



Title: Permit 21-065: Target Knollwood, 8900 Hwy 7, St. Louis Park

Prepared by: Name: Erin Manlick
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Recommendation:

Approval of MCWD permit application on the following conditions:

Conditions for permit issuance:

1. Submission of draft maintenance declaration for Stormwater Management, Waterbody Crossings and Structures, and Wetland Buffers for District approval, then recordation and submission of receipt
2. Submission of a wetland buffer monumentation plan
3. Reimbursement of District fees for engineering and legal review
4. Submission of Financial Assurance for Wetland Protection
5. Board of Managers approval of requested variance from wetland buffer requirement

Condition for permit closeout:

6. Submission of an as-built survey upon completion of the project, which documents the location and volume of both fill and compensatory storage

Summary:

The Target Corporation (Applicant) has applied for a Minnehaha Creek Watershed District (MCWD) permit for the replacement of a portion of Boone Avenue, a private road adjacent to the Target store parking lot. The project triggers the Wetland Conservation Act (WCA), as well as MCWD's Erosion Control, Stormwater Management, Floodplain Alteration, Waterbody Crossings and Structures, and Wetland Protection rules. The City of St. Louis Park maintains authority for Erosion Control. The District is responsible for implementing the WCA within the City of St. Louis Park. The project meets the requirements for all applicable rules, with the exception of the Wetland Protection rule. The Applicant has requested a variance to the required buffer width along 163 feet of the proposed road, as shown in Attachment 2. In accordance with established policy, the Board of Managers is asked to consider the application and variance request.

Background:

The Applicant is proposing to reconstruct 1.64 acres of an existing private road (Boone Avenue) and the adjoining parking lot located at 8900 Highway 7 in the City of St. Louis Park to raise the road out of the 100-year floodplain of Minnehaha Creek. The backwaters of Minnehaha Creek, as well as one wetland, are adjacent to the proposed reconstruction.

A Type 1 Floodplain Forest wetland has been delineated on the eastern side of the existing road and approved under a Notice of Decision issued by MCWD on December 22, 2020 (Attachment 3). The wetland protection rule requires that a wetland buffer must be provided around all disturbed wetlands and on wetland edges downgradient of disturbance. The rule analysis summarizes the applicable rules being met, as well as the application of the Wetland Protection rule and the variance request from the Applicant.

District Rule Analysis:

Floodplain Alteration:

The District's Floodplain Alteration rule is triggered for any alteration or filling of land below the 100-year high water elevation of a waterbody. In its existing condition, the grade and alignment of Boone Avenue results in 383 linear feet of the road falling within the 100-year floodplain of Minnehaha Creek. This project proposes to add fill to raise Boone Avenue out of the floodplain, while maintaining the existing alignment of the road. The stated purpose of raising Boone Avenue is to minimize seasonal flooding that occurs along the road, which disrupts the flow of traffic and requires annual maintenance. The District requires compensatory storage to be provided at a 1:1 ratio for any fill placed between the Ordinary High Water Level (OHWL) and 100-year flood elevation. The project proposes 599 cubic yards of fill, thus requiring 599 cubic yards of compensatory storage.

To compensate for the amount of fill, the Applicant has sized the proposed stormwater pond to provide 928 cubic yards of storage between the ordinary water level (899.58, NAVD88) and 100-year flood level (902.99, NAVD88) of Minnehaha Creek. The project proposes to connect the stormwater pond to the creek via a pipe under Boone Avenue, which will provide a hydraulic connection between the proposed pond and Minnehaha Creek. The connection will allow the flow of floodwater into the pond for compensatory flood storage.

Staff and the District Engineer have confirmed that the project, as proposed, will result in a net increase of 329 cubic yards of flood storage.

The submission of an as-built survey upon completion of the project, which documents the location and volume of both fill and compensatory storage, is listed as a condition of approval.

The project as designed meets the District's Floodplain Alteration Rule.

Wetland Conservation Act (WCA)

The application includes requests for De Minimis Exemption and No-Loss Determinations under WCA. These are technical determinations ordinarily made by staff in conjunction with the WCA technical evaluation panel (TEP). However, under Resolution 13-025, a WCA determination must be made by the Board of Managers when the applicant's permit request includes a variance or exception from the District Wetland Protection rule. The Applicant has requested a variance to the District's Wetland Protection rule, therefore, the WCA De Minimis Exemption and No-Loss Determination requests for 46 square feet of permanent wetland fill and roughly 436 square feet of temporary impacts in Wetland 1 (Table 1) are before the Board of Managers for approval.

Aquatic Resource ID (as noted on overheadview)	Aquatic Resource Type (wetland, lake, tributary etc.)	Type of Impact (fill, excavate, drain, or remove vegetation)	Duration of Impact Permanent (P) or Temporary (T) ¹	Size of Impact ²	Overall Size of Aquatic Resource ³	Existing Plant Community Type(s) in Impact Area ⁴	County, Major Watershed#, and Bank Service Area # of Impact Area ⁵
Wetland 1	Wetland	Fill	P	46sf	0.21 acres	Floodplain Forest	Hennepin, WM #20, BSA #7
			T (<180)	0.01 ac			
Minnehaha Creek Backwaters	Tributary	Fill	P	15sf	0.09 acres	Riverine	Hennepin, WM #20, BSA #7
			T (<180)	180sf			

Table 1: Proposed Wetland Impacts

The wetland boundary and type of one wetland, Wetland 1, was approved under W20-16 Notice of Decision (NOD) on December 22, 2020. The WCA regulates draining, filling, and excavation in wetlands. The project is proposing to fill 46 square feet of Wetland 1 for the construction of a retaining wall and stormwater outfall. Under MN WCA Rule 8420.0420 Exemption Standards, Subpart 8- De Minimis, a replacement plan is not required for projects that propose less than 400 square feet of impact to wetland types 1, 2, or 6 for wetlands that are outside the building setback zone as defined in the local shoreland management ordinance.

NOD W20-32 approved Wetland 1 as Type 1 Floodplain Forest, the City of St. Louis Park has no shoreland management ordinance, and the impacts are less than 400 square feet.

The project is also proposing 436 square feet of temporary disturbance within Wetland 1 for the installation of the stormwater pond outlet pipe. Under MN WCA Rule 8420.0415 No-Loss Criteria, Subpart H, temporary impacts that are rectified by repairing, rehabilitating, or restoring the affected wetland to existing conditions are considered as "no loss" of wetland function, and permitted. The proposed temporary impacts to Wetland 1 will be rectified by restoring the affected area to its original characteristics within 6 months of disturbance.

The Notice of Application for the De Minimis Exemption and No-Loss Determination application was provided to the Technical Evaluation Panel (TEP) on February 9th, 2021 (Attachment 4). The Board of Soil and Water Resources (BWSR), provided comment on February 10th, 2021 that the project qualifies for the De Minimis Exemption as long as the impacts are outside of the building setback zone as defined in the local shoreland management ordinance. The City of St. Louis Park provided comment on February 19th, 2021 that no shoreland management ordinance exists. No additional comments were received.

Additionally, 15 square feet of permanent impacts and 180 square feet of temporary disturbance are proposed for the placement of the stormwater pipe outfall within the backwaters of Minnehaha Creek. These impacts are addressed in the *Waterbody Crossings and Structures Rule* section of this report.

Staff recommends approval of both the De Minimis Exemption and No-Loss determination.

Wetland Protection Rule

The Wetland Protection rule is applicable for any project that proposes temporary or permanent wetland impact. The buffer provisions of the rule do not apply to wetland impacts that don't require a permit, which includes de minimis and no-loss impacts. However, the buffer requirements apply if the work requires a permit under the Stormwater Management or Waterbody Crossings & Structures rule. Both the Stormwater Management and Waterbody Crossings and Structures rules are triggered, therefore the buffer requirement is triggered.

Per section 5(a) of the Wetland Protection rule, buffers must be provided on wetland edges downgradient of disturbance. The applicant has provided plans that include a wetland buffer provided on the northern edge and southern edge of the downgradient wetland, and has requested a variance to meeting the minimum buffer width requirement on the edge of the wetland immediately east of the proposed road. Additional analysis on buffer width has been provided under section 6(c) below.

Per section 5(b) of the rule, buffers are required, and have been analyzed under section 6, below.

Per section 5(c) of the rule, buffers must be documented by a declaration or other recordable instrument. Submission of a maintenance declaration is listed as a recommended condition of approval to satisfy this requirement.

Section 5(d) of the rule requires a permanent wetland buffer monument to be installed at each lot line where it intersects the buffer, and where needed to indicate the contour of the buffer, with a maximum spacing of 100 feet. Submission of a wetland buffer monumentation plan that is in accordance with the rule is listed as a recommended condition of approval to satisfy this requirement, provided that the variance to the minimum wetland buffer width requirement is granted.

Per section 6(a) of the rule, buffer width requirements are determined by the management class of the wetland. The District's Functional Assessment of Wetlands inventory classified Wetland 1 as Manage 1, which corresponds to a 40-foot buffer.

Per section 6(c) of the rule, buffer averaging is permitted should the full width of the buffer not be able to be provided in all locations. Under this provision of the rule, buffer averaging may encompass minimum buffer widths of 20 feet (50%),

with a maximum width of 80 feet (200%) for Manage 1 wetlands, provided that there is no reduction in total buffer area (assumes an area equal to a uniform 40-foot buffer along the length of the wetland). Based on review of the plans and specifications, the Applicant is able to provide the required 40-foot buffer along all but 163 linear feet of the wetland boundary, where no buffer can be provided.

