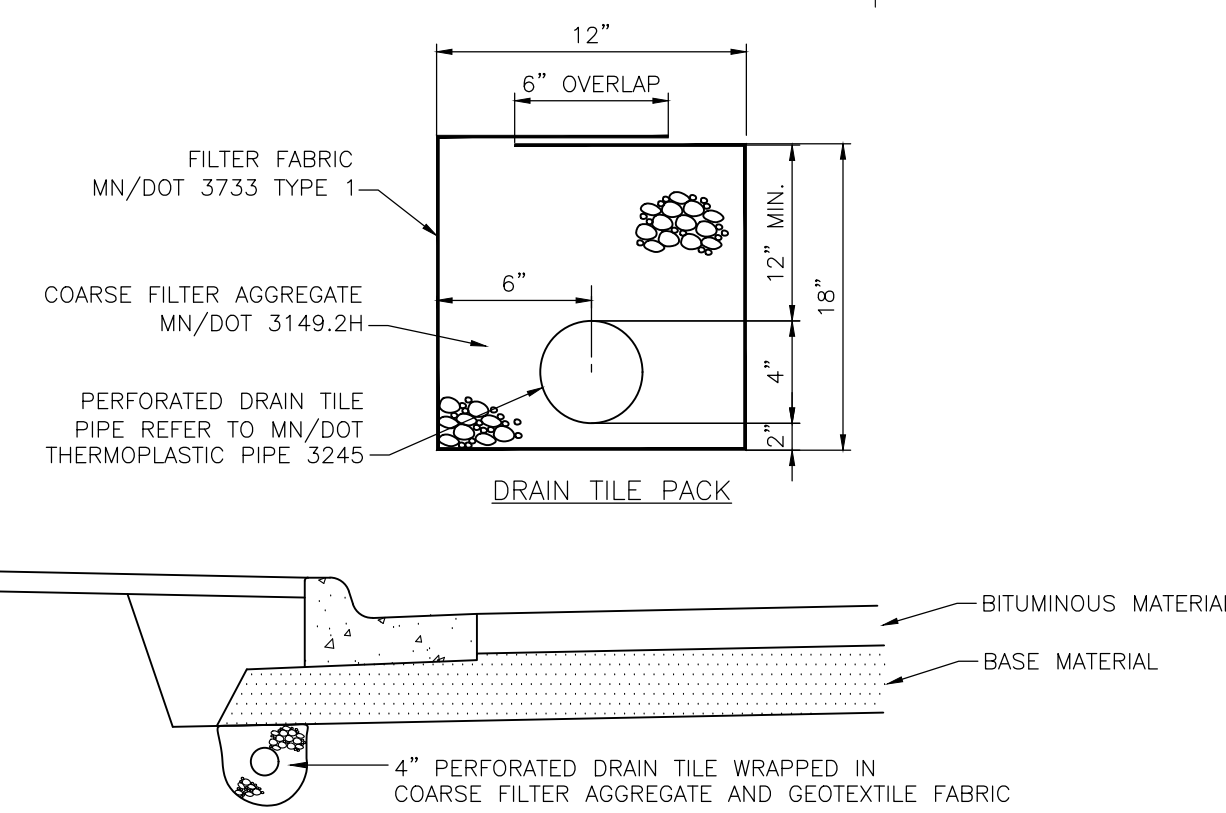
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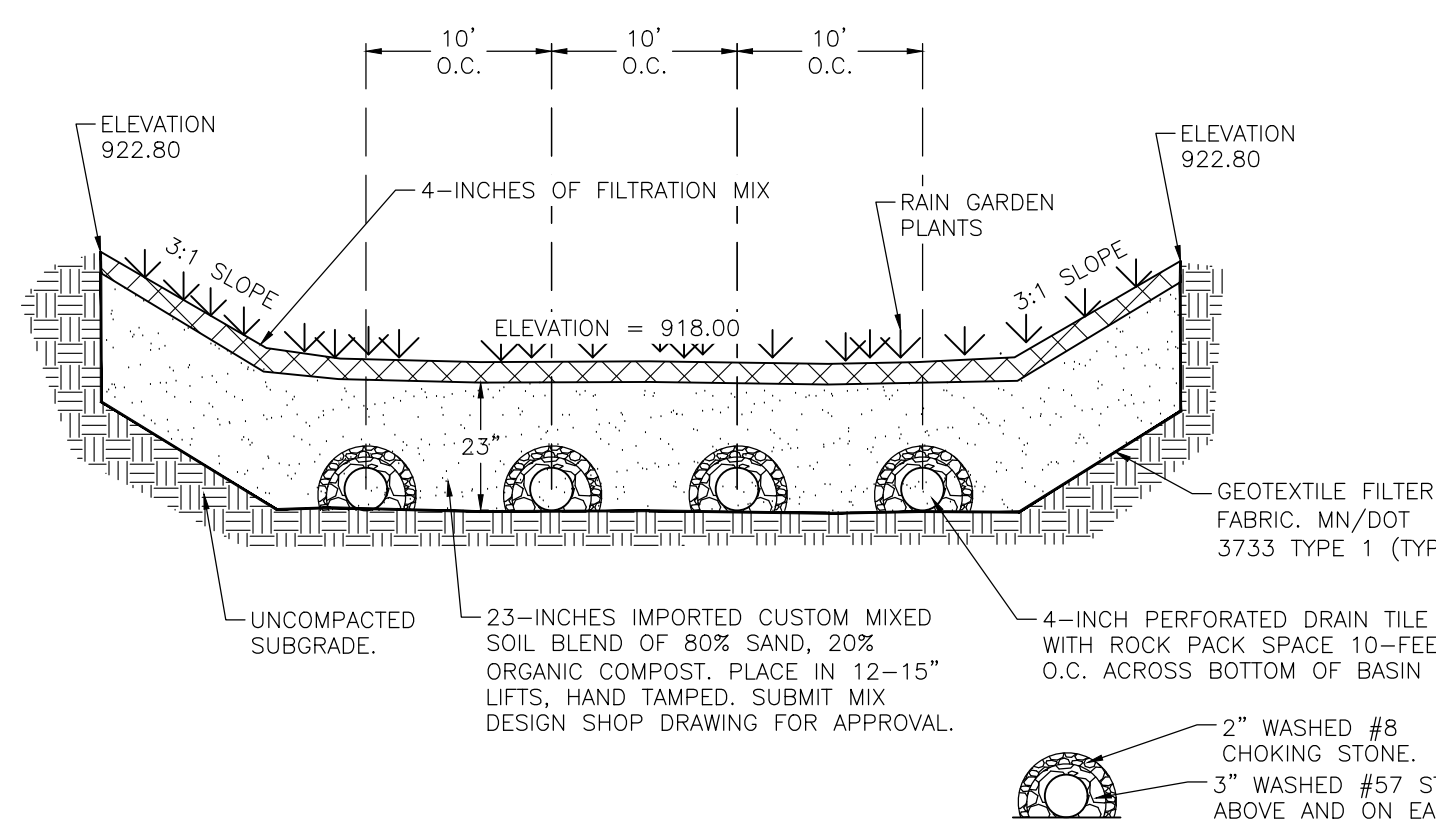
sheet title
PAVING AND GEOMETRIC PLAN

C402



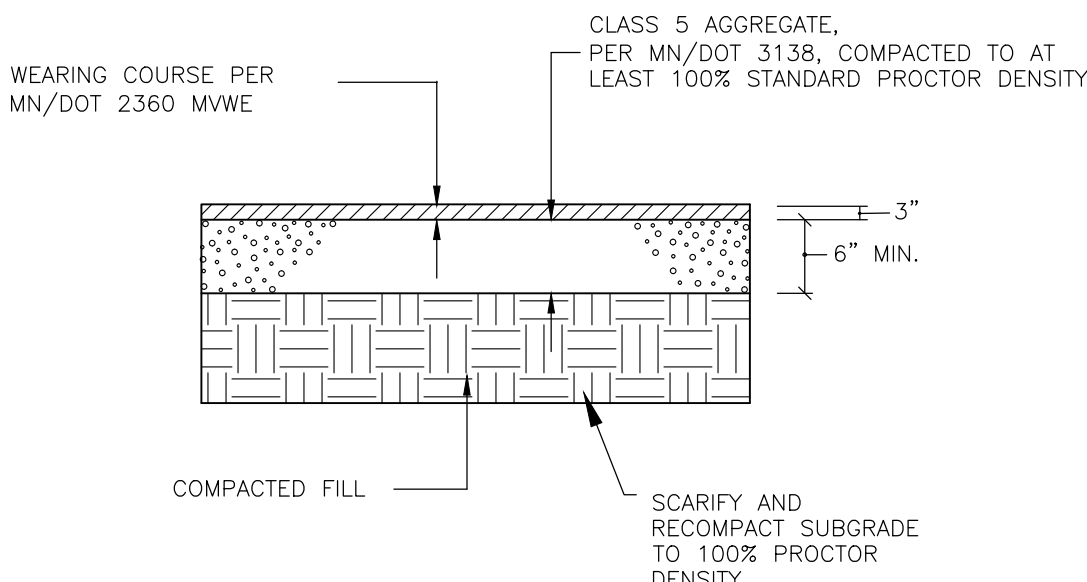
- 1) A MINIMUM OF 60 FEET OF DRAIN TILE SHALL BE PLACED AT ALL LOW POINT CATCH BASINS.
- 2) THE FIRST 18' AT CATCH BASIN SHALL BE SOLID WALL SCH 40 PVC. DRAIN TILE SHALL BE PLACED BEHIND THE PROPOSED CURB LINE.
- 3) MAINTAIN POSITIVE SLOPE AWAY FROM CATCH BASIN AT ALL TIMES. DRAIN TILE SLOPE SHALL MATCH PROPOSED AT GRADE SLOPE OR 0.5 PERCENT, WHICH EVER IS GREATER.
- 4) FOR CATCH BASINS NOT LOCATED IN A CURB LINE CONTRACTOR SHALL EXTEND DRAIN TILE IN 4 DIRECTIONS, IN THE SHAPE OF AN "X", FOR 15- FEET FROM EDGE OF CATCH BASIN STRUCTURE.
- 5) CONTRACTOR SHALL PROVIDE SOLID WALL PVC PIPE TO 10- FEET OF EITHER SIDE OF WATERMAIN CROSSINGS.
- 6) DRAIN TILE SHALL CONNECT TO CATCH BASIN AT 2.5- FEET BELOW THE PROPOSED RIM ELEVATION OR THE BOTTOM OF THE PAVEMENT BASE MATERIAL, WHICHEVER IS DEEPER.
- 7) PIPE CAPS SHALL BE INSTALLED ON THE END RUNS OF ALL DRAIN TILE PIPE.