Staff have calculated the total buffer area required within the project area to be 14,765 square feet. The Applicant has submitted a wetland buffer plan that demonstrates a wetland buffer area of 11,283 square feet, resulting in a deficit of 3,482 square feet. The minimum buffer width and buffer area requirement is not being met due to the alignment of the existing road, and the proposal to replace it in the same location. The Applicant has requested a variance to section 6(c) of the Wetland Protection rule, which has been analyzed under the 'Variance' heading below.

Section 6(d) of the rule does not apply, as the Applicant has not requested a reduction in Applied Buffer Width.

Section 6(e) of the rule does not apply, because the project is not resurfacing, but reconstruction, and further while the project involves the reconstruction of a road, the road is privately owned and therefore has no public right-of-way.

Section 6(f) of this rule does not apply as this project is not a New Principal Residential Structure.

The criteria of section 7(a) of the Wetland Protection rule, which prohibits actions such as mowing, fertilizing or placement of yard waste within the buffer area, is memorialized with the maintenance declaration. Submission of a maintenance declaration including these provisions is listed as a recommended condition of approval.

Section 7(b) of the rule does not apply as the site is not considered public land, a homeowner's association property, or public right-of-way.

Section 7(c) of the rule does not apply as the applicant is requesting a variance to provide no wetland buffer along the wetland edge immediately adjacent to the road, and no areas of the proposed northern and southern buffer will be disturbed by grading or other site activities.

In summary, upon satisfaction of the recommended condition, the project meets the requirements of the Wetland Protection Rule, apart from section 6(c), as noted above, for which the Applicant has requested a variance.

Waterbody Crossings and Structures Rule

The District Waterbody Crossings & Structures rule is applicable for any project that proposes to place a road, highway, utility, bridge, boardwalk, or associated structure in contact with the bed or bank of any waterbody. The proposed stormwater pond will include a pipe (24" RCP, inv = 898.92) under Boone Avenue that outlets to the bank of Minnehaha Creek, resulting in 15 square feet of permanent impacts and 180 square feet of temporary disturbance.

Per section 3(a), structures in public waters shall meet a demonstrated public benefit and meet a specific need for all other projects. The proposed outfall is necessary to connect the proposed stormwater pond to Minnehaha Creek, which allows for the compensatory flood storage. In addition, the proposed pond and associated pipe will allow Boone Avenue to be raised out of the 100-year floodplain of Minnehaha Creek, providing an added public safety benefit.

Per section 3(b), the placement of the outfall shall retain adequate hydraulic capacity, and any changes in hydraulic capacity may not result in upstream or downstream increases in flood stage. The proposed stormwater pond will provide an additional 329 cubic yards of flood storage, and the proposed rates of stormwater leaving the site will be reduced during the 1-year, 10-year, and 100-year storm events. After review of the proposed plans, the District Engineer has confirmed that the applicant has demonstrated that hydraulic capacity will be retained.

Per section 3(c) structures that use the bed or bank of a waterbody shall retain adequate navigational capacity. The outfall is proposed within the backwaters of Minnehaha Creek, where the existing navigational capacity is limited. There is no proposed increase to the 100-year flood elevation, and there is no proposed change to the cross section of the navigable portion of the creek, therefore navigational capacity will not change from existing to proposed conditions.

Per section 3(d), aquatic and upland wildlife passages shall be preserved. The proposed outfall is for stormwater conveyance from the proposed pond and will not impede wildlife passage. Aquatic and upland wildlife passages will be preserved from existing to proposed conditions.

Per Section 3(e), the placement of a structure shall not adversely affect water quality. Currently, 35,954 square feet of impervious surface within the project area drains, untreated, to Minnehaha Creek via the existing storm sewer. The Applicant proposes to both reduce the area of impervious surface that drains to the creek by 1,138 square feet (3.15%), and provide Total Suspended Solids (TSS) and Total Phosphorus (TP) reduction through the proposed stormwater pond. Per the MIDS model submitted by the Applicant, the pond will provide 60% TSS and 34% TP removal for the areas disturbed as part of the proposed development. As proposed, no negative effects on water quality are associated with this project.

Per Section 3(f), the applicant has submitted design alternatives to show the proposed plan meets the minimal impact solution with respect to all other reasonable alternatives. One alternative submitted was a no-build scenario. This option would not provide an increase in flood storage, nor would it provide any treatment for water quality. Additionally, a no-build scenario does not meet the project goals. The second alternative submitted was to reconstruct Boone Avenue without creating a hydraulic connection between the proposed pond and Minnehaha Creek. This alternative would provide the water quality benefits associated with the pond, but would not allow for compensatory flood storage. Based on the two alternatives submitted for the project, MCWD staff concur that the applicant has demonstrated that the proposed plan represents a minimal impact solution.

Sections 3(g) and 3(h) do not apply to this project, as no work is proposed below the bed of Minnehaha Creek.

The maintenance requirement of waterbody crossings and structures will be satisfied through the recordation of a maintenance declaration, listed as a condition of approval.

The project, as designed, meets the District’s Waterbody Crossings and Structures rule.

Stormwater Management Rule

The District’s Stormwater Management Rule is applied to projects that propose the creation of new or replacement of existing impervious surface. The proposed project will disturb 1.64 acres of the 15.53 acre site, and reduce impervious within the project area from 1.2 acres to 0.85 acres, therefore the rule is applied. The project proposes redevelopment of a site larger than one acre; less than 40% of the site will be disturbed, and a reduction in impervious of 0-9%, therefore, per section 4(d), the Applicant is required to incorporate a BMP.

Site Size	Project Area Size (ac)	Drains To	Existing Impervious Within Project Area (ac)	Proposed Impervious Within Project Area (ac)	Proposed Net Decrease in Impervious Surface Within Project Area (ac)
15.53	1.64	Minnehaha Creek	0.825 (35,954 sf)	0.799 (34,816 sf)	0.026 (3.15%)

Table 2: Existing and Proposed Site Conditions

The Applicant has proposed to meet the District’s Stormwater Management rule by constructing a wet pond with an infiltration bench to treat runoff from the entire 34,816 square feet of proposed impervious within the project area. The existing impervious (35,954 sf) is currently untreated.

Best Management Practices

Per section 3(d) of the rule, best management practices must be incorporated to limit the creation of impervious surface, maintain or enhance on-site infiltration, peak flow, and limit pollution generation on and discharge from the site. The Applicant has provided plans, stormwater modeling, stormwater calculations, and a narrative to demonstrate conformance with this requirement. Based on review of the Applicant’s submittals, staff and the District Engineer have

determined that the proposed stormwater pond and infiltration bench have been designed in conformance with the criteria as outlined in the Minnesota Stormwater Manual, and their incorporation satisfies the requirements of this provision.

High Water Elevation

The high water elevation requirement of the rule requires two vertical feet of separation between the 100 year flood elevation and the low openings to structures. Based on the Applicant’s submittals, and review and analysis by staff and the District Engineer, the 100-year high water elevation of the BMP is 903.15 and the low opening of the existing building is 907.0. The applicant has demonstrated 3.85 feet of freeboard, meeting the minimum 2 foot requirement.

Downstream Waterbodies

The impacts to downstream waterbodies section of the rule regulates new point source discharges and impacts to the bounce, inundation, and runout control elevations of waterbodies. The project does not propose a new point source or a change in the runout control elevation of any waterbody. The District Engineer has reviewed the proposed reconstruction and has determined that because there is no increase in the proposed rates leaving the site (described below in Table 3), the project will not change the bounce or inundation of Minnehaha Creek or the hydraulically connected wetland during the 1-year, 10-year, or 100-year storm events. The project as proposed is in conformance with the downstream waterbody requirements of the rule.

Total Site Rate Summary			
	Pre-Development Discharge Rate CFS	Maximum Allowable Discharge Rate CFS	Post-Development Discharge Rate CFS
1-year	2.86	2.86	1.33
10-year	5.21	5.21	3.18
100-year	9.58	5.21	0.00

Table 3: Existing and Proposed Rates Leaving the Site

The maintenance requirement of stormwater facilities will be satisfied through the recordation of a maintenance declaration, listed as a condition of approval.

The project as proposed, upon fulfillment of the recommended condition, meets the requirements of the Stormwater Management Rule.

Variance

The Applicant is requesting a variance to section 6(c) of the Wetland Protection rule, which requires that a buffer width of at least 50% of the applied buffer width be maintained at all points along the wetland boundary. The variance request states that the Applicant is unable to provide the required buffer width along 163 linear feet of Boone Avenue, where no buffer can be provided due to the proximity of the road to the delineated wetland boundary. The Applicant is proposing to provide a 40-foot buffer on the northern and southern project boundaries, creating a total buffer area of 11,283 square feet, which results in a buffer area deficit of 3,482 square feet.

The District’s Variance and Exception Rule states that the Managers may grant a variance from a provision of the rules if the applicant demonstrates the following:

- Because of special conditions inherent to the property that do not apply generally to other land or structures in the District, strict compliance with a provision of the a District rule will cause undue hardship to the applicant;
- The hardship was not created by the applicant, its owner or representative, or a contractor. Economic hardship is not grounds for issuing a variance;

- Granting the variance will not serve merely as a convenience to the applicant;
- There is no feasible and prudent alternative to the proposed activity requiring the variance; and
- Granting the variance will not impair or be contrary to the intent of the rules.

The Applicant has submitted a variance application (Attachment 5), citing the alignment and grade of the existing road within the 100-year floodplain of Minnehaha Creek as a special condition inherent to the property, and an existing condition that was not created by the Applicant.

Additionally, per City of St. Louis Park Zoning Code, 834 parking spaces are required on the Target parcel. The site currently includes 890 parking spaces, and in the proposed condition, the number of spaces will be reduced to 843. The loss of 47 parking spaces is due to the inclusion of the proposed stormwater pond, which has been sized to not only treat all of the proposed impervious surface associated with the project, but also to provide additional compensatory flood storage. Per the Applicant's calculations, realigning Boone Avenue out of the Minnehaha Creek floodplain would result in the loss of approximately 130-150 parking spaces, which would fall short of City requirements.

Furthermore, Boone Avenue is owned, in part, by multiple property owners. The Applicant has proposed to reconstruct a portion of the road that exists on their property, but realignment would require disturbing sections that the Applicant does not own. Because of the loss of required parking spaces and the joint-ownership of Boone Avenue, the Applicant deemed it infeasible to realign the road farther from Minnehaha Creek and the adjacent wetland.

A chief purpose of the wetland buffer provision of the Wetland Protection rule is to treat runoff from impervious surfaces prior to it entering a wetland. To address stormwater treatment loss as a result of the reduced buffer, the Applicant has proposed to curb the roadway and direct runoff to a stormwater pond that exceeds District stormwater management requirements for the project, and will prevent any hard surface runoff from directly entering the wetland in the area where buffer is absent.

The project proposes redevelopment of a site larger than one acre; less than 40% site disturbance, and a reduction in impervious of 0-9%, therefore, per section 4(d) of the Stormwater Management Rule, the Applicant is required to incorporate a BMP. The Applicant chose to incorporate a wet pond with an infiltration bench, which would exceed District requirements for volume control, rate control, and phosphorus control, if those requirements applied to this project.

The volume control requirement of the rule requires the abstraction of the first inch of runoff from the site's impervious surface. Based on the plans, stormwater calculations, and narrative the Applicant submitted, the project proposes to reduce impervious surface by 1,138 square feet, resulting in 34,816 square feet of impervious, post-development. If required to treat this impervious, an abstraction volume of 2,901 cubic feet would be required. The Applicant has provided an abstraction volume of 5,564 cubic feet. Based on staff and the District Engineer's analysis of the submittals provided by the Applicant, the provided abstraction volume is in excess of the required abstraction.

The rate control requirement dictates that no net increase in the peak runoff rates for the 1-, 10-, and 100-year design storms may occur anywhere stormwater discharges across the downgradient site boundary. As shown in Table 3, the proposed stormwater pond will reduce rates leaving the site in the 1, 10, and 100-year storm events. The Applicant has submitted plans, a stormwater model, stormwater calculations, and a narrative to demonstrate conformance with this criteria.

The phosphorus control requirement is met by meeting the abstraction requirements as outlined in the Volume Control section. Because the Applicant has demonstrated that the proposed pond will exceed volume control requirements, the phosphorus control requirement has been exceeded as well. The MIDS model provided by the Applicant showed 60% TSS and 34% TP removal (0.06 lbs/year) for the areas disturbed as part of the proposed development.

Based on staff and the District Engineer's analysis of the submittals provided by the Applicant, the proposed stormwater pond provides stormwater treatment in excess of what the District requires for this project.

Staff concurs in the factual statements and technical justifications stated above and in the variance application. Accordingly, staff finds there is an adequate technical basis and justification to grant the requested variance.

Conclusion:

The Target Corporation has applied for a MCWD permit for the Stormwater Management, Floodplain Alteration, Waterbody Crossings and Structures, and Wetland Protection rules, and has requested a variance to the buffer provision of the Wetland Protection rule for a portion of the proposed road replacement. Staff find that the Applicant has provided a satisfactory analysis for the Board of Managers to consider the variance request for providing no wetland buffer for 163 linear feet, and have exceeded the stormwater management regulatory requirements. Staff have found that the proposed project meets the applicable rule requirements, and recommends approval on condition that the Board approves the variance request and subject to the recommended conditions of approval. Furthermore, Staff recommend approval of the WCA De Minimis and No-Loss application.

Supporting documents (list attachments):

1. Application Form
2. Wetland Buffer Plan
3. Notice of Decision – 2020
4. Notice of Application - 2021
5. Variance Request
6. Site Plans

WATER RESOURCE PERMIT APPLICATION FORM

Use this form to notify/apply to the Minnehaha Creek Watershed District (MCWD) of a proposed project or work which may fall within their jurisdiction. Fill out this form completely and submit with your site plan, maps, etc. to the MCWD at:
15320 Minnetonka Blvd. Minnetonka, MN 55345.

Keep a copy for your records.

YOU MUST OBTAIN ALL REQUIRED AUTHORIZATIONS BEFORE BEGINNING WORK.

1. Name of each property owner: Target Corporation- Zack Kartak, Sr. Development Manager
Mailing Address: 1000 Nicollet Mall, TPN-12H City: Minneapolis State: MN Zip: 55403
Email Address: Zack.Kartak@target.com Phone: 612-761-1664 Fax: _____

2. Property Owner Representative Information (not required) (licensed contractor, architect, engineer, etc...)
Business Name: Kimley-Horn Representative Name: Ryan Hyllested
Business Address: 767 N Eustis Street, Suite 100 City: St Paul State: MN Zip: 55114
Email Address: Ryan.Hyllested@kimley-horn.com Phone: 612-568-0698 Fax: _____

3. Project Address: 8900 MN-7 City: St Louis Park
State: MN Zip: 55426 Qtr Section(s): SW Section(s): 21 Township(s): 11 Range(s): 21
Lot: 003 Block: 001 Subdivision: _____ PID: 1811721340011

4. Size of project parcel (square feet or acres): 15.53
Area of disturbance (square feet): 1.64 Volume of excavation/fill (cubic yards): 599 in floodplain
Area of existing impervious surface: 1.20 Area of proposed impervious surface: 0.85
Length of shoreline affected (feet): 160 Waterbody (& bay if applicable): Minnehaha Creek

5. Type of permit being applied for (Check all that apply):

- | | |
|---|---|
| <input type="checkbox"/> EROSION CONTROL | <input type="checkbox"/> WATERBODY CROSSINGS/STRUCTURES |
| <input checked="" type="checkbox"/> FLOODPLAIN ALTERATION | <input type="checkbox"/> STORMWATER MANAGEMENT |
| <input type="checkbox"/> WETLAND PROTECTION | <input type="checkbox"/> APPROPRIATIONS |
| <input type="checkbox"/> DREDGING | <input type="checkbox"/> ILLICIT DISCHARGE |
| <input type="checkbox"/> SHORELINE/STREAMBANK STABILIZATION | |

6. Project purpose (Check all that apply):

- | | |
|---|---|
| <input type="checkbox"/> SINGLE FAMILY HOME | <input type="checkbox"/> MULTI FAMILY RESIDENTIAL (apartments) |
| <input type="checkbox"/> ROAD CONSTRUCTION | <input checked="" type="checkbox"/> COMMERCIAL or INSTITUTIONAL |
| <input type="checkbox"/> UTILITIES | <input type="checkbox"/> SUBDIVISIONS (include number of lots) |
| <input type="checkbox"/> DREDGING | <input type="checkbox"/> LANDSCAPING (pools, berms, etc.) |
| <input type="checkbox"/> SHORELINE/STREAMBANK STABILIZATION | <input type="checkbox"/> OTHER (DESCRIBE): _____ |

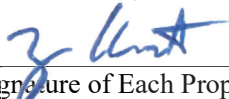
7. NPDES/SDS General Stormwater Permit Number (if applicable): _____

8. Waterbody receiving runoff from site: Minnehaha Creek

9. Project Timeline: Start Date: SPRING 2021 Completion Date: FALL 2021

Permits have been applied for: City County MN Pollution Control Agency DNR COE
Permits have been received: City County MN Pollution Control Agency DNR COE

By signing below, I hereby request a permit to authorize the activities described herein. I certify that I am familiar with MCWD Rules and that the proposed activity will be conducted in compliance with these Rules. I am familiar with the information contained in this application and, to the best of my knowledge and belief, all information is true, complete and accurate. I understand that proceeding with work before all required authorizations are obtained may be subject to federal, state and/or local administrative, civil and/or criminal penalties.