13 DRAIN TILE AT LOW POINT CATCH BASIN
C500 NOT TO SCALE

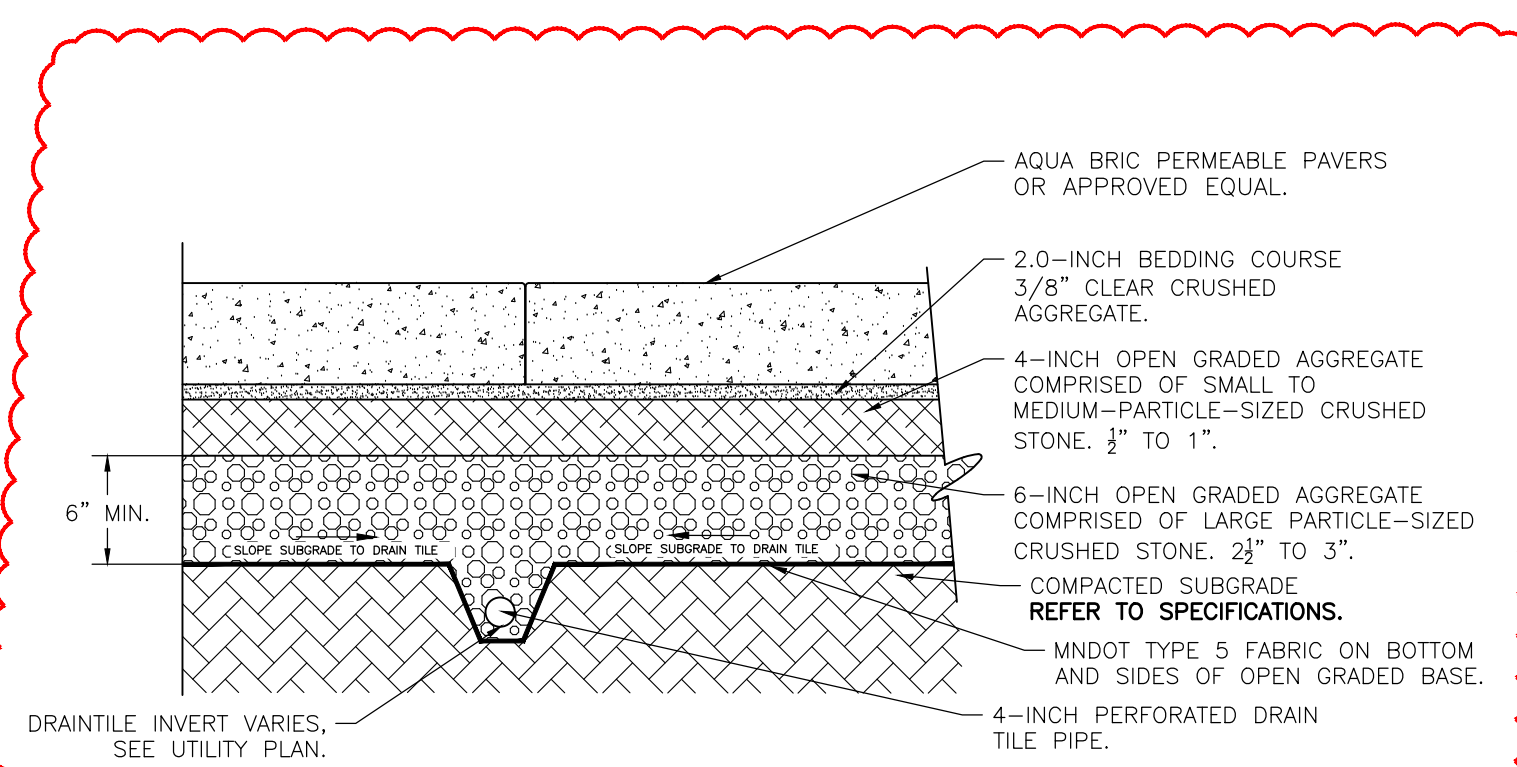


NOTE:
REFER TO MINNESOTA STORMWATER MANUAL FOR RAINGARDEN PLANTINGS

14 FILTRATION BASIN DETAIL
C500 NOT TO SCALE

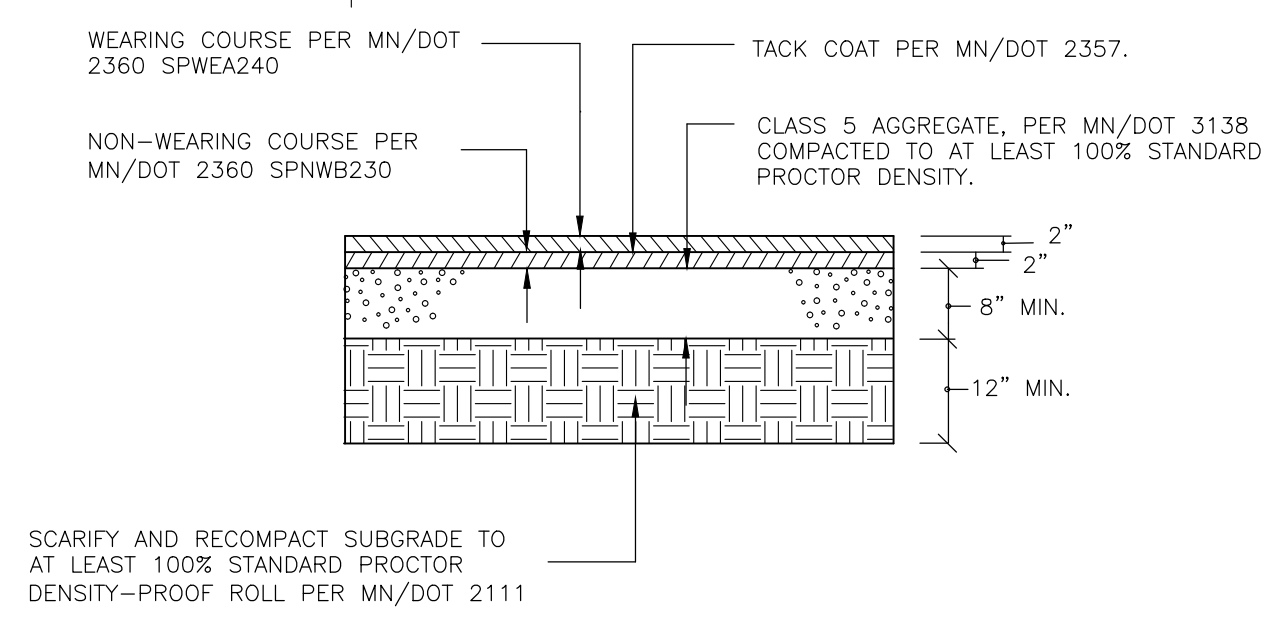


15 BITUMINOUS PATH
C500 NOT TO SCALE

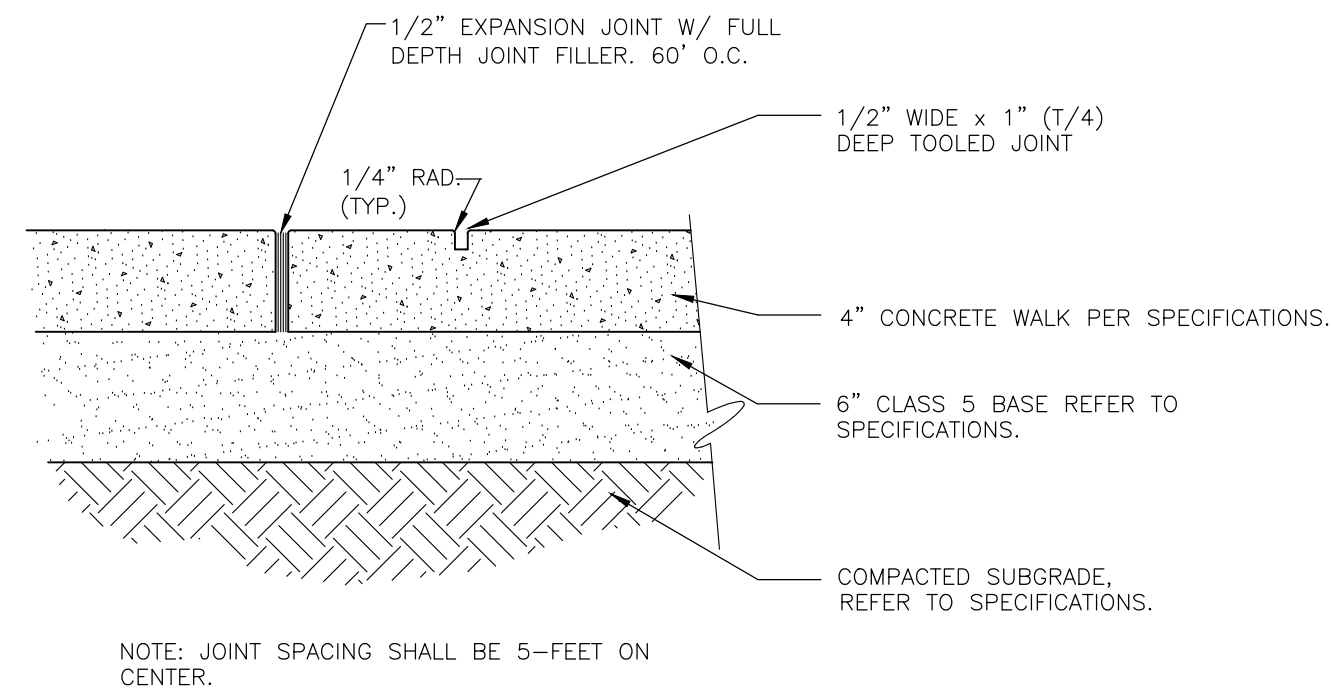


NOTE:
1. THE CROSS SECTION AS DETAILED ABOVE IS FOR REFERENCE ONLY. THE ACTUAL MATERIAL TYPE AND DEPTH IS DEPENDANT UPON MANUFACTURER'S RECOMMENDATIONS.

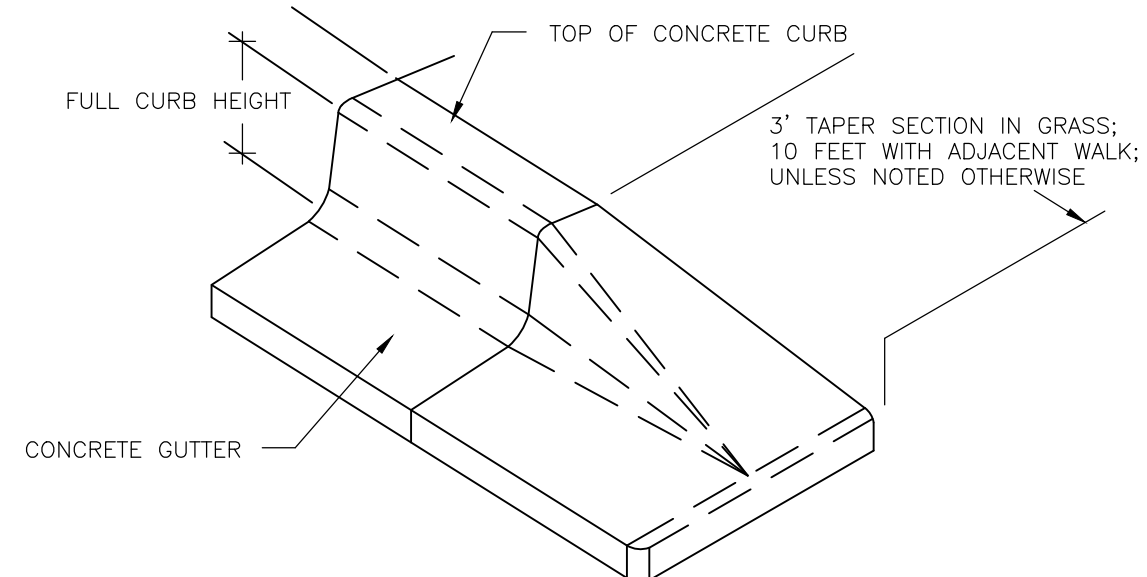
16 PERMEABLE PAVERS
C500 NOT TO SCALE



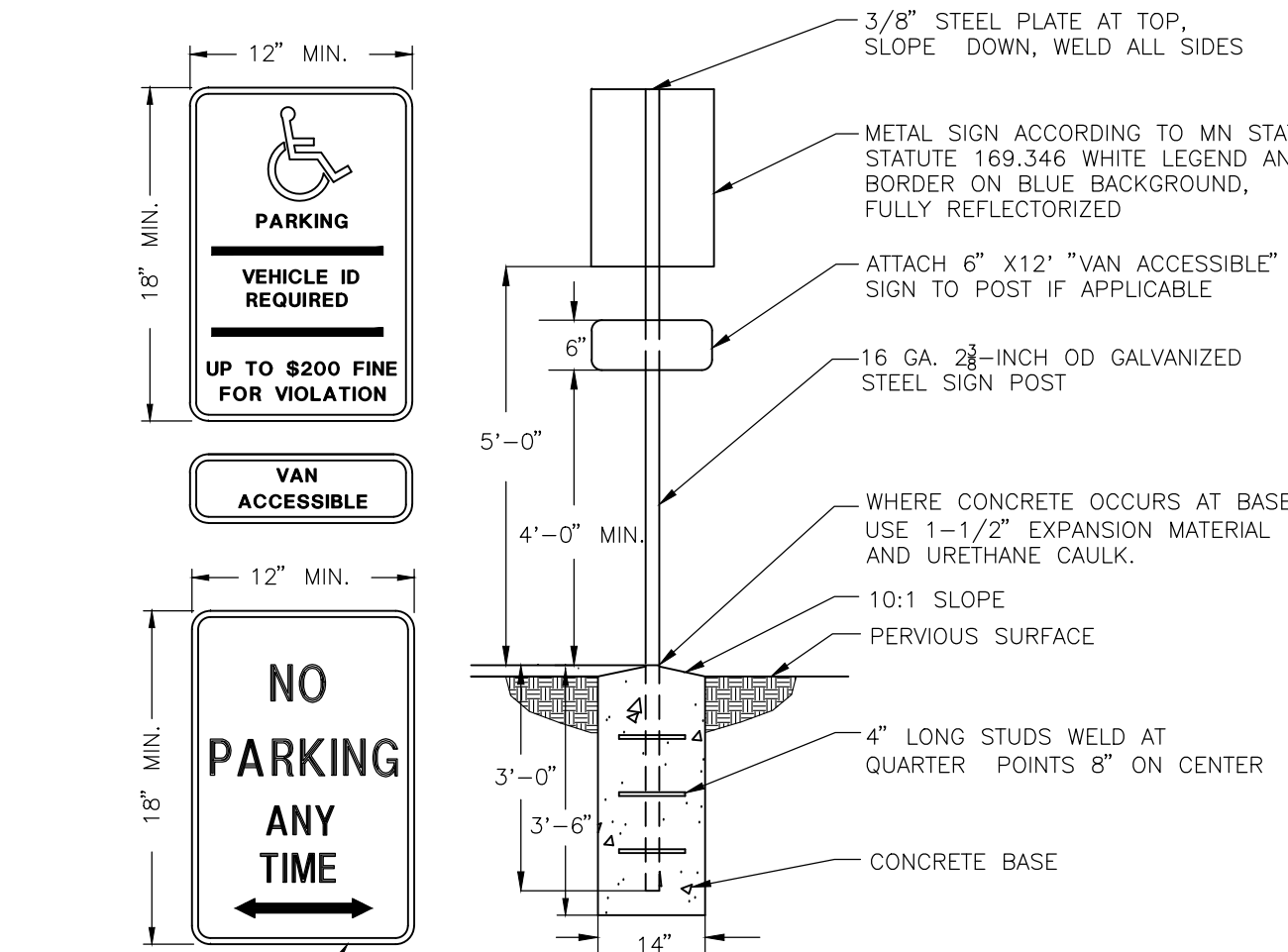
8 BITUMINOUS PAVEMENT
C500 NOT TO SCALE



9 CONCRETE SIDEWALK CONSTRUCTION (TYP.)
C500 NOT TO SCALE



10 NOSE-DOWN CURB SECTION
C500 NOT TO SCALE

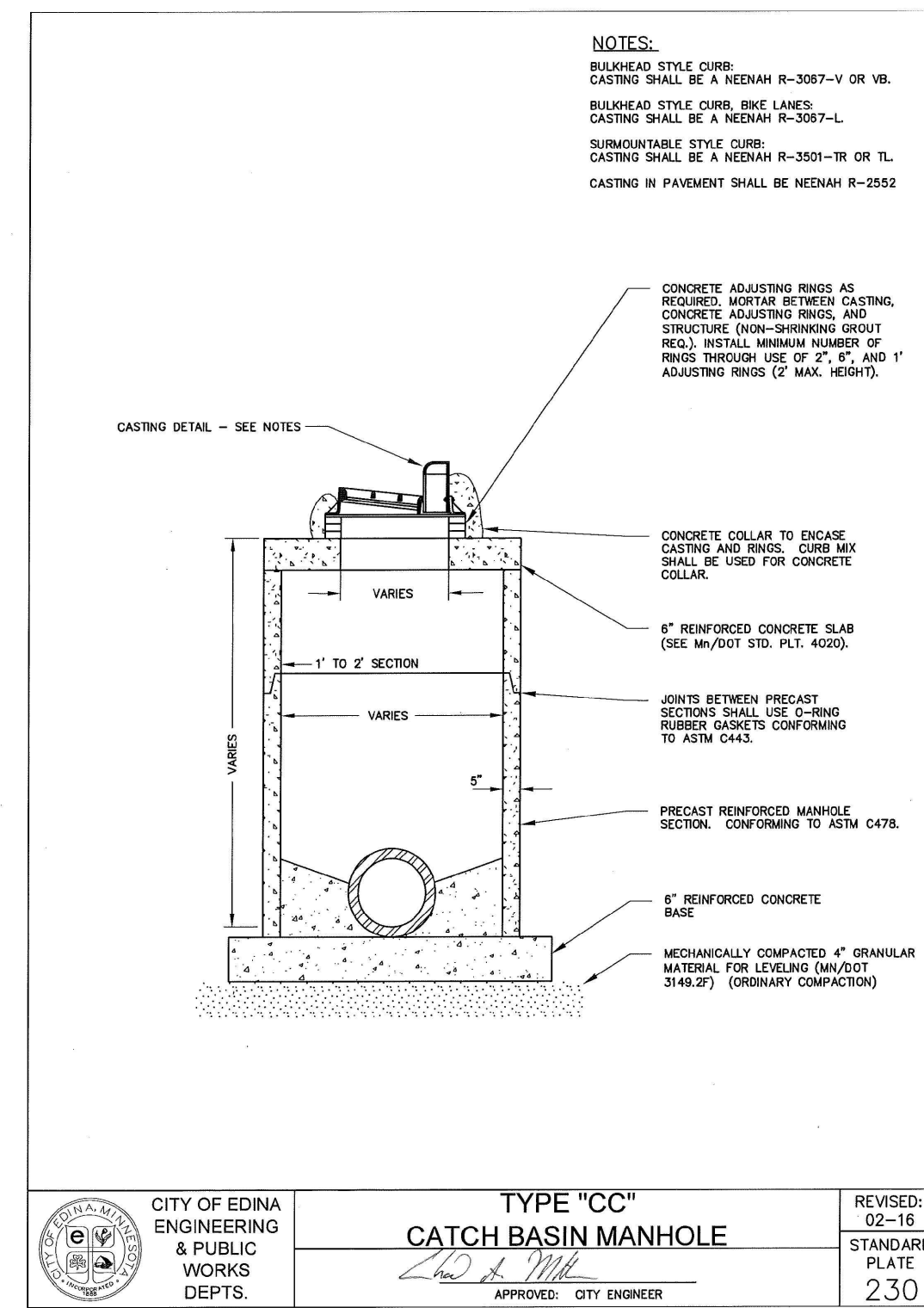


11 ACCESSIBLE SIGN AND POST: GRASS AREA PLACEMENT
C500 NOT TO SCALE

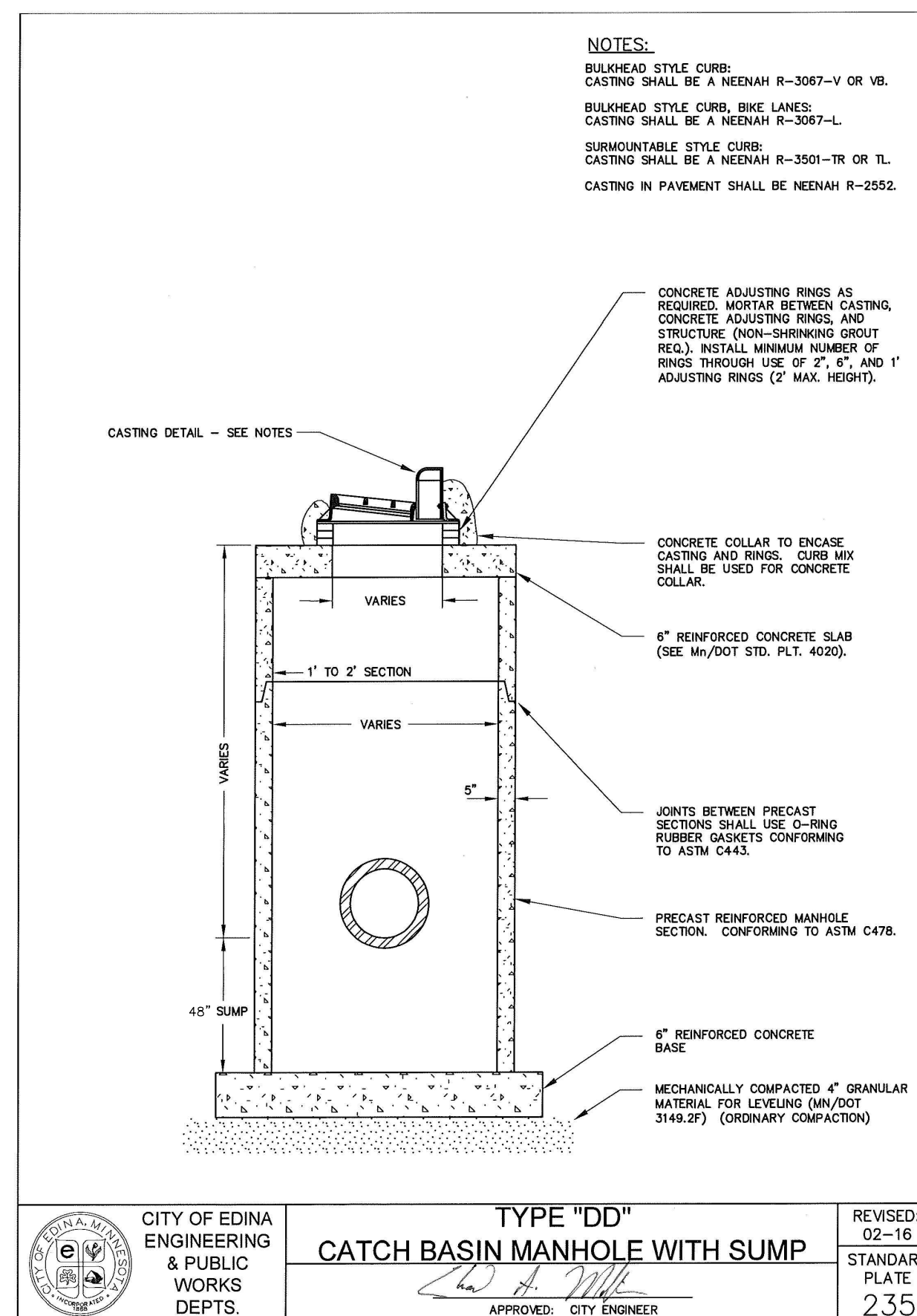
RIPRAP REQUIRED			
SIZE OF PIPE	CU. YD.	MN/DOT 3601 CL II	
12" to 24"	8	4	8
27" to 33"	12	6	12
36" to 48"	16	8	16
54" to 72"	16	8	16