Signature of Each Property Owner

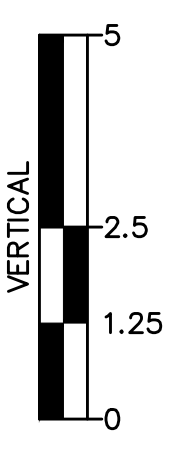
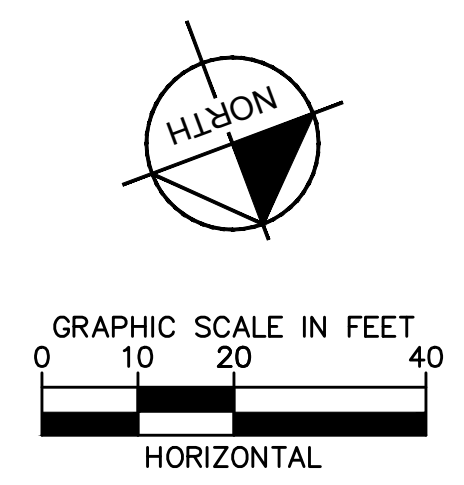
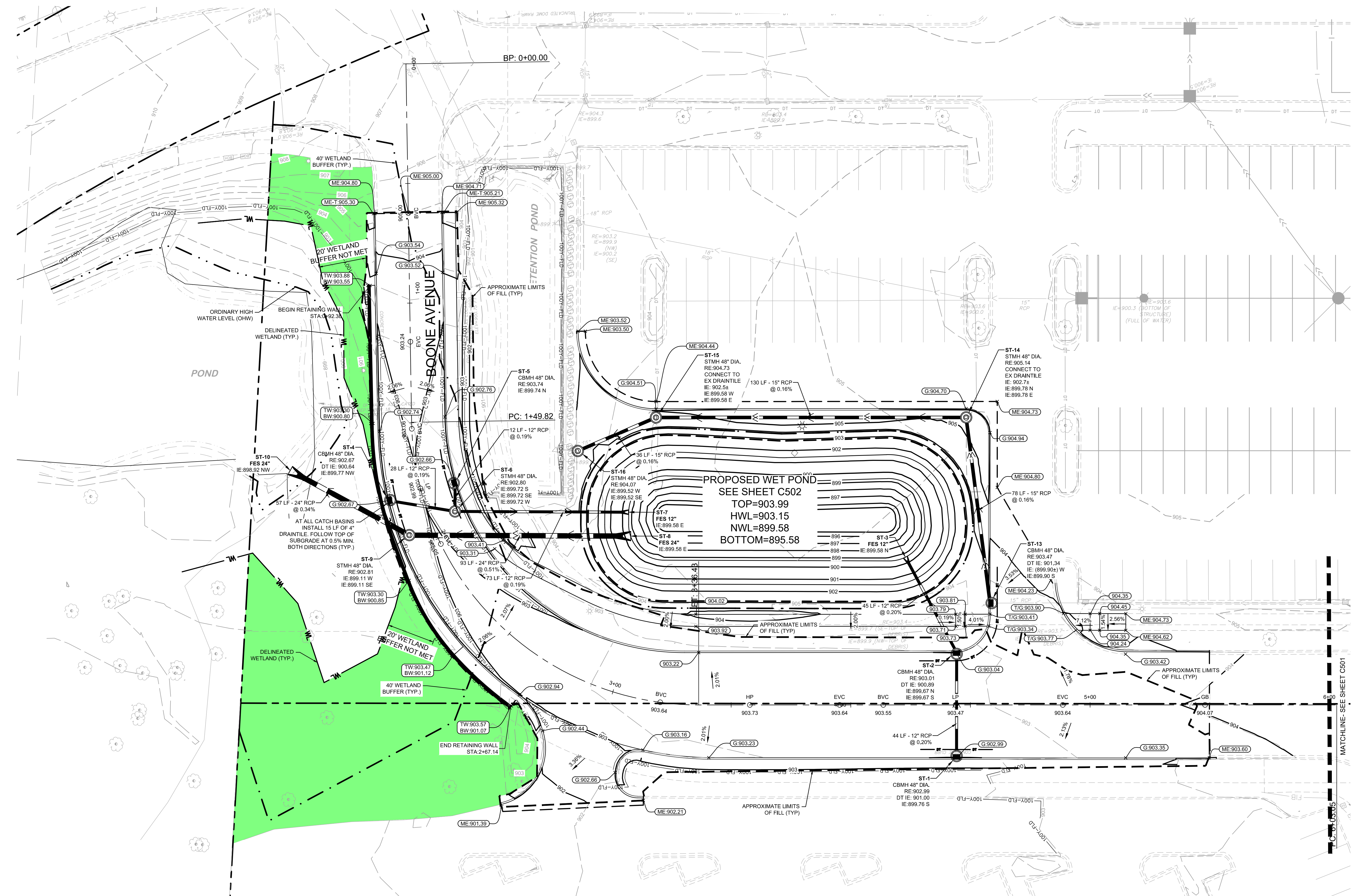
1/27/2021
Date

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 This document, together with the concepts and designs presented herein, is an instrument of service. It is intended only for the specific purposes and client for which it was prepared. Release of and purport reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

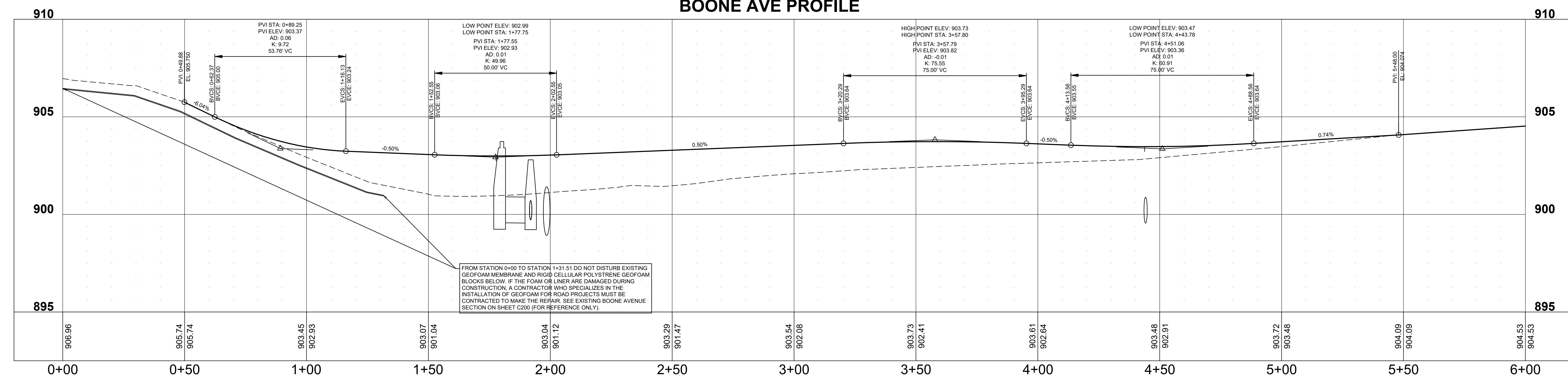


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Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL



BOONE AVE PROFILE



LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED FLARED END SECTION
- PROPOSED REPRAP
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FULSH PAYMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERFLOW
- BEGIN VERTICAL CURVE
- END VERTICAL CURVE
- GRADE BREAK (VERTICAL PROFILE)
- PROPOSED DRAINAGE DIRECTION
- PROPOSED ADA SLOPE
- DELINEATED WETLAND (TYP)
- 100-YR FLD
- ORDINARY HIGH WATER LEVEL (OHW)
- 40' WETLAND BUFFER LINE (TYP)
- PROPOSED WETLAND BUFFER (TYP)

- GRADING PLAN NOTES**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ST. LOUIS PARK SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTRACTOR TO CALL GOPHER STATE CALL ONE @ +1-800-253-1186 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 - STORM SEWER PIPE SHALL BE AS FOLLOWS:
 RCP PER ASTM C-75
 HOPE 12" OR GREATER PER ASTM F-2306
 HOPE PER ASTM F-1718
 STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
 RCP PER ASTM C-75, JOINTS PER ASTM C-361, C-396, AND C-443
 HOPE PER ASTM 3212
 PVC PER ASTM D-3024, JOINTS PER ASTM D-3212
 - CONTRACTOR TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP PREVENT ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
 - GRADERS SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 - ALL EXCESS MATERIAL, BITUMINOUS SUBGRADING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - REFER TO THE UTILITY PLAN FOR SANITARY SEWER, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURBS AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
 - NOTAL A MINIMUM OF 4" CLASS 3+ AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
 - ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
 - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATEMENTAL STANDARDS. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERIOR BUILDING DOORS AND PATHS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO FINISHING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
 - CONTRACTOR SHALL PROVIDE 3" INSULATION BY 6" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
 - ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
 - ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
 - MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "IN-AL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUT-AL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

PROJECT DATA

100-YR FLOOD ELEVATION (NAVD88)	902.98
ORDINARY HIGH WATER LEVEL (OHW) (NAVD88)	899.58
REQUIRED COMPENSATORY FLOOD STORAGE	599 CY
PROPOSED COMPENSATORY FLOOD STORAGE	928 CY
REQUIRED WETLAND BUFFER (STEP 1, 40FT)	14,786 SF
PROVIDED WETLAND BUFFER	11,283 SF
WETLAND BUFFER DEFECT	3,482 SF
DISTURBANCE WITHIN WETLAND BOUNDARY	0.01 AC
LIMITS OF DISTURBANCE	1.64 AC
LIMITS OF CONSTRUCTION	1.64 AC
PRE-DEVELOPMENT IMPERVIOUS AREA	0.44 AC
PRE-DEVELOPMENT IMPERVIOUS AREA	1.20 AC
POST-DEVELOPMENT IMPERVIOUS AREA	0.79 AC
POST-DEVELOPMENT IMPERVIOUS AREA	0.85 AC