TRASH GUARD			
SIZE OF PIPE	BARS	"H"	BOLTS
12" to 18"	3/4"	4"	5/8"
21" to 42"	1"	6"	3/4"
48" to 72"	1-1/4"	12"	1"

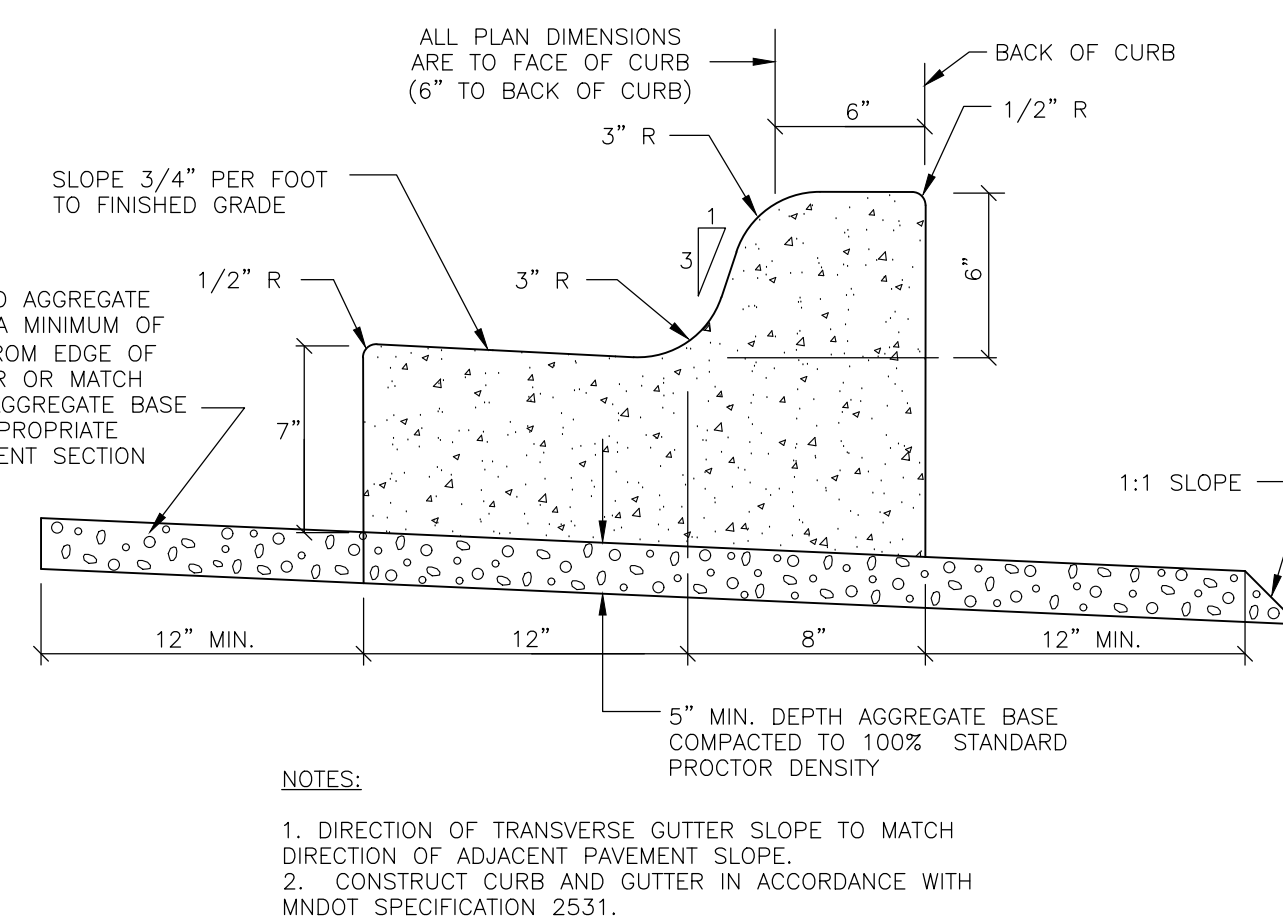
12 FLARED-END SECTION
C500 NOT TO SCALE



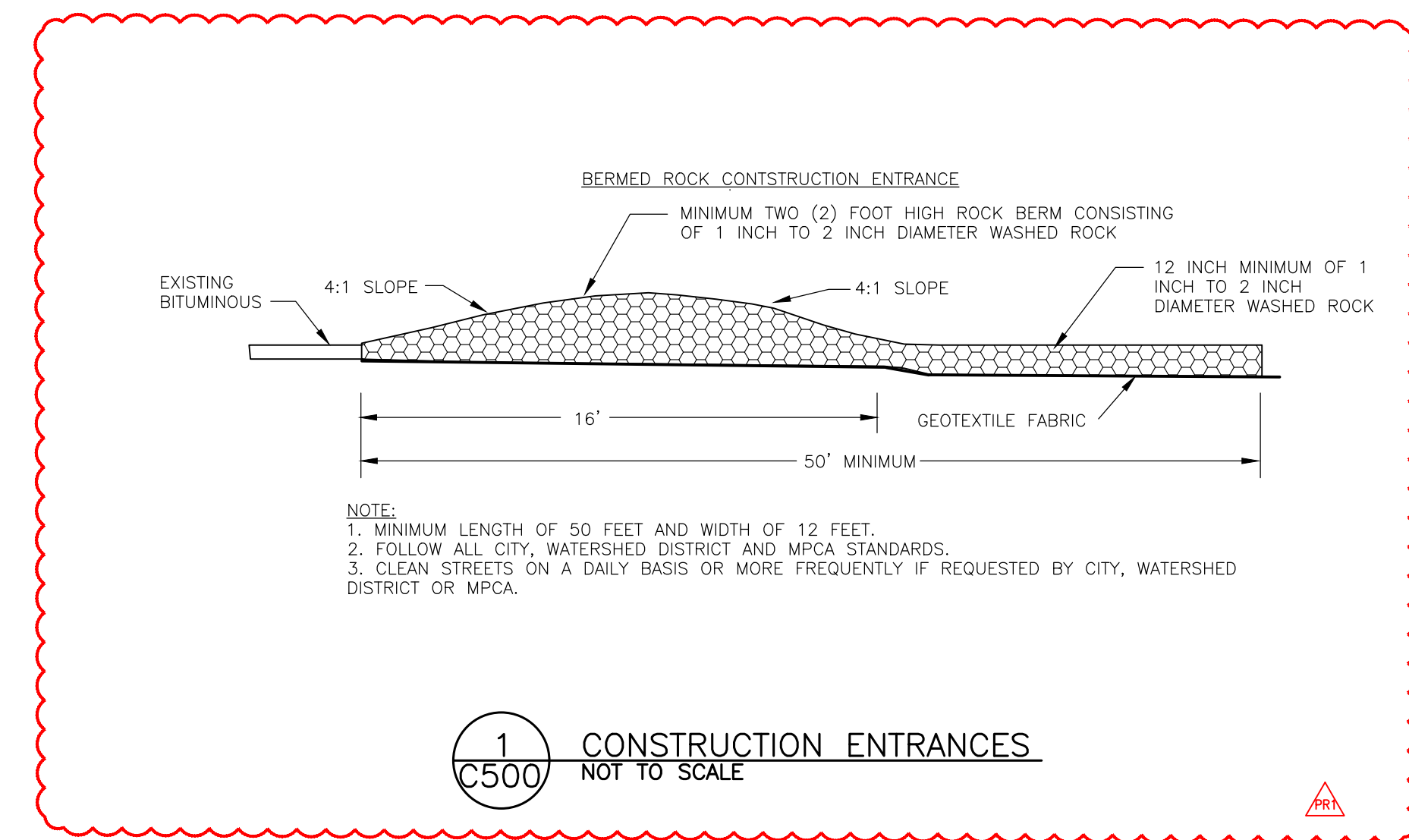
5 STORM SEWER MANHOLE
C500 NOT TO SCALE



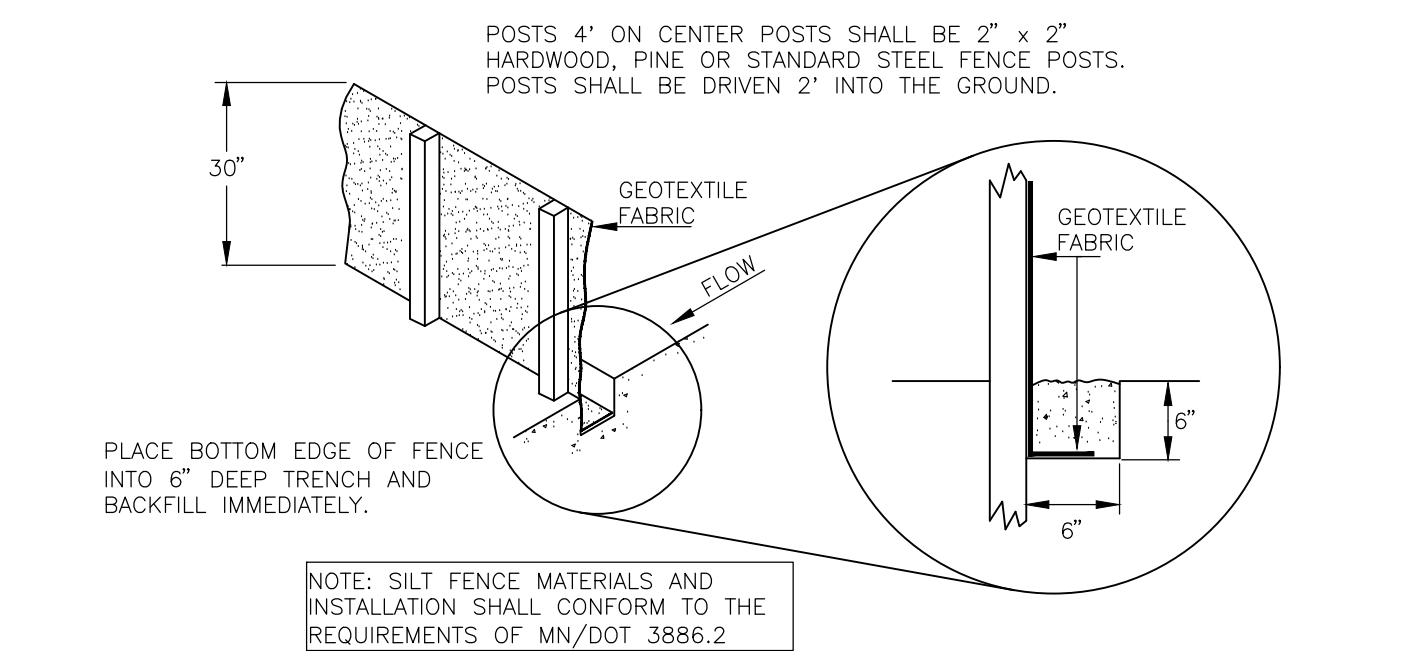
6 SUMP CATCH BASIN
C500 NOT TO SCALE



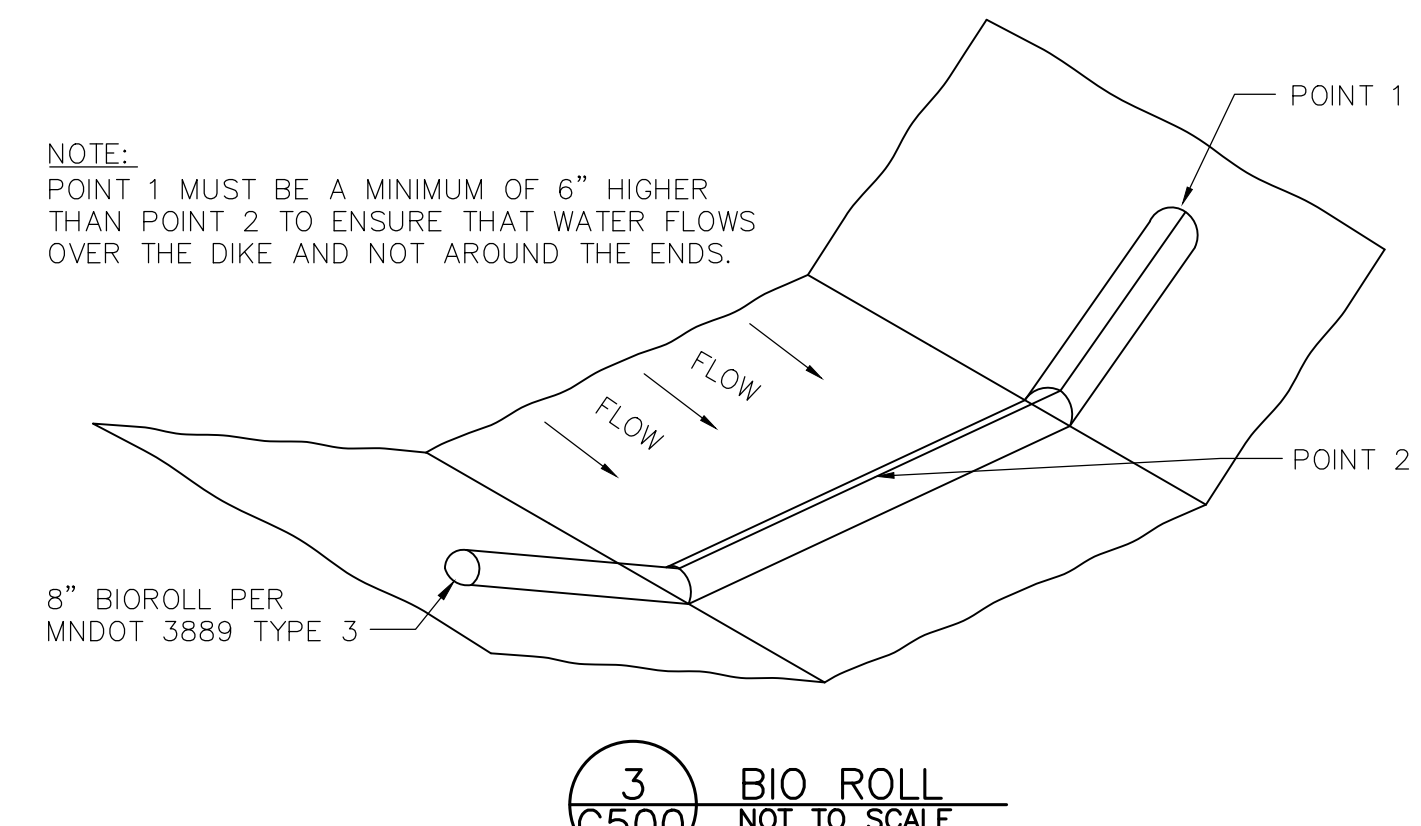
7 B612 CONCRETE CURB AND GUTTER
C500 NOT TO SCALE



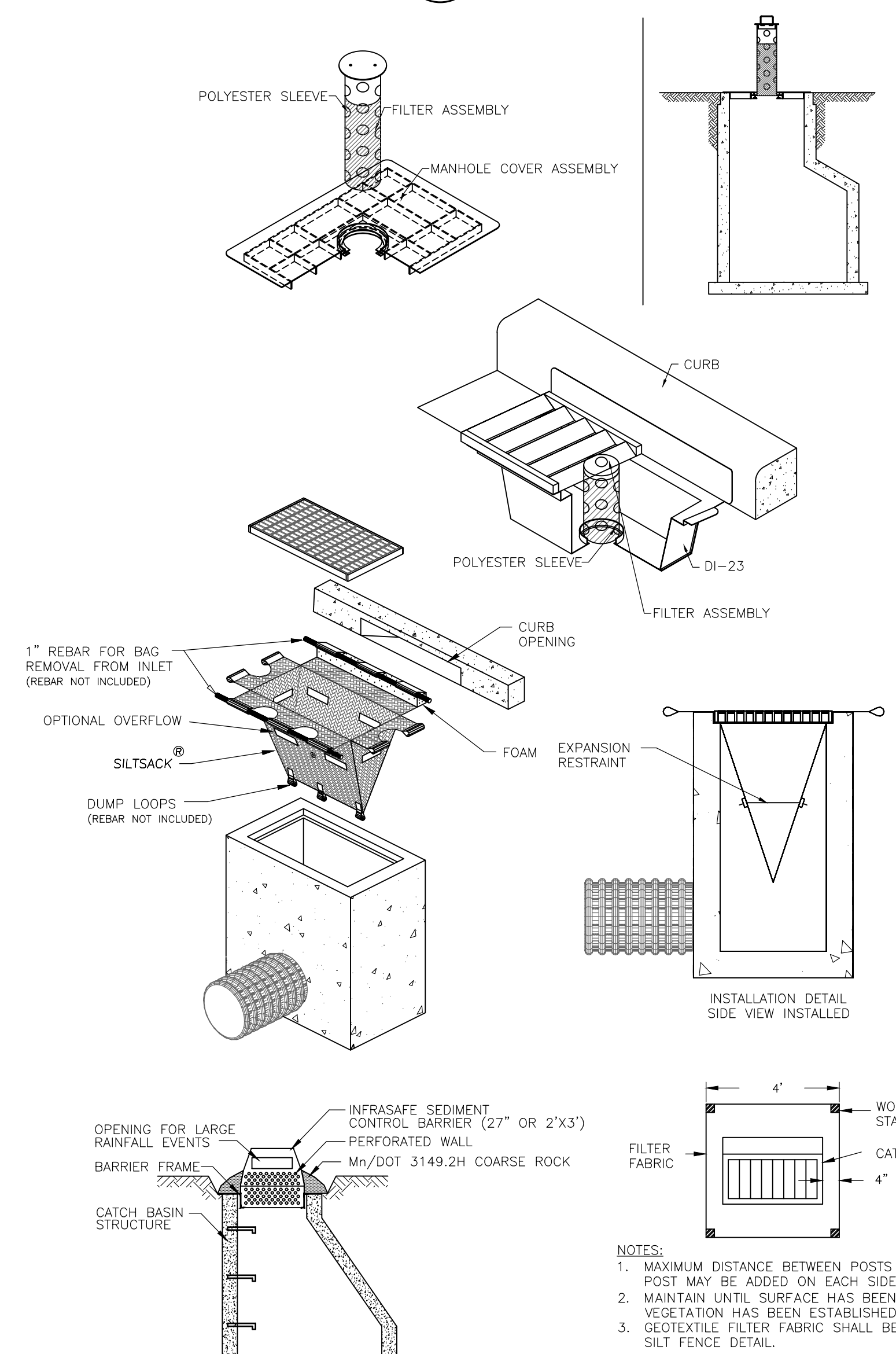
1 CONSTRUCTION ENTRANCES
C500 NOT TO SCALE



2 SILTATION FENCE
C500 NOT TO SCALE



3 BIO ROLL
C500 NOT TO SCALE



4 INLETS SEDIMENTATION PROTECTION OPTIONS
C500 NOT TO SCALE



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CIVIL DETAILS

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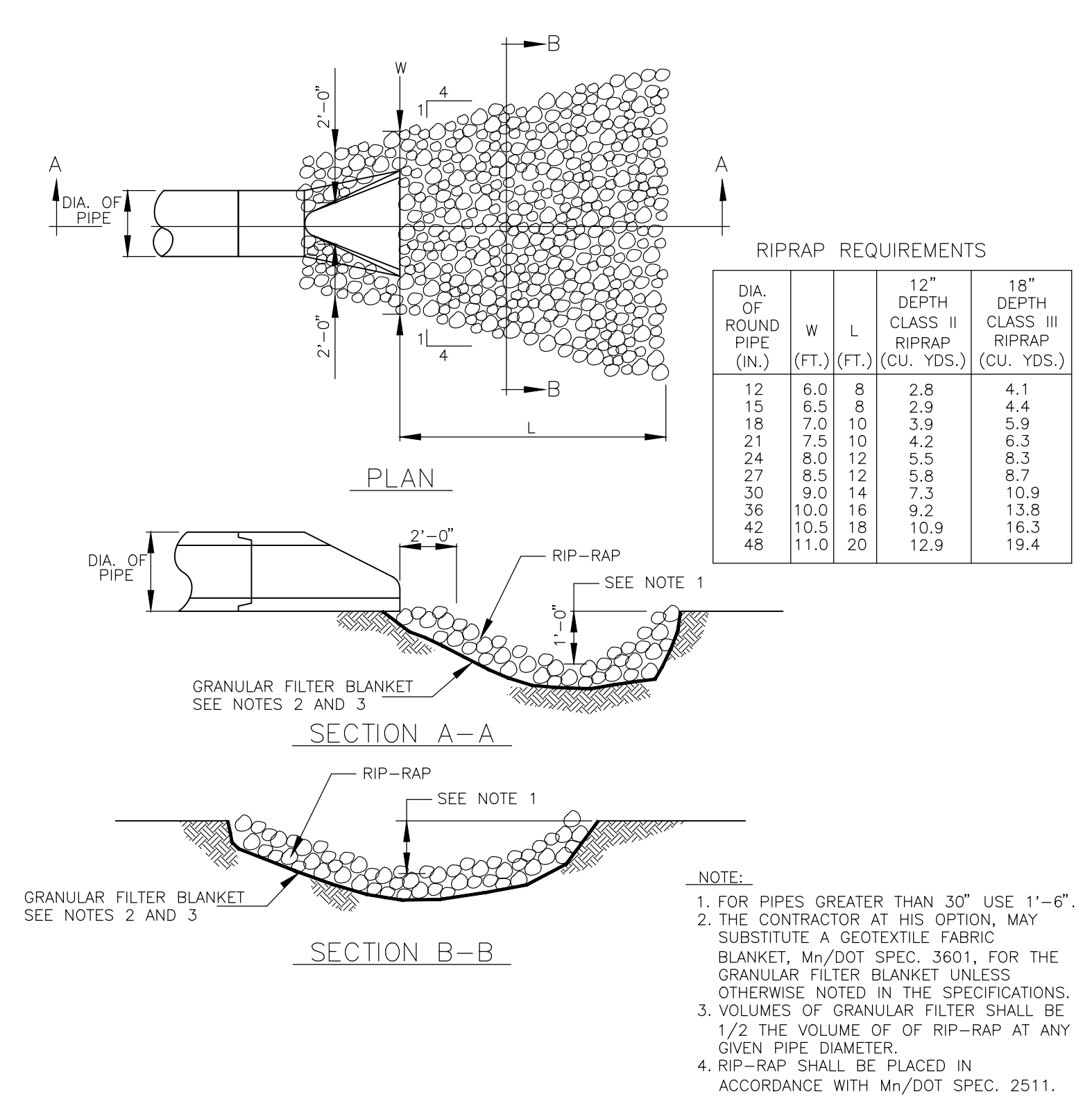
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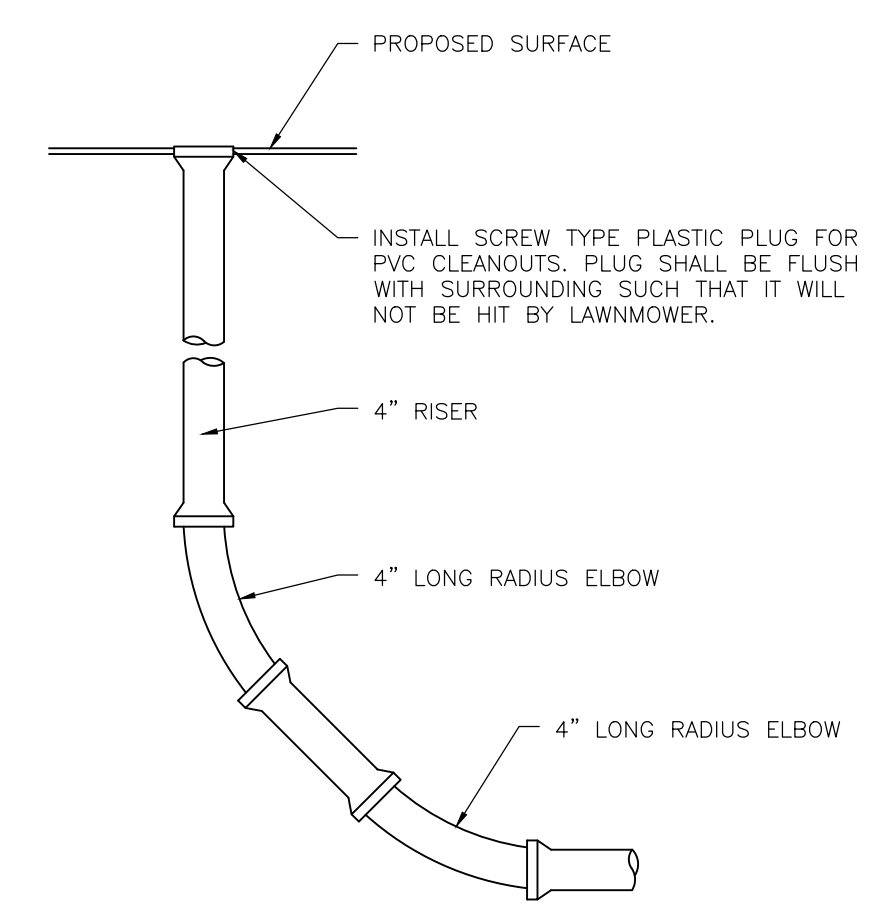
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CIVIL DETAILS

C501

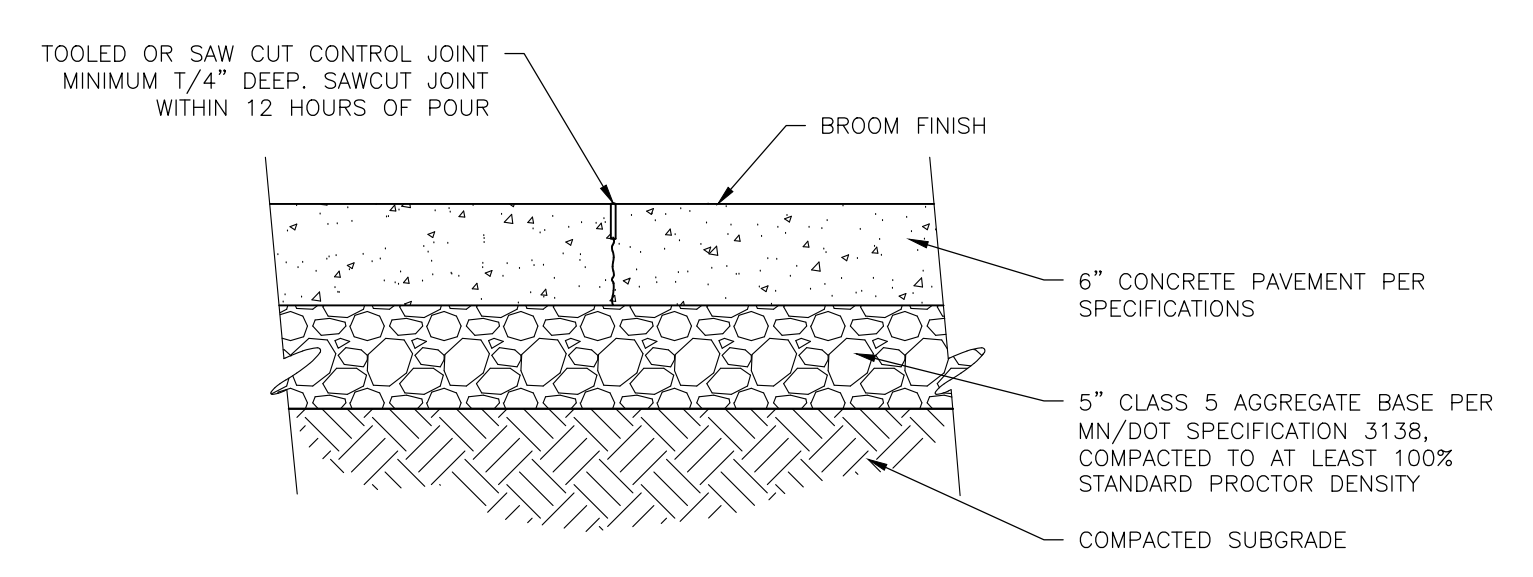
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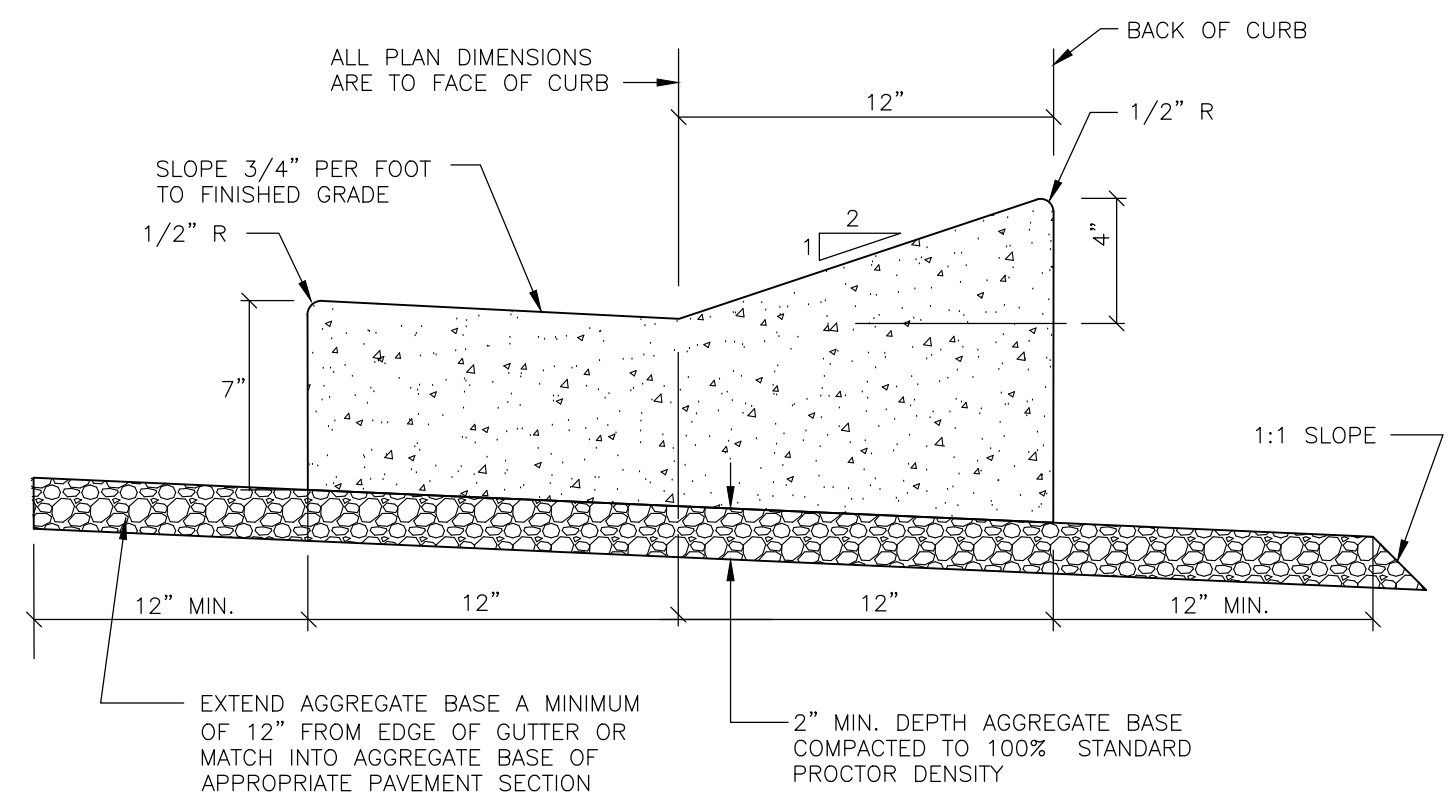
1 RIP-RAP AT FLARED ENDS
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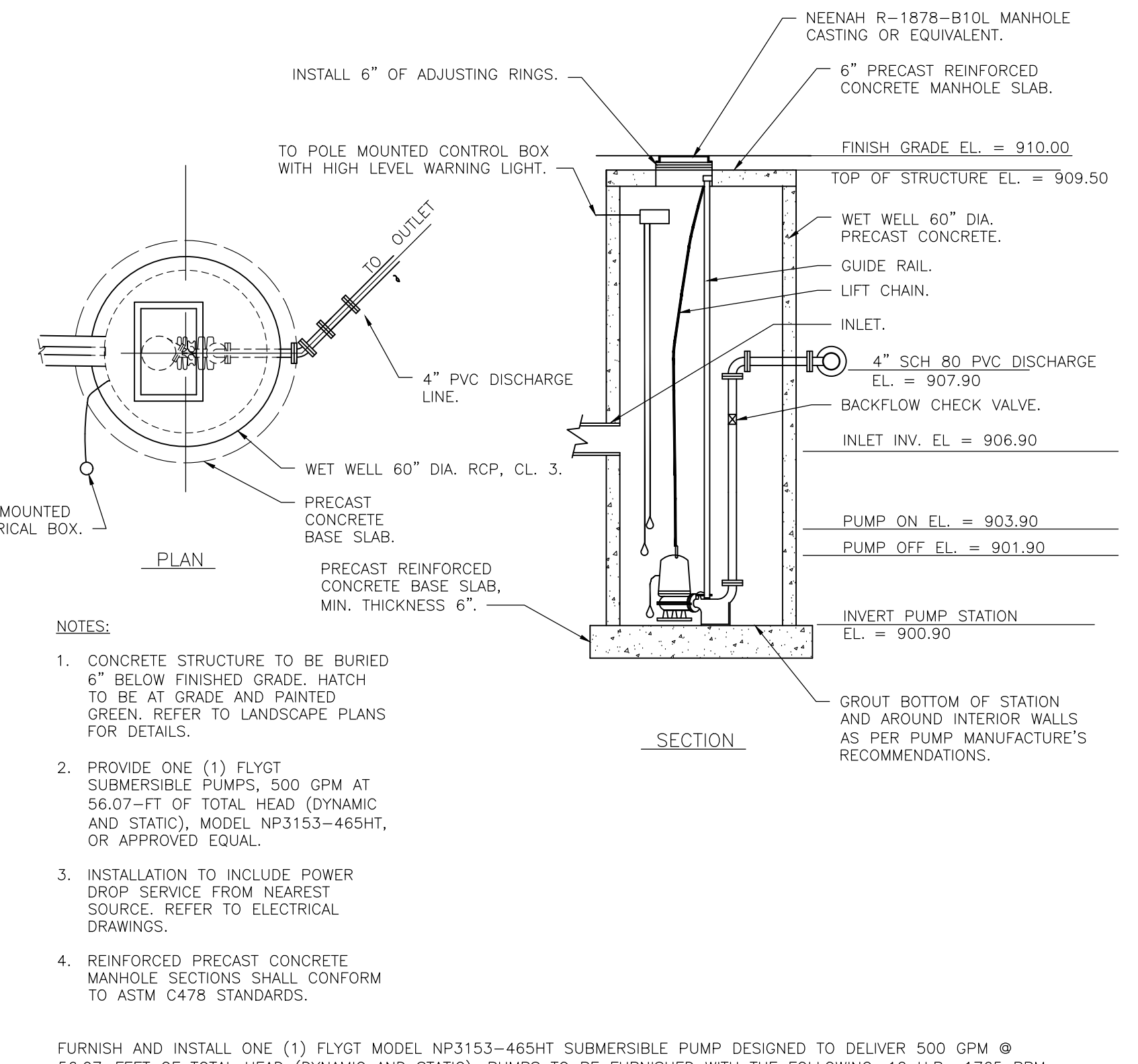
2 SEWER CLEANOUT IN PERVIOUS AREA
NOT TO SCALE