TARGET
 ST. LOUIS PARK, MINNESOTA
 BOONE AVE SOUTH
 ST. LOUIS PARK, MN 55426

Project Number **T-2189**
 Config:
 Drawn By RAH / EW
 Checked By RAH

GRADING PLAN



C500

Minnesota Wetland Conservation Act Notice of Decision

Local Government Unit: Minnehaha Creek Watershed District	County: Hennepin
Applicant Name: Target Real Estate, Zack Kartak	Applicant Representative: Kimley-Horn, Aaron Stolte
Project Name: Boone Avenue Reconstruction	LGU Project No. (if any): W20-32
Date Complete Application Received by LGU: 10/19/2020	
Date of LGU Decision: 12/22/2020	
Date this Notice was Sent: 12/22/2020	

WCA Decision Type - check all that apply

<input checked="" type="checkbox"/> Wetland Boundary/Type <input type="checkbox"/> Sequencing <input type="checkbox"/> Replacement Plan <input type="checkbox"/> Bank Plan (not credit purchase)
<input type="checkbox"/> No-Loss (8420.0415) <input type="checkbox"/> Exemption (8420.0420)
Part: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H Subpart: <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input type="checkbox"/> 8 <input type="checkbox"/> 9

Replacement Plan Impacts (replacement plan decisions only)

Total WCA Wetland Impact Area:
Wetland Replacement Type: <input type="checkbox"/> Project Specific Credits: <input type="checkbox"/> Bank Credits:
Bank Account Number(s):

Technical Evaluation Panel Findings and Recommendations (attach if any)

<input checked="" type="checkbox"/> Approve <input type="checkbox"/> Approve w/Conditions <input type="checkbox"/> Deny <input type="checkbox"/> No TEP Recommendation
--

LGU Decision

<input type="checkbox"/> Approved with Conditions (specify below) ¹ <input checked="" type="checkbox"/> Approved ¹ <input type="checkbox"/> Denied
List Conditions:
Decision-Maker for this Application: <input checked="" type="checkbox"/> Staff <input type="checkbox"/> Governing Board/Council <input type="checkbox"/> Other:
Decision is valid for: <input checked="" type="checkbox"/> 5 years (default) <input type="checkbox"/> Other (specify):

¹ *Wetland Replacement Plan approval is not valid until BWSR confirms the withdrawal of any required wetland bank credits. For project-specific replacement a financial assurance per MN Rule 8420.0522, Subp. 9 and evidence that all required forms have been recorded on the title of the property on which the replacement wetland is located must be provided to the LGU for the approval to be valid.*

LGU Findings – Attach document(s) and/or insert narrative providing the basis for the LGU decision¹.

<input checked="" type="checkbox"/> Attachment(s) (specify): Joint Application and updated delineation report
<input checked="" type="checkbox"/> Summary: Target Real Estate has applied for a wetland boundary & type confirmation for the wetlands located at 8900 State Highway 7, St. Louis Park, Hennepin County, Minnesota. Legal description: Section 18, Township 117N, Range 21W. The boundary & type approval was requested 10/19/2020.

A wetland delineation was conducted by Kimley-Horn on 09/24/2020.

Resource ID	Wetland Plant Community	C-39 Type	Size (acres) ¹	NWI?	Hydric Soils?	Photo ID	Associated Sample Points	NOTES
Wetland 1	Floodplain Forest	1	0.21	PF01A	No	2, 3, 5-7	SP2, SP3, SP4 (Wet) SP1, (Up)	Floodplain forest wetland surrounding Minnehaha Creek backwaters. There were no culverts identified flowing from Boone Avenue or adjacent parking areas that appear to drain into Wetland 1; therefore, the wetland appears to gain hydrology from the creek. The wetland boundary was based on slight change in topography, presence of hydric soil, presence of FACW and OBL hydrophytes, and water marks visible on FAC vegetation.
Minnehaha Creek Backwaters	Riverine	N/A	0.09	R2UBH	No	2&3	N/A	Minnehaha Creek is a perennial stream flowing south adjacent to the study area. The study area is not located along the main channel of the stream; however, the stream appears to have a pooling area which enters the study area. The edge of water was delineated during field review which was an elevation of 898.92.

MCWD and Kimley-Horn reviewed the boundaries in the field on 11/06/2020. MCWD was in agreement with the wetland types identified on site and shown in the delineation report, but the boundary was expanded to include an additional 0.03 acres on the northern edge, based on field observations of wetland hydrology.

MCWD approves the wetland boundaries and types as shown in the updated delineation report (attached). This decision is valid for five years. A future project located on this property may require a permit from the MCWD, as well as the MN DNR, as a portion of the study area is a public waterbody.

¹ Findings must consider any TEP recommendations.

Attached Project Documents

Site Location Map Project Plan(s)/Descriptions/Reports (specify): Wetland Delineation Exhibit

Appeals of LGU Decisions

If you wish to appeal this decision, you must provide a written request within 30 calendar days of the date you received the notice. All appeals must be submitted to the Board of Water and Soil Resources Executive Director along with a check payable to BWSR for \$500 *unless* the LGU has adopted a local appeal process as identified below. The check must be sent by mail and the written request to appeal can be submitted by mail or e-mail. The appeal should include a copy of this notice, name and contact information of appellant(s) and their representatives (if applicable), a statement clarifying the intent to appeal and supporting information as to why the decision is in error. Send to:

Appeals & Regulatory Compliance Coordinator
 Minnesota Board of Water & Soils Resources
 520 Lafayette Road North
 St. Paul, MN 55155
travis.germundson@state.mn.us

Does the LGU have a local appeal process applicable to this decision?

Yes¹ No

¹If yes, all appeals must first be considered via the local appeals process.

Local Appeals Submittal Requirements (LGU must describe how to appeal, submittal requirements, fees, etc. as applicable)

Appeal of an LGU staff decision. Send petition and \$100 fee to:
 Minnehaha Creek Watershed District
 15320 Minnetonka Boulevard
 Minnetonka, MN 55345
wca@minnehahacreek.org

Notice Distribution (include name)

Required on all notices:

<input checked="" type="checkbox"/> SWCD TEP Member: Stacey Lijewski-stacey.lijewski@co.hennepin.mn.us	<input checked="" type="checkbox"/> BWSR TEP Member: Ben Carson- ben.carlson@state.mn.us
<input type="checkbox"/> LGU TEP Member (if different than LGU contact):	
<input checked="" type="checkbox"/> DNR Representative: Melissa Collins – melissa.collins@state.mn.us; Lucas Youngsma – lucas.youngsma@state.mn.us	
<input type="checkbox"/> Watershed District or Watershed Mgmt. Org.:	
<input checked="" type="checkbox"/> Applicant: Zack Kartak - Zack.Kartak@target.com <input checked="" type="checkbox"/> Agent/Consultant: Aaron Stolte - Aaron.stolte@kimley-horn.com	

Optional or As Applicable:

<input checked="" type="checkbox"/> Corps of Engineers: usace_requests_mn@usace.army.mil
<input type="checkbox"/> BWSR Wetland Mitigation Coordinator (required for bank plan applications only):
<input checked="" type="checkbox"/> Members of the Public (notice only): City Staff <input type="checkbox"/> Other:

<p>Signature:</p>  <p>Permitting Assistant, MCWD</p>	<p>Date:</p> <p>12/22/2020</p>
--	---------------------------------------

This notice and accompanying application materials may be sent electronically or by mail. The LGU may opt to send a summary of the application to members of the public upon request per 8420.0255, Subp. 3.

Minnesota Wetland Conservation Act Notice of Application

Local Government Unit: Minnehaha Creek Watershed District	County: Hennepin
Applicant Name: Target Real Estate, Zack Kartak	
Applicant Representative: Kimley-Horn, Aaron Stolte	
Project Name: Boone Avenue Reconstruction	LGU Project No. (if any): W21-02
Date Complete Application Received by LGU: 02/08/2021	
Date this Notice was Sent by LGU: 02/09/2021	
Date that Comments on this Application Must Be Received By LGU¹: 02/12/2021	

¹ minimum 15 business day comment period for Boundary & Type, Sequencing, Replacement Plan and Bank Plan Applications

WCA Decision Type - check all that apply

<input type="checkbox"/> Wetland Boundary/Type	<input type="checkbox"/> Sequencing	<input type="checkbox"/> Replacement Plan	<input type="checkbox"/> Bank Plan (not credit purchase)
<input checked="" type="checkbox"/> No-Loss (8420.0415)	<input checked="" type="checkbox"/> Exemption (8420.0420)		
Part: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input checked="" type="checkbox"/> H		Subpart: <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input checked="" type="checkbox"/> 8 <input type="checkbox"/> 9	

Replacement Plan Impacts (replacement plan decisions only)

Total WCA Impact Area Proposed:
--

Application Materials

<input checked="" type="checkbox"/> Attached <input type="checkbox"/> Other ¹ (specify):

¹ Link to ftp or other accessible file sharing sites is acceptable.

Comments on this application should be sent to:

LGU Contact Person: Erin Manlick, MCWD Permitting Assistant
E-Mail Address: EManlick@minnehahacreek.org
Address and Phone Number: 15320 Minnetonka Blvd, Minnetonka, MN 55345 952-641-4504
Decision-Maker for this Application:
<input checked="" type="checkbox"/> Staff <input type="checkbox"/> Governing Board/Council <input type="checkbox"/> Other (specify):

Notice Distribution (include name)

Required on all notices:

<input checked="" type="checkbox"/> SWCD TEP Member: Stacey Lijewski-stacey.lijewski@co.hennepin.mn.us
<input checked="" type="checkbox"/> BWSR TEP Member: Ben Carlson-ben.carlson@state.mn.us
<input type="checkbox"/> LGU TEP Member (if different than LGU contact):
<input checked="" type="checkbox"/> DNR Representative: Melissa Collins – melissa.collins@state.mn.us; Lucas Youngsma – lucas.youngsma@state.mn.us
<input type="checkbox"/> Watershed District or Watershed Mgmt. Org.:
<input checked="" type="checkbox"/> Applicant (notice only): Zack Kartak - Zack.Kartak@target.com
<input checked="" type="checkbox"/> Agent/Consultant (notice only): Aaron Stolte - Aaron.stolte@kimley-horn.com

Optional or As Applicable:

<input checked="" type="checkbox"/> Corps of Engineers: usace_requests_mn@usace.army.mil
<input type="checkbox"/> BWSR Wetland Mitigation Coordinator (required for bank plan applications only):
<input checked="" type="checkbox"/> Members of the Public (notice only): City Staff <input type="checkbox"/> Other:

Signature: 	Date: 2/9/2021
--	--------------------------

This notice and accompanying application materials may be sent electronically or by mail. The LGU may opt to send a summary of the application to members of the public upon request per 8420.0255, Subp. 3.

REQUEST FOR VARIANCE AND STATEMENT OF HARDSHIP

MINNEHAHA CREEK WATERSHED DISTRICT (MCWD)
15320 MINNETONKA BLVD.
MINNETONKA, MN 55345

Phone: 952-471-0590
Fax: 952-471-0682

A request for a Variance must be accompanied by a MCWD Water Resources Application

Project Details:

Project address: _____ City: _____ State: _____ Zip: _____
County: _____ Property ID number (PID): _____

The Board of Managers may hear requests for variances from strict compliance with provisions of the District Rules in instances where strict enforcement of the rules would cause an undue hardship because of circumstances unique to the property under consideration. The Board of Managers may grant variances where it is demonstrated that such action will remain in spirit and with the intent of these rules. An applicant granted a variance from full compliance with a requirement of the rules would be required to meet the requirement to the greatest degree feasible short of full compliance. A variance must be approved by a two-thirds majority of managers voting.

To grant a variance, the Board of Managers must determine, based on a showing by the applicant:

- That because of special conditions inherent to the property, which do not apply generally to other land or structures in the District, strict compliance with a provision of a District rule will cause undue hardship to the applicant or property owner;
- That the hardship was not created by the landowner, the landowner's agent or representative, or a contractor. Economic hardship is not grounds for issuing a variance.
- That granting such variance will not merely serve as a convenience to the applicant.
- That there is no feasible and prudent alternative to the proposed activity requiring the variance.
- That granting the variance will not impair or be contrary to the intent of these rules.

A variance will remain valid only as long as the underlying permit remains valid.

A violation of any condition of approval of a permit subject to a variance shall constitute grounds for termination of the variance.

Variance Requested From MCWD Rule(s):

- Erosion Control
- Floodplain Alteration
- Wetland Protection
- Shoreline & Streambank Stabilization

- Waterbody Crossings & Structures
- Stormwater Management
- Appropriations
- Illicit Discharge

Provision(s) and Requirement(s) of the Rule(s):

Requested Variance:

Please complete the below narrative to be used as the variance justification that will be considered by the Board of Managers. Please note that economic hardship is not grounds for issuing a variance.

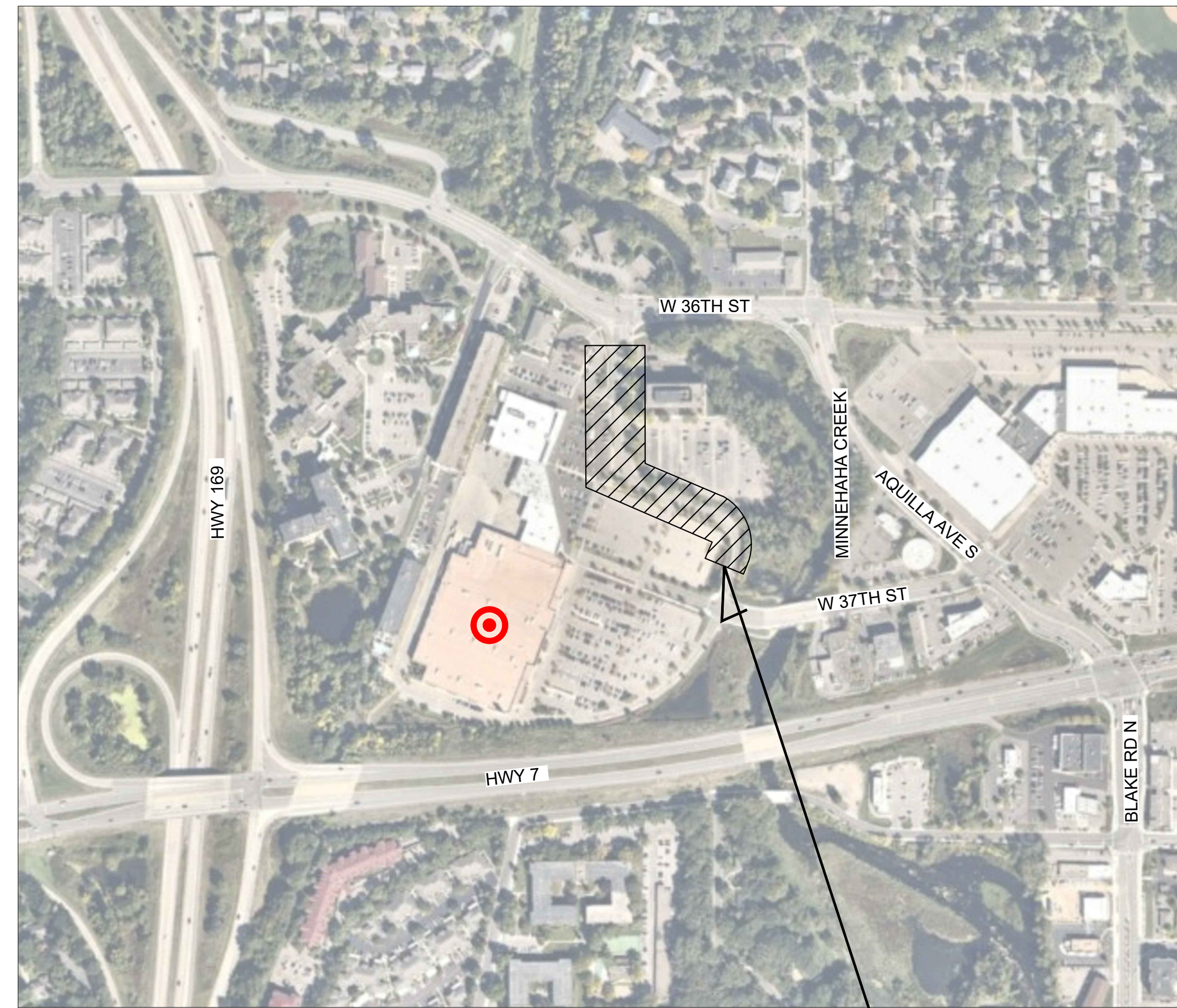
Describe the special conditions inherent to the property and how strict compliance with the rule will cause an undue hardship.

Describe how the special condition was not created by the applicant, the representative, or a contractor.

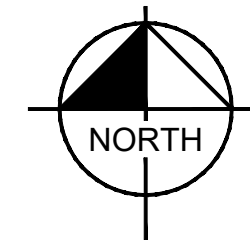
Provide a minimum of two alternatives that were considered and why they were rejected to demonstrate that there is no feasible and prudent alternative to the proposed activity requiring the variance.

Referring to the Policy of the Rule(s), describe how the intent of the rule(s) will be met.

SITE DEVELOPMENT PLANS FOR BOONE AVENUE RECONSTRUCTION T-2189 ST. LOUIS PARK, MINNESOTA



**VICINITY MAP
N.T.S.**



SITE - BOONE AVE

1. CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 36X48 INCH SHEET.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
4. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

PROJECT TEAM:

ENGINEER / LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY: BRIAN WURDEMAN, P.E. /
RYAN HYLLESTED P.L.A.
767 EUSTIS STREET, SUITE 100
ST. PAUL, MN 55114
TELEPHONE (651) 645-4197

SURVEYOR
EGAN, FIELD & NOWAK, INC.
1229 TYLER STREET NE, SUITE 100
MINNEAPOLIS, MN 55413
TELEPHONE: (612) 466-3300
CONTACT: ERIC ROESER, PLS