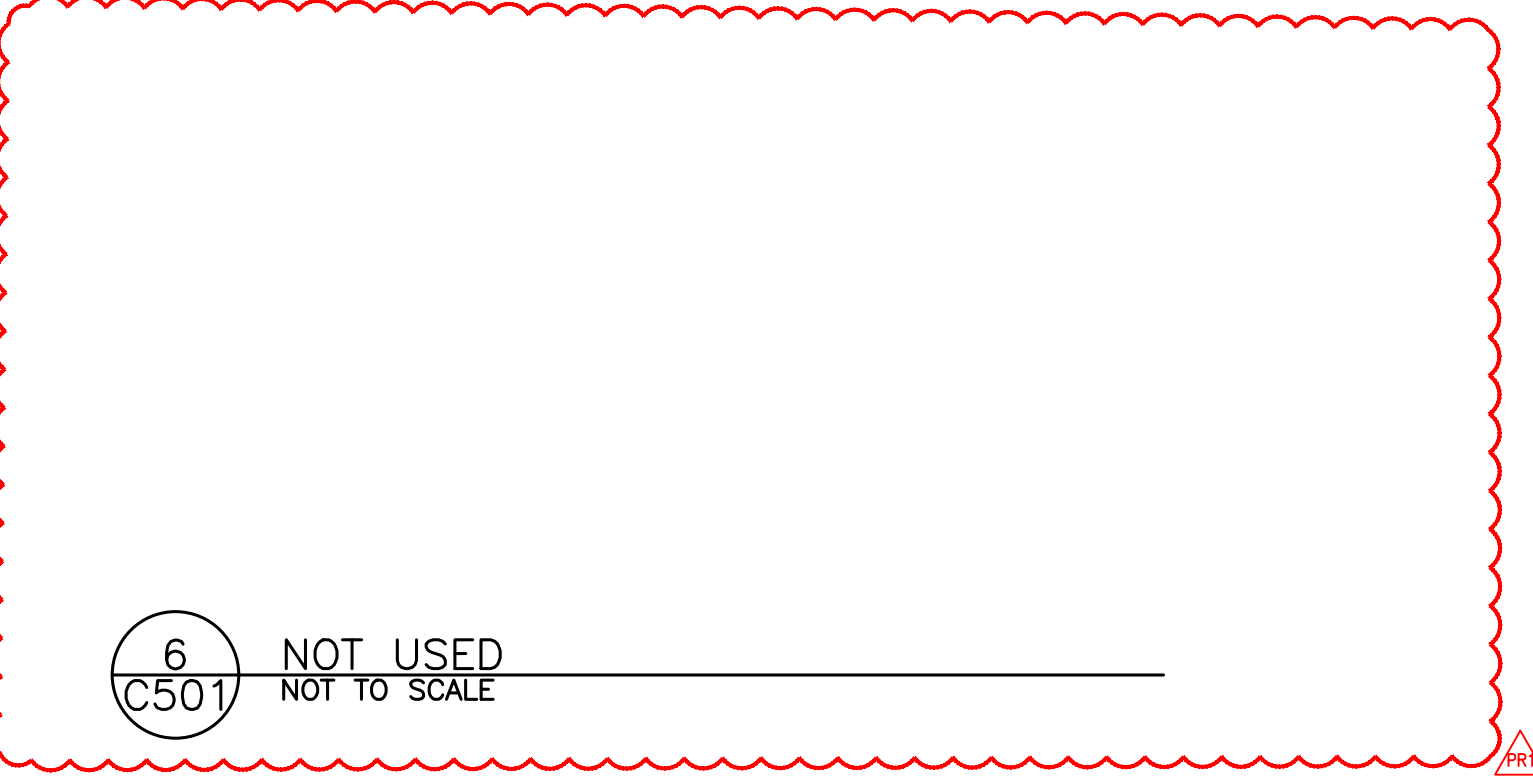
3 CONCRETE PAVEMENT
NOT TO SCALE



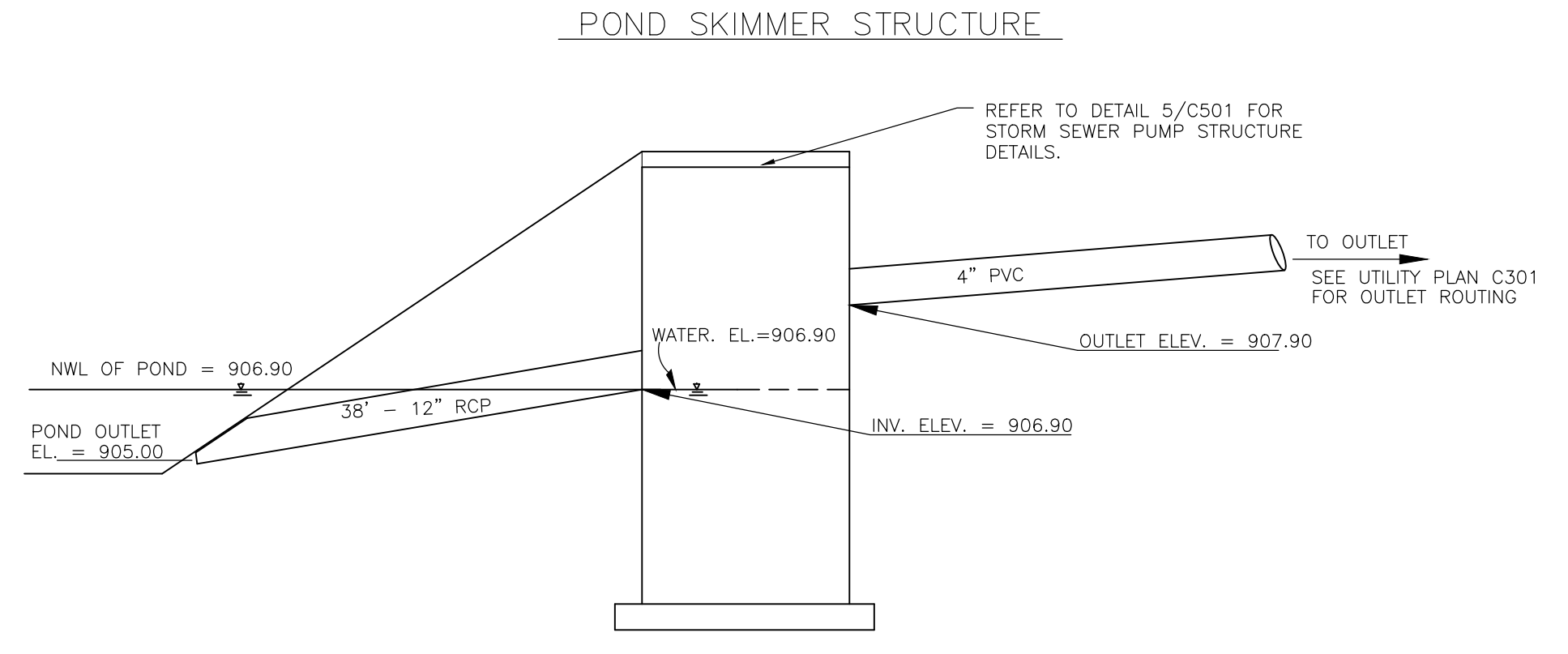
4 D412 CURB AND GUTTER
NOT TO SCALE



5 STORM SEWER LIFT STATION
NOT TO SCALE

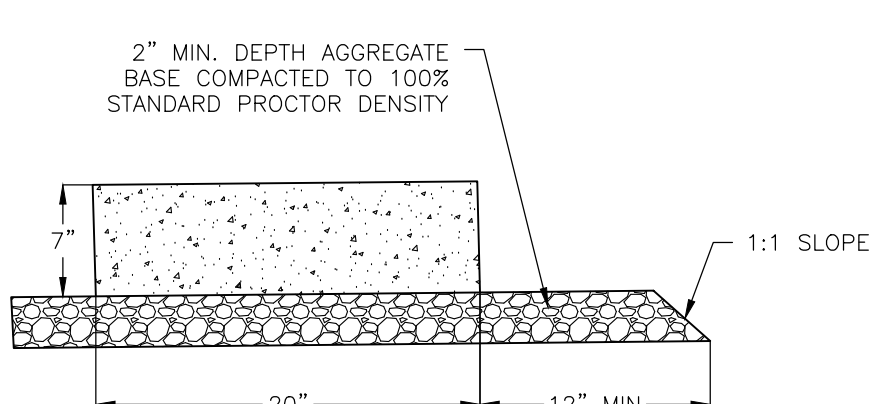


6 NOT USED
NOT TO SCALE

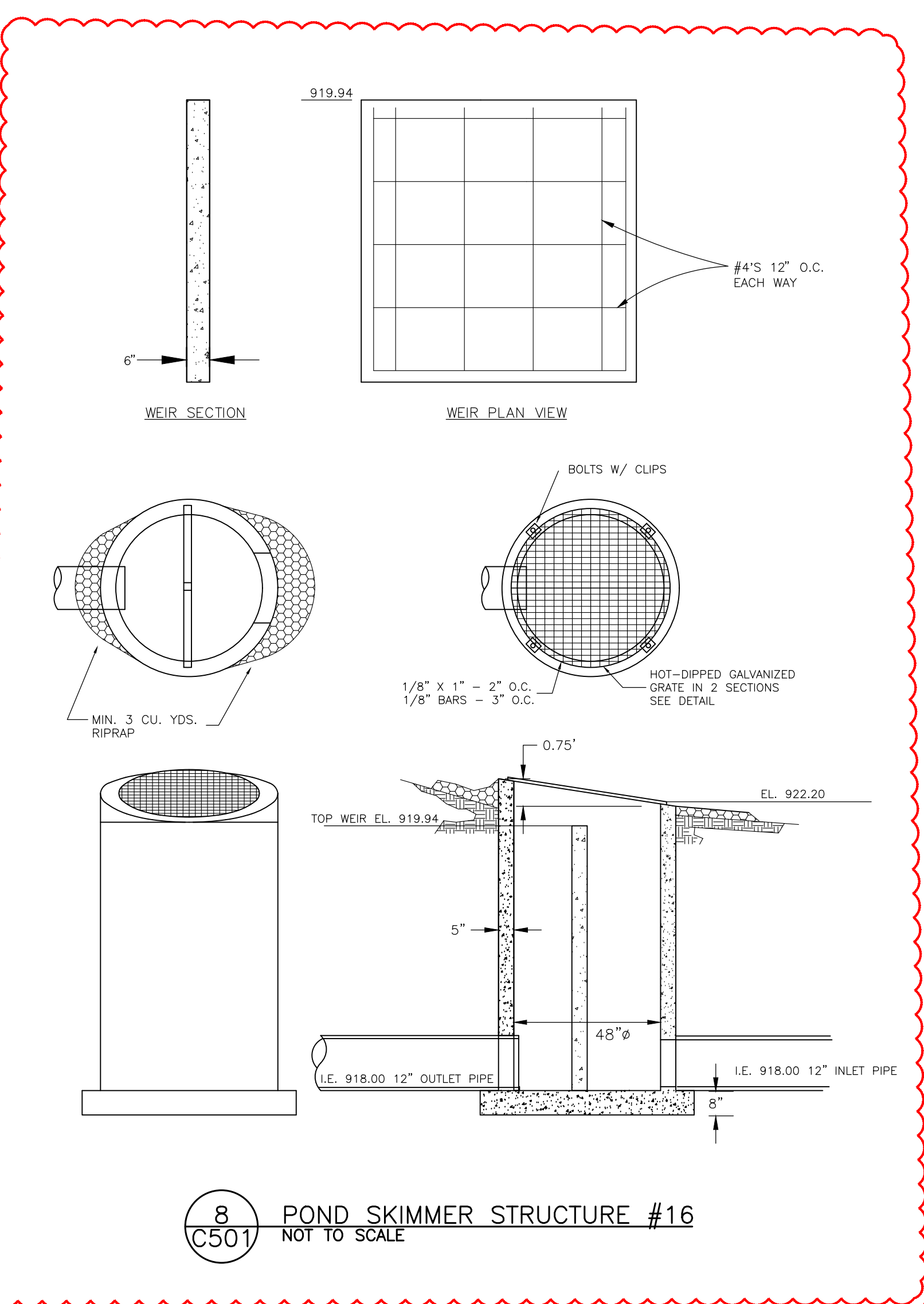


SCHMATIC OF POND OUTLET STRUCTURE STRM #34

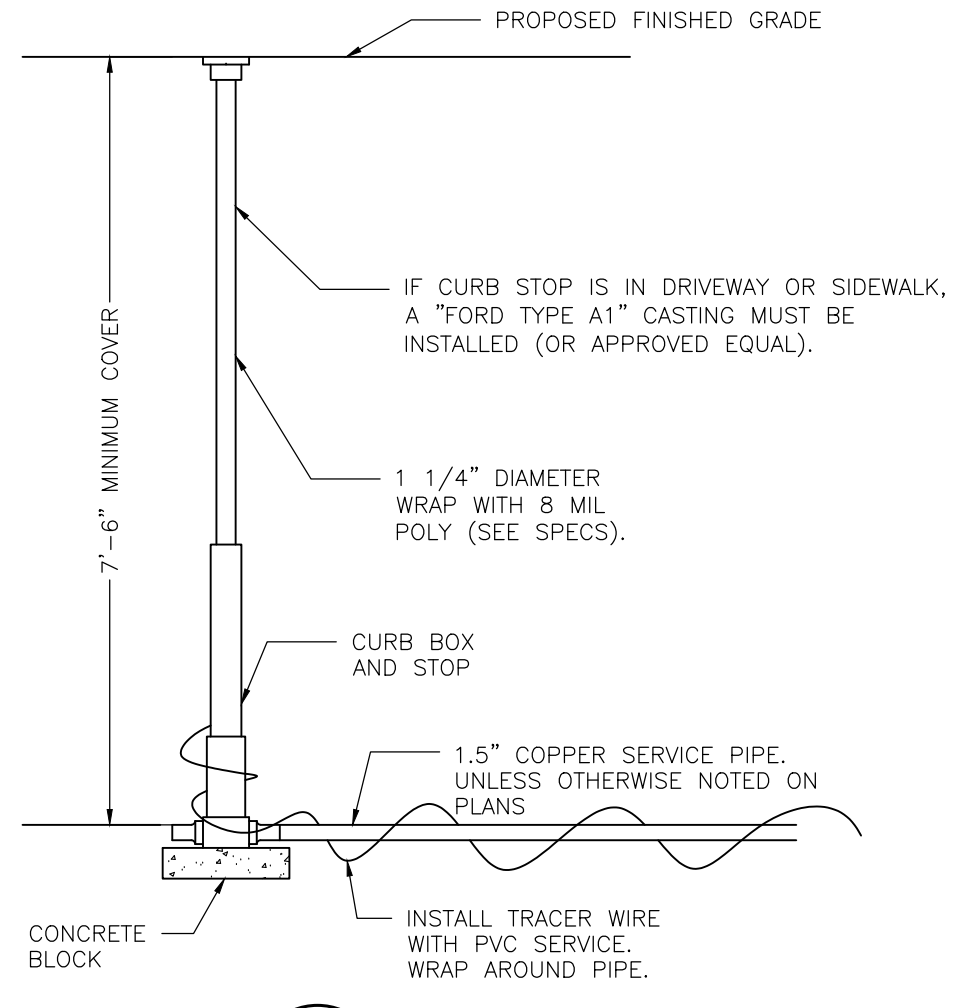
7 POND OUTLET STRUCTURE
NOT TO SCALE



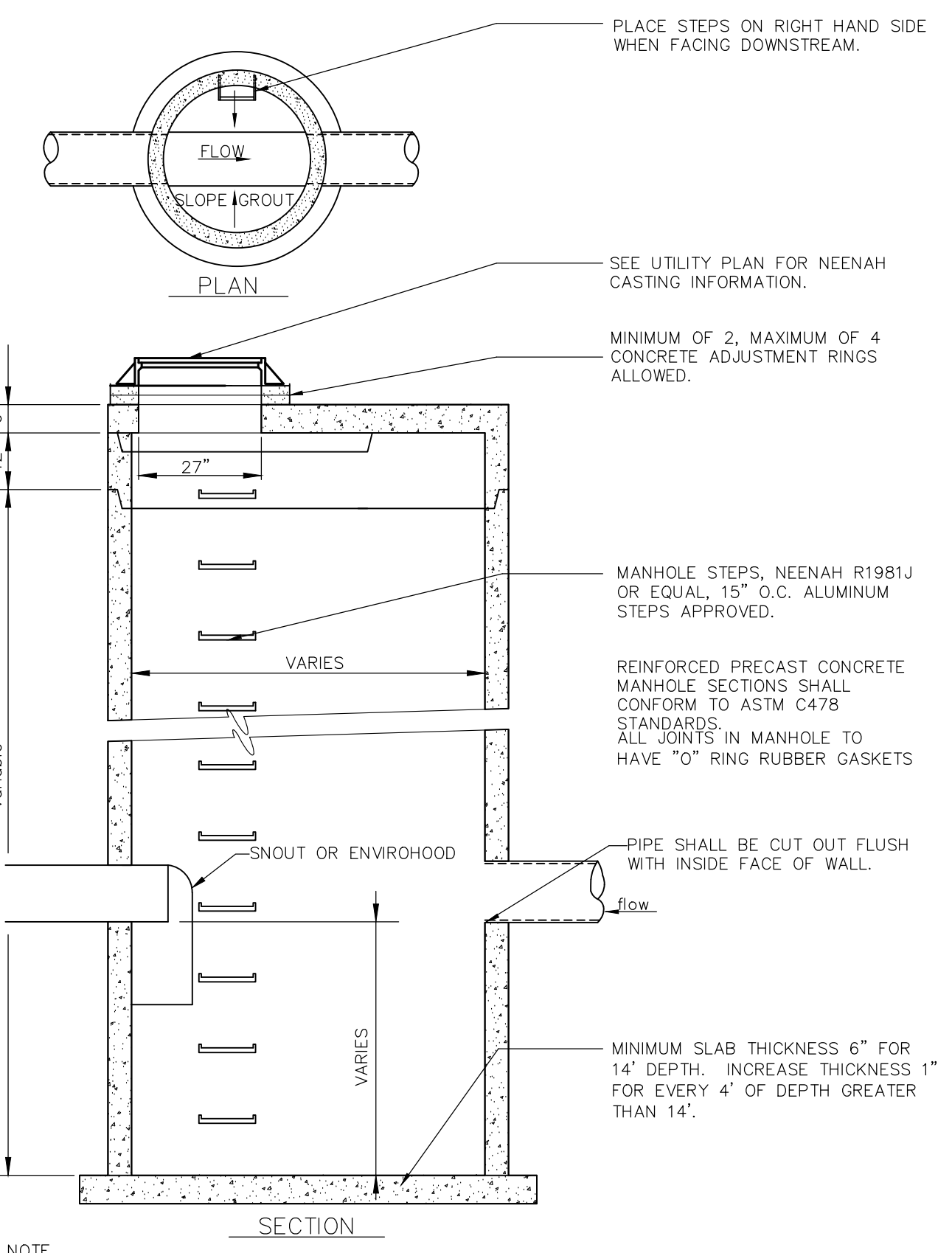
10 FLAT CURB/CONCRETE EDGER
NOT TO SCALE



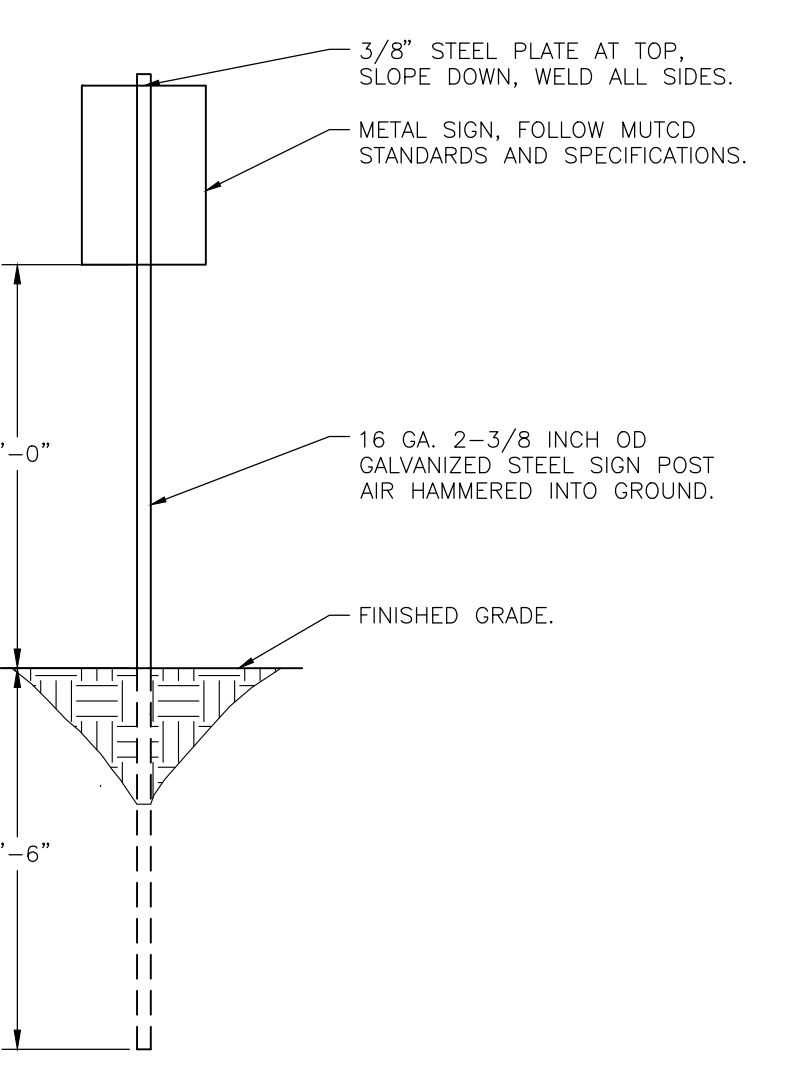
8 POND SKIMMER STRUCTURE #16
NOT TO SCALE



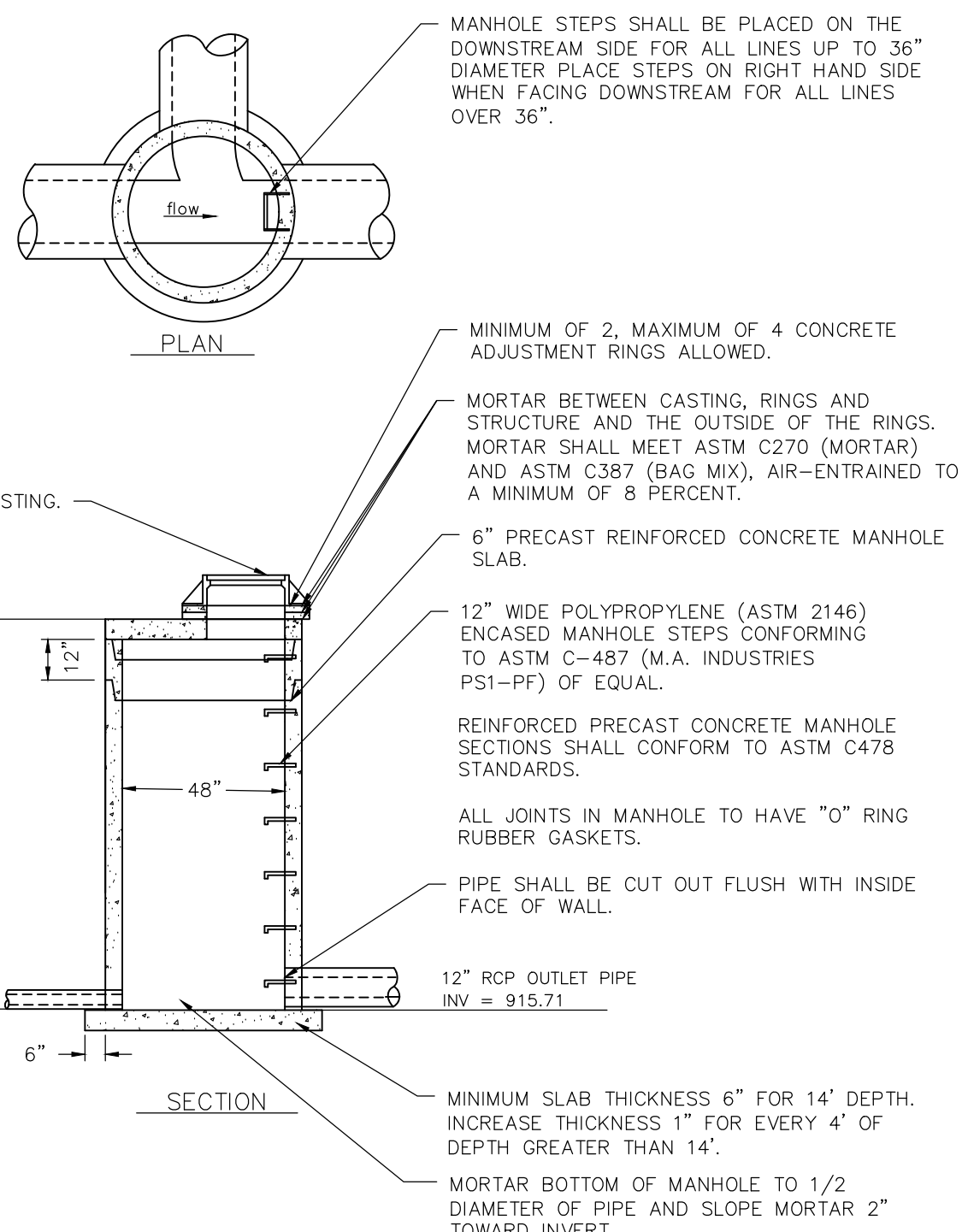
9 CURB STOP
NOT TO SCALE



11 SUMP CATCH BASIN MANHOLE
NOT TO SCALE



12 SIGN AND POST
NOT TO SCALE



13 POND OF STRUCTURE #11
NOT TO SCALE



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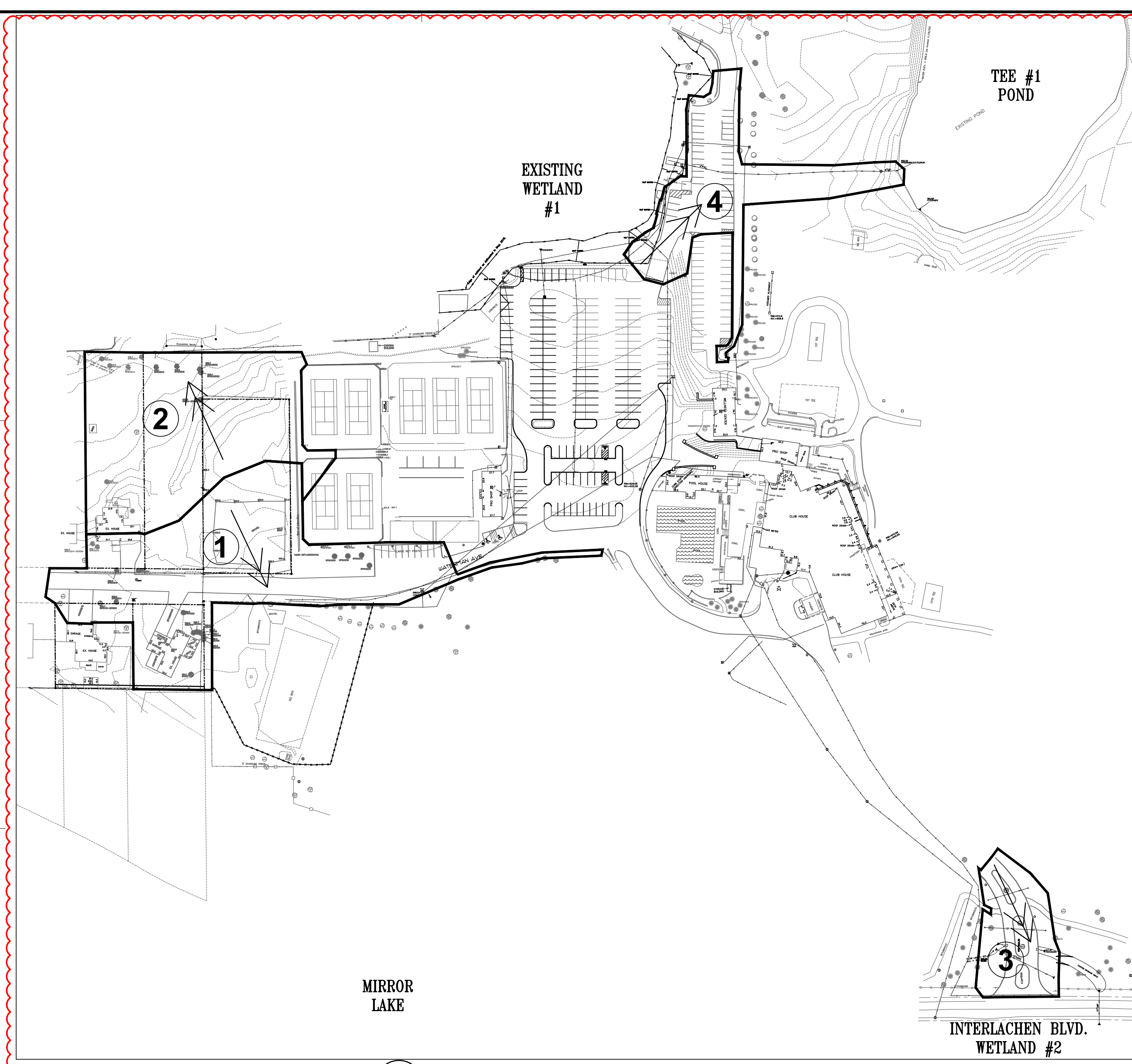
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07/15/2021	07/15/2021	WATERSHED RESUBMITTAL
08/04/2021	08/04/2021	PROPOSAL REQUEST #1