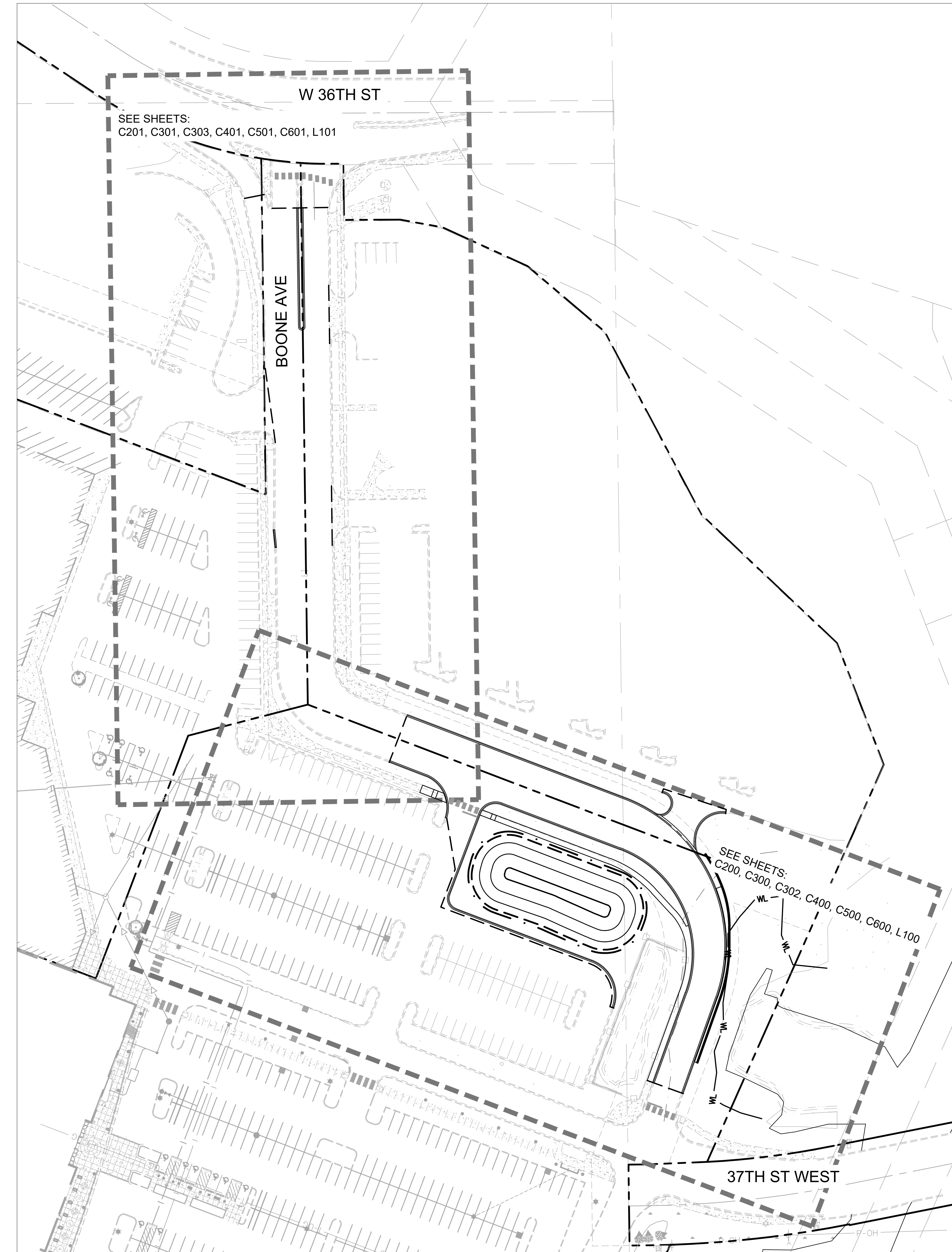
OWNER / DEVELOPER
TARGET



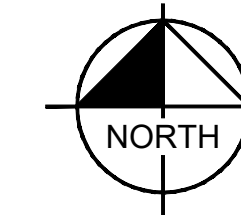
1000 NICOLLET MALL
MINNEAPOLIS, MN 55403
EMAIL: ZACK.KARTAK@TARGET.COM
CONTACT: ZACK KARTAK, P.E. | SR. DEVELOPMENT MANAGER

GEOTECHNICAL ENGINEER
BRAUN INTERTEC
1826 BUERKLE RD
SAINT PAUL, MN 55110
TELEPHONE: (612) 221-2504
CONTACT: STEVE MARTIN, P.E.

BOONE AVE RECONSTRUCTION	
SHEET NO	SHEET TITLE
C000	COVER SHEET
V000	ALTA SURVEY
V001	ALTA SURVEY
V002	ALTA SURVEY
V003	ALTA SURVEY
C001	GENERAL MASTER PLAN
C100	GENERAL NOTES
C200	EXISTING CONDITIONS - DEMO PLAN
C201	EXISTING CONDITIONS - DEMO PLAN
C300	PHASE 1 EROSION AND SEDIMENT CONTROL PLAN
C301	PHASE 1 EROSION AND SEDIMENT CONTROL PLAN
C302	PHASE 2 EROSION AND SEDIMENT CONTROL PLAN
C303	PHASE 2 EROSION AND SEDIMENT CONTROL PLAN
C304	SWPPP
C400	PLAN & PROFILE
C401	PLAN & PROFILE
C500	GRADING PLAN
C501	GRADING PLAN
C502	TYPICAL SECTIONS
C600	TRAFFIC CONTROL PHASING PLAN
C601	TRAFFIC CONTROL PHASING PLAN
C700	GENERAL DETAILS
C701	GENERAL DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE PLAN



SITE MAP
1" = 50'



Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL

PRELIMINARY

TARGET
ST. LOUIS PARK, MINNESOTA
BOONE AVE SOUTH
ST. LOUIS PARK, MN 55426

Project Number **T-2189**

Config:

Drawn By RAH / EW

Checked By RAH

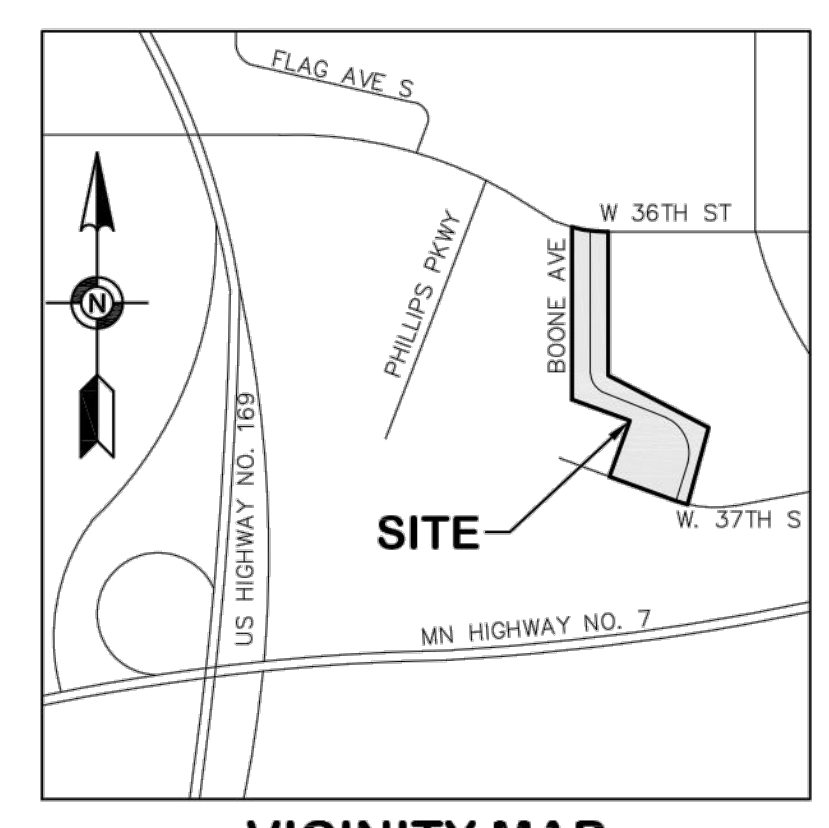
COVER SHEET

C000

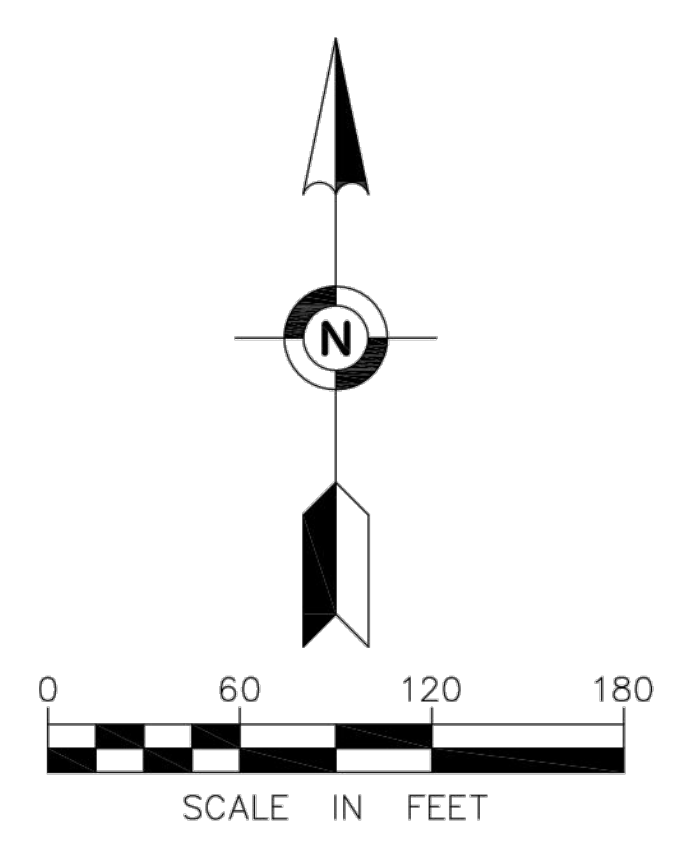


Know what's below.
Call before you dig.