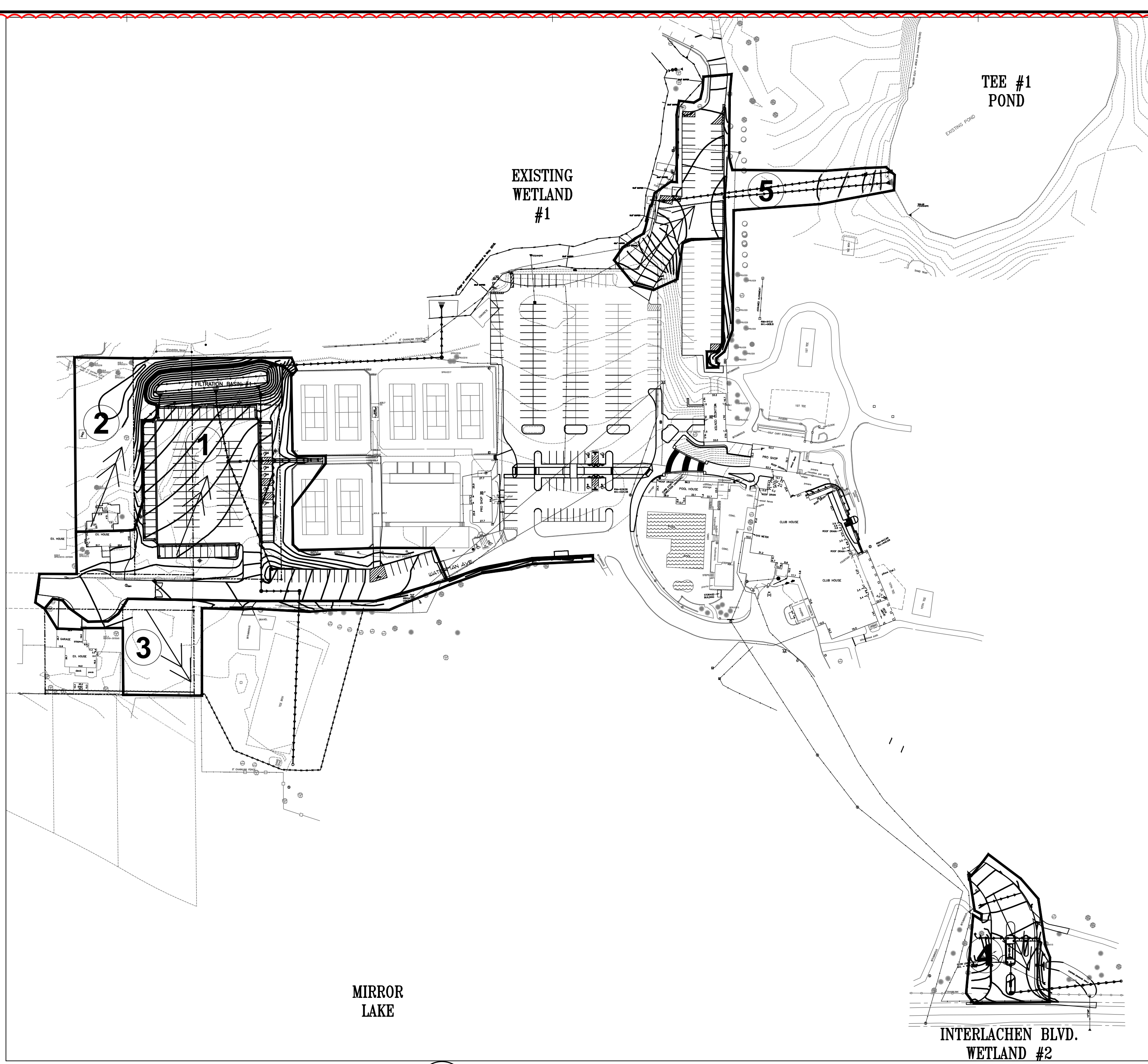
project no.	issue date
20236.50	06/07/2021
Drawn	checked
AJA/SJR	KAB

sheet title
STORMWATER POLLUTION PREVENTION PLAN

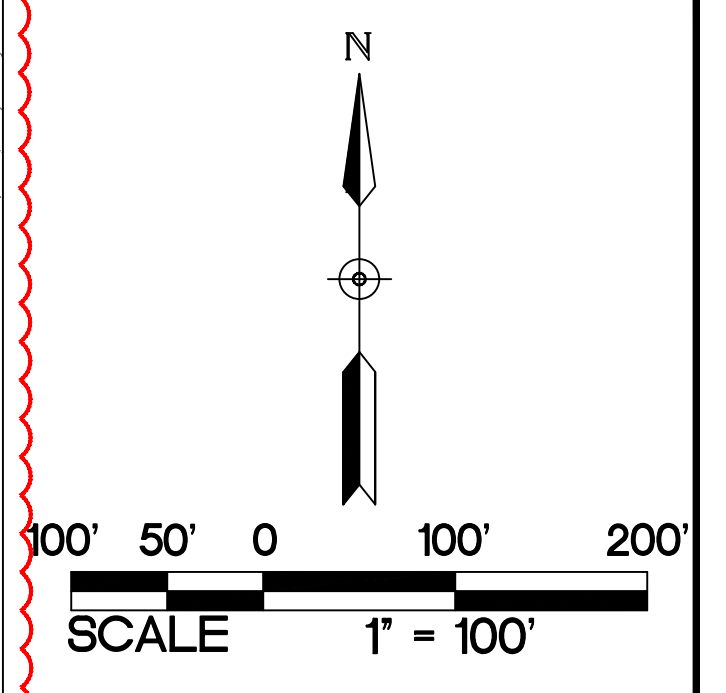
C600



1
C600 EXISTING CONDITIONS
1"=100'



2
C600 PROPOSED CONDITIONS
1"=100'



ABBREVIATIONS

BMP	Best Management Practice
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INVT	Invert
MPCA	Minnesota Pollution Control Agency
NPDES	National Pollutant Discharge Elimination System
CMP	Corrugated Metal Pipe
HDPE	High Density Polyethylene
FES	Flared End Section

EXISTING DRAINAGE AREAS — DISCHARGE TO EXISTING WETLAND #1

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT				ROUTING
				1-YEAR (2.48")	10-YEAR (4.26")	100-YEAR (7.32")	100-YEAR VOLUME (AC-FT)	
2	0.08	1.44	1.52	2.62	6.49	13.65	0.65	EXISTING WETLAND #1
TOTAL	0.08	1.44	1.52	2.62	6.49	13.65	0.65	

EXISTING DRAINAGE AREAS — DISCHARGE TO MIRROR LAKE

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT				ROUTING
				1-YEAR (2.48")	10-YEAR (4.26")	100-YEAR (7.32")	100-YEAR VOLUME (AC-FT)	
1	0.81	1.07	1.88	4.64	9.63	18.45	0.92	MIRROR LAKE
TOTAL	0.81	1.07	1.88	4.64	9.63	18.45	0.92	

EXISTING DRAINAGE AREAS — DISCHARGE TO INTERLACHEN BLVD WETLAND #2

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT				ROUTING
				1-YEAR (2.48")	10-YEAR (4.26")	100-YEAR (7.32")	100-YEAR VOLUME (AC-FT)	
3	0.17	0.27	0.44	1.04	2.17	4.21	0.21	EXISTING WETLAND #2
TOTAL	0.17	0.27	0.44	1.04	2.17	4.21	0.21	

EXISTING DRAINAGE AREAS — DISCHARGE TO TEE #1 POND

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT				ROUTING
				1-YEAR (2.48")	10-YEAR (4.26")	100-YEAR (7.32")	100-YEAR VOLUME (AC-FT)	
4	0.38	0.49	0.87	2.15	4.40	8.42	0.43	EXISTING WET POND
TOTAL	0.38	0.49	0.87	2.15	4.40	8.42	0.43	

PROPOSED DRAINAGE AREAS — DISCHARGE TO EXISTING WETLAND #1

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT				ROUTING
				1-YEAR (2.48")	10-YEAR (4.26")	100-YEAR (7.32")	100-YEAR VOLUME (AC-FT)	
2	0.03	0.58	0.61	1.05	2.60	5.47	0.26	EXISTING WETLAND #1
FILTRATION BASIN #1 (DRAIN TILE & EOP)	-	-	-	0.12	0.14	2.52	0.40	EXISTING WETLAND #1
TOTAL	0.03	0.58	0.61	1.17	2.74	7.99	0.66	

PROPOSED DRAINAGE AREAS — DISCHARGE TO MIRROR LAKE

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT				ROUTING
				1-YEAR (2.48")	10-YEAR (4.26")	100-YEAR (7.32")	100-YEAR VOLUME (AC-FT)	
1	1.50	0.76	2.26	-	-	-	-	FILTRATION BASIN #1
FILTRATION BASIN #1 (OUTLET)	-	-	-	0.27	4.22	4.83	0.80	MIRROR LAKE
3	0.04	0.50	0.54	0.95	2.32	4.84	0.23	MIRROR LAKE
TOTAL	1.54	1.26	2.80	1.22	6.54	9.67	1.03	

PROPOSED DRAINAGE AREAS — DISCHARGE INTERLACHEN BLVD WETLAND #2

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT				ROUTING
				1-YEAR (2.48")	10-YEAR (4.26")	100-YEAR (7.32")	100-YEAR VOLUME (AC-FT)	
4	0.25	0.19	0.44	1.20	2.34	4.36	0.23	EXISTING WETLAND #2
TOTAL	0.25	0.19	0.44	1.20	2.34	4.36	0.23	

PROPOSED DRAINAGE AREAS — DISCHARGE TO TEE #1 POND

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	Q OUT (CFS) STORM EVENT				ROUTING
				1-YEAR (2.48")	10-YEAR (4.26")	100-YEAR (7.32")	100-YEAR VOLUME (AC-FT)	
5	0.38	0.49	0.87	2.15	4.39	8.42	0.43	EXISTING WET POND
TOTAL	0.38	0.49	0.87	2.15	4.39	8.42	0.43	

STORMWATER RUNOFF SUMMARY — DISCHARGE TO EXISTING WETLAND #1

	1-YR STORM (2.48") RUNOFF (CFS)	10-YR STORM (4.26") RUNOFF (CFS)	100-YR STORM (7.32") RUNOFF (CFS)	100-YR VOLUME
EXISTING SITE	2.62	6.49	13.65	0.65
PROPOSED SITE	1.17	2.74	7.99	0.66

STORMWATER RUNOFF SUMMARY — TOTAL DISCHARGE TO MIRROR LAKE

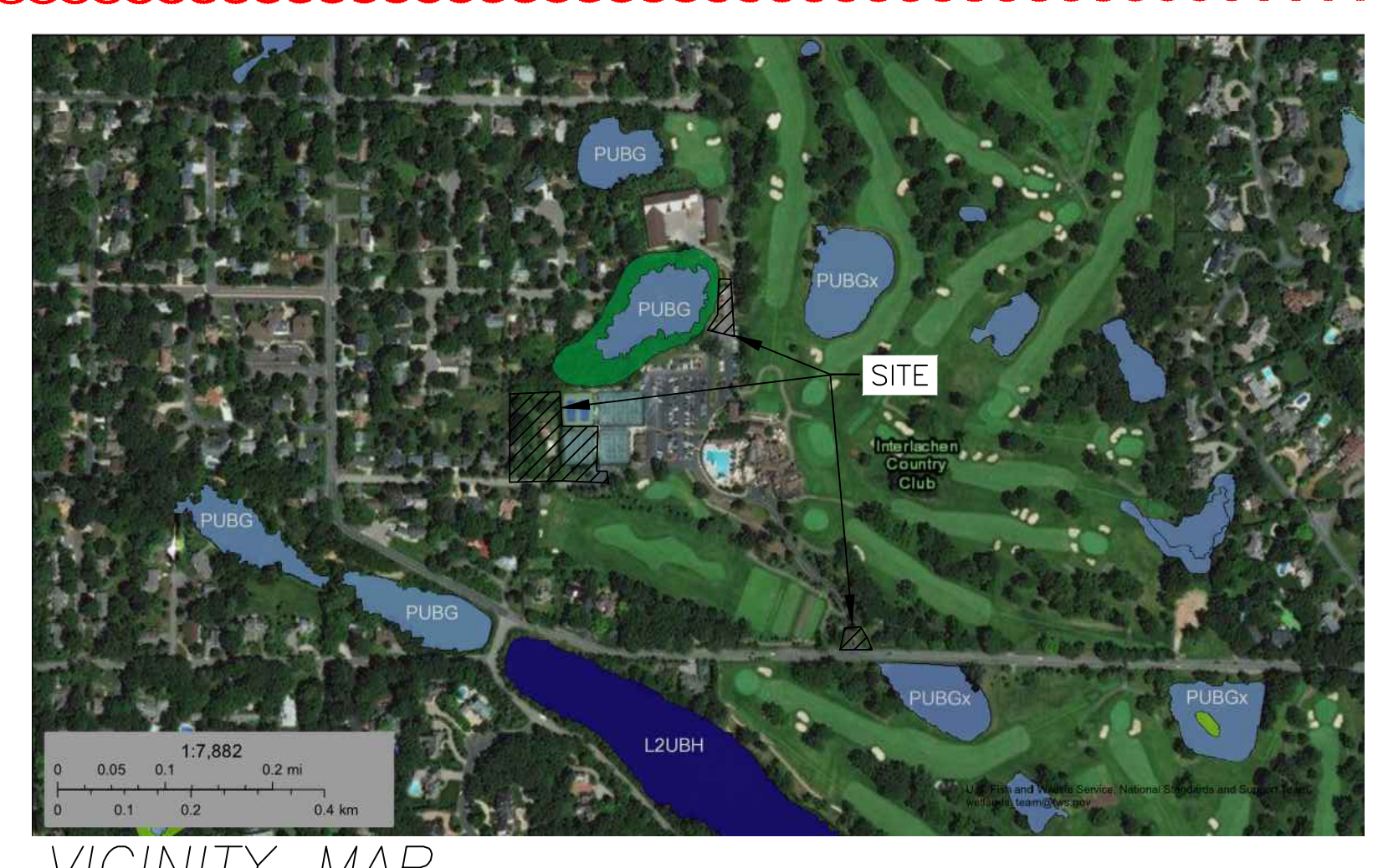
	1-YR STORM (2.48") RUNOFF (CFS)	10-YR STORM (4.26") RUNOFF (CFS)	100-YR STORM (7.32") RUNOFF (CFS)	100-YR VOLUME
EXISTING SITE	4.64	9.63	18.45	0.92
PROPOSED SITE	1.22	6.54	9.67	1.03

STORMWATER RUNOFF SUMMARY — DISCHARGE TO INTERLACHEN BLVD WETLAND #2

	1-YR STORM (2.48") RUNOFF (CFS)	10-YR STORM (4.26") RUNOFF (CFS)	100-YR STORM (7.32") RUNOFF (CFS)	100-YR VOLUME
EXISTING SITE	1.04	2.17	4.21	0.21
PROPOSED SITE	1.20	2.34	4.36	0.23

STORMWATER RUNOFF SUMMARY — DISCHARGE TO TEE #1 POND

	1-YR STORM (2.48") RUNOFF (CFS)	10-YR STORM (4.26") RUNOFF (CFS)	100-YR STORM (7.32") RUNOFF (CFS)	100-YR VOLUME
EXISTING SITE	2.15	4.40	8.42	0.43
PROPOSED SITE	2.15	4.39	8.42	0.43



SPECIAL AND IMPAIRED WATERS

THESE SPECIAL AND IMPAIRED WATERS ARE LOCATED WITHIN ONE MILE (RADIAL RADIUS) OF THE PROJECT LIMITS AND RECEIVE RUNOFF FROM THE PROJECT SITE. DUE TO THE PROXIMITY OF THESE SPECIAL AND IMPAIRED WATERS, THE BMPs DESCRIBED IN APPENDIX A OF THE NPDES PERMIT WILL APPLY TO ALL AREAS OF THE SITE.

WATERBODY	IMPAIRMENT(S)
MINNEHAHA CREEK	CHLORIDE, FECAL COLIFORM, FISHES BIOASSESSMENTS, DISSOLVED OXYGEN

DATE PLOTTED: 07/15/2021 10:00:00 AM



10 South Eighth Street
Minneapolis, MN 55402

1612_339-2257
1612_349-2930
sheadesign.com

consultant



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BKBM NUMBER: 2020161

project title

INTERLACHEN COUNTRY CLUB
6200 INTERLACHEN BLVD.
EDINA, MN 55436



1909

client

INTERLACHEN COUNTRY CLUB
6200 INTERLACHEN BLVD.
EDINA, MN 55436

soil

I hereby certify that this plan,
specification or report was prepared by
me or under my direct supervision and
that I am a duly Licensed Professional
Engineer under the laws of the state of
Minnesota

Kevin A. Bohl
Kevin A. Bohl
Date: 06/07/2021 Lic. No. 52209

BID SET

no.	date	issued for
03/25/2021	03/25/2021	WATERSHED SUBMITTAL
06/07/2021	06/07/2021	BID SET
07/15/2021	07/15/2021	WATERSHED RESUBMITTAL
08/04/2021	08/04/2021	PROPOSAL REQUEST #1

project no.	issue date
20236.50	06/07/2021
drawn	checked
AJA/SJR	KAB

sheet title
STORMWATER POLLUTION
PREVENTION PLAN NOTES



PROJECT NARRATIVE

EXISTING SITE DESCRIPTION --- THE PROPOSED PARKING LOT SITE IS APPROXIMATELY 3.40 ACRES, OF WHICH 0.89 ACRES ARE IMPERVIOUS. THE SITE CONSISTS OF A BITUMINOUS ROAD, TWO RESIDENTIAL LOTS, A GRAVEL PARKING LOT, AND GREEN SPACE. THE GUARD SHACK SITE IS APPROXIMATELY 0.44 ACRES, OF WHICH 0.17 ACRES ARE IMPERVIOUS. THE SITE CONSISTS OF A BITUMINOUS ROAD, CONCRETE CURB AND GUTTER, AND GREEN SPACE. THE PARKING LOT REHABILITATION SITE IS APPROXIMATELY 0.87 ACRES, OF WHICH 0.38 ACRES ARE IMPERVIOUS. THE SITE CONSISTS OF A BITUMINOUS PARKING LOT AND GREEN SPACE.

PROPOSED SITE DESCRIPTION --- THE PROPOSED PARKING LOT SITE WILL CREATE AN ADDITIONAL 0.68 ACRES OF IMPERVIOUS. WATER FROM THE PARKING LOT WILL BE COLLECTED AND CONVEYED TO A FILTRATION BASIN NORTH OF THE SITE WHERE THE PRIMARY OUTLET DISCHARGES SOUTH TO MIRROR LAKE AND THE DRAINAGE AND EMERGENCY OVERFLOW DISCHARGE NORTH TO WETLAND #1. THE SOUTH HALF OF THE SITE WILL SHEET FLOW OFFSITE TO GREEN SPACE AND EVENTUALLY MIRROR LAKE. THE GUARD SHACK SITE WILL CREATE AN ADDITIONAL 0.08 ACRES OF IMPERVIOUS. WATER FROM THIS SITE WILL FLOW SOUTH TO STORM SEWER WHERE IT FLOWS TO WETLAND #2 AND EVENTUALLY MIRROR LAKE. THE PARKING LOT REHABILITATION SITE WILL CREATE NO ADDITIONAL ADDED IMPERVIOUS. WATER FROM THE SITE WILL CONTINUE TO DISCHARGE EAST TO THE EXISTING WET POND.

MINIMUM ESTIMATED QUANTITIES FOR EROSION CONTROL	
ITEM DESCRIPTION	ESTIMATED QUANTITY
DRAINAGE STRUCT. INLET FILTER	8 EACH
ROCK CONSTRUCTION ENTRANCE	2 EACH
CONCRETE WASHOUT	2 EACH
SILT FENCE	4,909 LF
BIO-ROLL	310 LF
EROSION CONTROL BLANKET	1,520 SY

NOTE: QUANTITIES SHOWN ARE THE MINIMUM REQUIRED. ADDITIONAL QUANTITIES MAY BE NEEDED IF REQUIRED BY THE MPCA WATERSHED DISTRICT, OR CITY. CONTRACTOR IS RESPONSIBLE FOR FINAL DETERMINATION OF QUANTITIES PRIOR TO CONSTRUCTION.

PORTABLE TOILET NOTES:

- PORTABLE TOILETS POSE AN ENVIRONMENTAL HAZARD WHEN PLACED IN THE VICINITY OF STORM DRAINS OR BODIES OF WATER. PORTABLE TOILET CLEANING ACTIVITIES CAN ALSO GENERATE POLLUTANTS THAT CAN DEGRADE WATER QUALITY.
- PORTABLE TOILET PLACEMENT:
 - PLACE PORTABLE TOILETS ON FLAT STABLE GROUND WITH CLEAR ACCESS TO THE UNITS.
 - LOCATE TOILETS A MINIMUM OF 20 FEET FROM ANY WATER BODY AND 10 FEET FROM ANY CURB AND GUTTER. IF UNFEASIBLE, AN EARTHEN BERM OR SAND BAG BERM SHALL BE PLACED AROUND THE UNIT FOR SPILL AND LEAK CONTAINMENT.
 - AVOID PLACING TOILETS ON IMPERVIOUS SURFACES THAT WILL QUICKLY DRAIN TO STORM SEWERS.
 - LOCATE TOILETS SO THAT EXPOSURE TO TRAFFIC AND MOVING EQUIPMENT IS MINIMIZED.
 - SECURE TOILETS TO THE GROUND WITH STAKES OR CABLES.
 - RINSE WATER FROM CLEANING ACTIVITIES SHALL NOT BE DISPOSED ON SITE.
- REGULARLY CHECK TOILETS FOR DAMAGE, LEAKS AND SPILLS AS PART OF THE WEEKLY STORMWATER SITE INSPECTION.
- OWNER IDENTIFICATION AND CONTACT INFORMATION SHALL BE DISPLAYED IN A PROMINENT LOCATION ON EACH UNIT.

HANDLING AND STORAGE OF HAZARDOUS MATERIALS:

IF THE CONTRACTOR INTENDS TO USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS ON THE PROJECT SITE, THE CONTRACTOR MUST COMPLY WITH THE FOLLOWING MINIMUM REQUIREMENTS:

- THE CONTRACTOR MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL APPLICATION TO ENSURE EFFECTIVE TREATMENT. CHEMICALS MAY ONLY BE APPLIED WHERE TREATED STORMWATER IS DIRECTED TO A SEDIMENT CONTROL SYSTEM WHICH ALLOWS FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.
- CHEMICALS MUST BE SELECTED THAT ARE APPROPRIATELY SUITED TO THE TYPES OF SOILS LIKELY TO BE EXPOSED DURING CONSTRUCTION, AND TO THE EXPECTED TURBIDITY, PH AND FLOW RATE OF STORMWATER FLOWING INTO THE CHEMICAL TREATMENT SYSTEM OR AREA.
- CHEMICALS MUST BE USED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, AND WITH DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR PROVIDER/SUPPLIER OF THE APPLICABLE CHEMICALS.

ON-SITE FUEL TANKS REQUIRE SECONDARY CONTAINMENT AS REQUIRED BY THE PERMIT. PORTABLE FUEL TRUCKS SHALL HAVE THEIR SPILL KITS AVAILABLE DURING FUELING. SPILLS GREATER THAN 5 GALLONS MUST BE REPORTED TO THE PROPER AUTHORITIES.

AGENCY CONTACTS

CITY OF EDINA
ENGINEERING DEPARTMENT
PHONE: (952) 826-0371

MINNESOTA POLLUTION CONTROL AGENCY
PHONE: (651) 296-6300

MINNEHAHA CREEK WATERSHED DISTRICT
6200 INTERLACHEN BLVD.
EDINA, MN 55436
PHONE: (651) 964-8081

TEMPORARY SEDIMENT BASINS:

TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED PER APPENDIX A, SECTION C.1.B OF THE MPCA GENERAL STORMWATER PERMIT.

ENGINEER ANTICIPATES THAT, PRIOR TO INSTALLATION OF FILTRATION MEDIA AND DRAIN TILE, CONTRACTOR WILL USE TEMPORARY FILTRATION BASINS AS TEMPORARY SEDIMENT BASINS. CONTRACTOR SHALL EXCAVATE TEMPORARY BASINS AND CLAY LINE PRIOR TO USE. SURFACE WATER SHALL BE REMOVED BY SKIMMER DEVICE SUCH AS FAIRCLOTH SKIMMER OR THIRSTY DUCK, OR USING A PUMP WITH A FILTER. ALTERNATIVE TEMPORARY SEDIMENT BASINS SHALL BE APPROVED BY ENGINEER PRIOR TO USE.

NOTE:

THE CONTRACTOR MUST COMPLETE, SIGN, OBTAIN OWNER'S SIGNATURE, PAY FEE, AND SEND IN THE NPDES PERMIT APPLICATION. CONTRACTOR SHALL PROVIDE A CERTIFIED EROSION CONTROL SUPERVISOR. SWPPP DOCUMENTATION, INCLUDING INSPECTION REPORTS SHALL BE RETAINED FOR A PERIOD OF THREE (3) YEARS. DESIGN CALCULATIONS ARE ON FILE AT BKBM.

THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP AND INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs, BEFORE, DURING, AND AFTER CONSTRUCTION UNTIL THE NOTICE OF TERMINATION HAS BEEN FILED.

STOCKPILES:

ON-SITE STOCKPILES OF SOIL SHALL HAVE PERIMETER SEDIMENT CONTROL. STOCKPILES SHALL BE STABILIZED WITH BLANKETS, TARP, OR HYDRO MULCH IF LEFT ON-SITE FOR MORE THAN 7 DAYS.

MECHANICAL AND NON STORMWATER DISCHARGES, EXISTING AND PROPOSED

- LANDSCAPE IRRIGATION

OTHER NOTES:

- LONG TERM MAINTENANCE OF THE SITE WILL BE PERFORMED BY THE OWNER, INTERLACHEN COUNTRY CLUB. INCLUDED MAINTENANCE FOR STORMWATER DEVICES SHALL BE:
 - INSPECT SUMP CATCH BASINS ON A BIENNIAL BASIS, ONCE IN THE SPRING AND ONCE IN THE FALL.
 - CLEAN SUMP CATCH BASINS OF SEDIMENT AND DEBRIS ANNUALLY OR WHEN SEDIMENTS FILL 1/3 OF THE STORAGE VOLUME.
 - KEEP FILTRATION BASINS CLEAR OF TRASH AND DEBRIS.
 - REMOVE SEDIMENT FROM FILTRATION BASIN IF STANDING WATER DOES NOT DISSIPATE.
- THIS SWPPP WAS PREPARED BY PERSONNEL THAT ARE CERTIFIED IN THE DESIGN OF CONSTRUCTION SWPPPS. COPIES OF THE CERTIFICATIONS ARE ON FILE WITH BKBM AND ARE AVAILABLE UPON REQUEST.
- THIS SWPPP DOCUMENT MUST BE AMENDED AS NECESSARY DURING CONSTRUCTION IN ORDER TO KEEP IT CURRENT WITH THE POLLUTANT CONTROL MEASURES UTILIZED AS THE SITE. THE SITE MAP SHOWING LOCATIONS OF ALL STORM WATER CONTROLS MUST BE POSTED ON THE SITE AND UPDATED TO REFLECT THE PROGRESS OF CONSTRUCTION.

SEDIMENT AND EROSION CONTROL MAINTENANCE

PERIMETER SEDIMENT CONTROL PRACTICES: WHEN SEDIMENT REACHES 1/2 THE HEIGHT OF THE BMP, THE SEDIMENT MUST BE REMOVED WITHIN 24 HOURS. IF PERIMETER SEDIMENT CONTROL HAS BEEN DAMAGED OR IS NOT FUNCTIONING PROPERLY, IT MUST BE REPAIRED AND/OR REPLACED WITHIN 24 HOURS. PERIMETER BMP MEASURES MAY INCLUDE SILT FENCING. CONSTRUCTION SITE VEHICLE EXIT LOCATIONS: ALL TRACKED SEDIMENT ONTO PAVED SURFACES MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR MORE FREQUENTLY IF REQUIRED BY CITY OR WATERSHED.

CONSTRUCTION SITE DEWATERING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS, DISCHARGE FROM ALL DEWATERING OPERATIONS SHALL BE DIRECTED TO ON-SITE DEPRESSIONS. NO DISCHARGE FROM DEWATERING OPERATIONS SHALL BE DIRECTED OFF-SITE TOWARDS A WATER OF THE STATE.

CONSTRUCTION ACTIVITY EROSION PREVENTION PRACTICES

CONTRACTOR SHALL STABILIZE ALL EXPOSED SOIL AREAS (INCLUDING STOCKPILES). STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHENEVER ANY CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 7 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 7 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

FOR PUBLIC WATER THAT THE DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPawning TIME FRAMES, ALL EXPOSED SOIL AREAS THAT ARE WITHIN 200 FEET OF THE WATER'S EDGE, AND DRAIN TO THESE WATERS MUST COMPLETE THE STABILIZATION ACTIVITIES WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.

PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24-HOURS AFTER CONNECTION TO A SURFACE WATER.

SEDIMENT CONTROL MEASURES MUST BE INSTALLED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADE LAND DISTURBING ACTIVITIES BEGIN.

GRADING & SOILS

BASED ON SOIL BORING(S) PROVIDED BY NORTHERN TECHNOLOGIES, LLC, SOILS TYPICALLY FOUND ON THIS PROJECT ARE: SC

REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

SWPPP IMPLEMENTATION, INSTALLATION, INSPECTION, AND BMP MAINTENANCE SHALL BE PERFORMED BY THE CONTRACTOR.

NAME: _____

CERTIFICATION #: _____

DATE: _____

NOTE:

AN AS-BUILT SURVEY OF ALL STORMWATER BMPs (FILTRATION BASIN, OUTLET STRUCTURES, DRAINAGE, CLEAN OUTS, SUMP CATCH BASINS, ETC.), SHALL BE SUBMITTED TO MINNEHAHA CREEK WATERSHED DISTRICT PRIOR TO PROJECT CLOSEOUT. THE AS-BUILT SURVEY SHALL INCLUDE THE FILTRATION BASIN TRAIN TILE INVERTS AND LAYOUT FOR VERIFICATION THE SYSTEM WAS INSTALLED PROPERLY AND THAT 18-INCHES OF SAND/FILTRATION MIX OVER THE TOP OF THE DRAIN TILE HAS BEEN PROVIDED.

INSPECTIONS

EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 1/2 INCH OVER 24 HOURS RAIN EVENT.

STABILIZED AREAS: ONCE EVERY 30 DAYS.

FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.

RECORDS: A COPY OF THE GRADING, DRAINAGE EROSION CONTROL PLAN AND WATERSHED DATA & SWPPP PLANS AS WELL AS THE INSPECTIONS/MAINTENANCE LOGS ARE TO BE KEPT EITHER IN THE FIELD OFFICE, INSPECTOR'S VEHICLE OR CONTRACTOR'S VEHICLE.

Abigail Ernst

From: Debra Frimerman <debra.frimerman@gmail.com>
Sent: Monday, August 23, 2021 8:33 PM
To: Abigail Ernst
Subject: Interlachen Country Club proposal - additional comments

Hi Abigail:

Hope you had a good weekend. Did you receive the check for the records request? Please let me know when I can pick up the flash drive. It would be very helpful to have before the meeting on Aug 26.

I am planning to log in to Thursday's meeting. Can you please share the meeting details? Thank you!

Please share the following comments with the Board of Managers for consideration.

Thank you!
Debra

Dear Board of Managers:

Thank you for the opportunity to provide comments regarding Interlachen Country Club's proposal to expand its boundary to build a new 100+ stall parking lot and accessory structure. I am an adjacent property owner and am very concerned about the impacts of the new parking lot on the area and the watershed.

The parking lot construction includes demolishing homes and grading the properties. These properties are part of the neighborhood drain tile system that empties into a basin on my property. The parking lot is proposed to be built up substantially from the current gradual slope. The drain tile basin is at a low point on my property, and will be many feet below the parking lot if constructed. Unless there are somehow plans to rework the drain tile system such that it still operates in its current condition, this project will absolutely impact all of the storm water drainage in our neighborhood and have consequences for all landowners currently using the system as well as consequences to the wetlands. None of the neighbors have been consulted on the storm water impacts or approached about how to manage such that we can preserve our current properties and the environment.

Further, the country club's proposed catch basin on Waterman Avenue to the north side of the parking lot site will abut my property. My backyard is a native prairie and includes designated wetlands. The tearing down of trees, coupled with the changes to the topography, would create a situation destined for storm water and erosion issues. It will also adversely impact the wetland wildlife, including the many pollinators, ducks, deer and other animals.

Please consider all of the impacts of the proposed project and the negative impacts it will have on the area as part of your review.

Thank you for considering and for all you do for our community.

Regards,
Debra Frimerman
6229 Maloney Ave
Edina, MN 55343