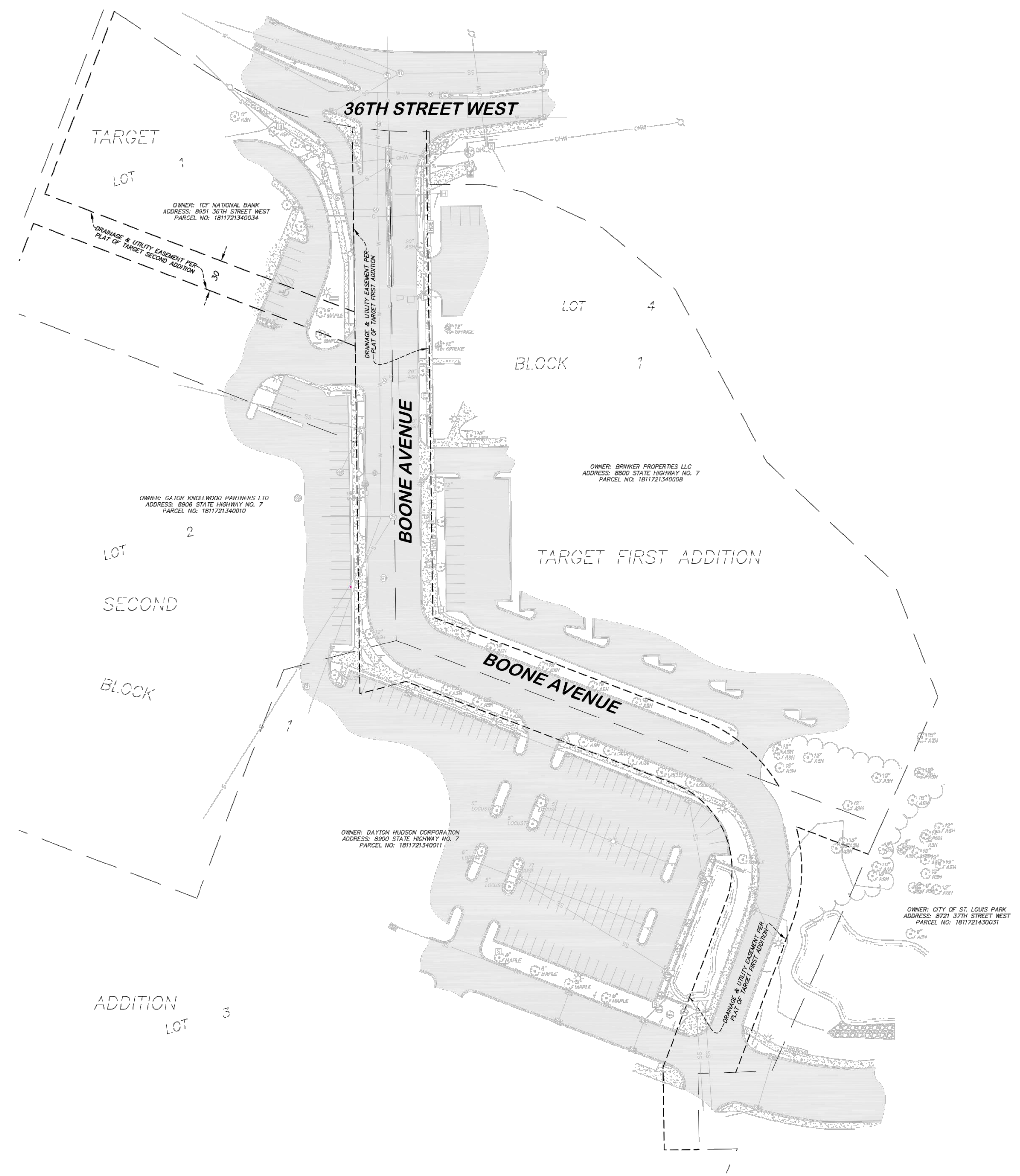
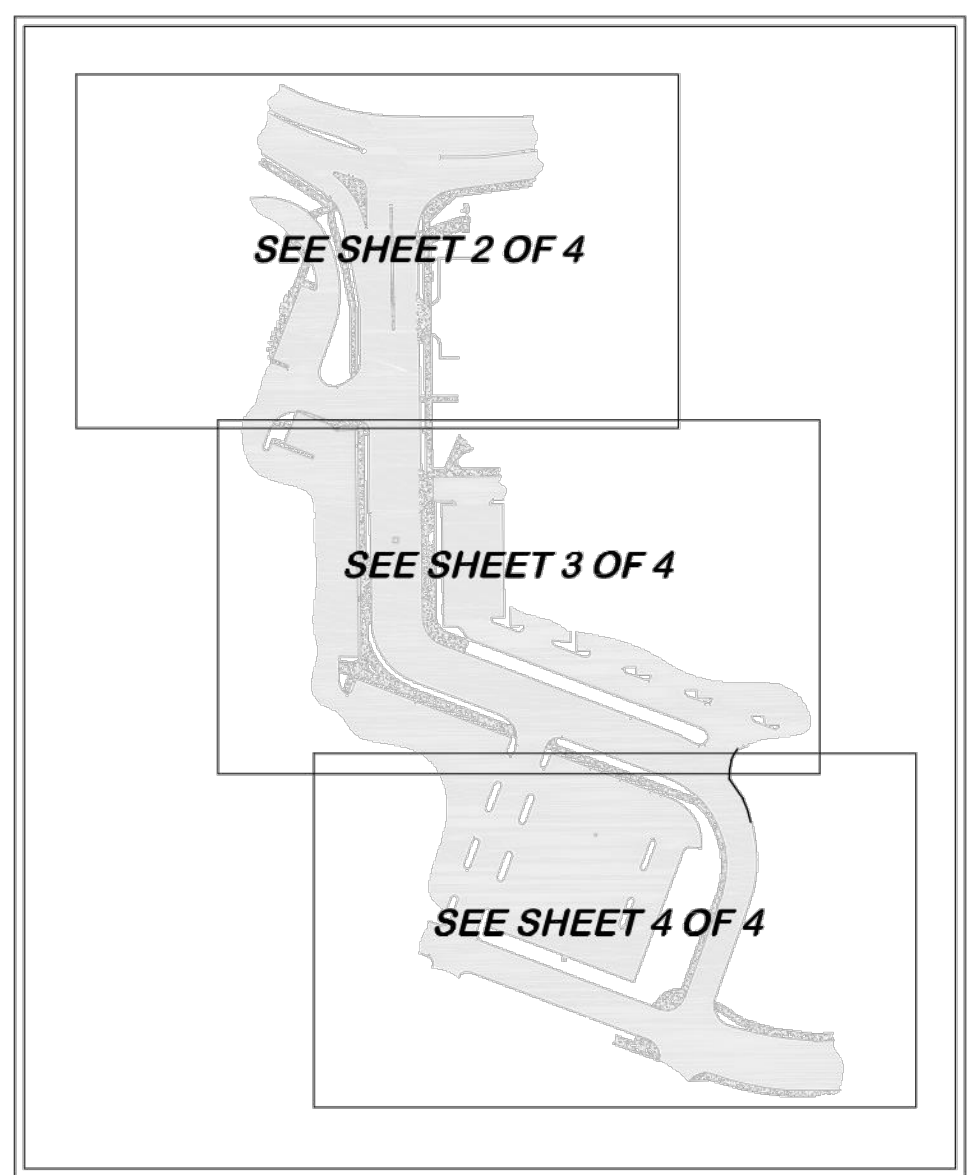
**EXISTING CONDITIONS SURVEY FOR:
KIMLEY-HORN & ASSOCIATES**



VICINITY MAP
NOT TO SCALE



PAGE LAYOUT DETAIL



NOTES:

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-2011 Ad).
- Title work was not furnished to Egan, Field & Nowak, Inc. for the preparation of this survey to verify ownership, the legal description, or the existence of any easements or encumbrances.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Cooper State One Call, per Ticket No. 202464314. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.

CITY OF HOPKINS	(952)939-1382
CITY OF HOPKINS STREET/TRAFFIC	(952)939-1382
CITY OF HOPKINS IRRIGATION	(952)939-1382
CITY OF ST LOUIS PARK WATER	(952)934-2562
CITY OF ST LOUIS PARK STREETS	(952)934-2562
COMCAST	(800)778-9140
CENTURYLINK - CTQL	(800)778-9140
MDI	(800)624-8675
MASTEC NORTH AMERICA, INC.	(612)258-4222
METRO TRANSIT	(612)349-7569
CENTER POINT ENERGY	(688)253-2014
MINDOT	(651)366-5750
XCEL ENERGY	(800)948-7558
ZAYO BANDWIDTH	(888)267-1063
- As of the date of the field survey, several storm structures were filled with a substantial amount of water and/or debris. Since visual observation is not possible, invert measurements were taken to the bottom of structure/point of resistance.
- SITE BENCHMARK NO. 1: Minnesota Department of Transportation Geodetic Monument "SONYA" (SDS Station #95216)
Elevation = 902.02 feet (NAVD 88)
- SITE BENCHMARK NO. 2: Top nut of hydrant located approximately 100 feet south of the the intersection of West 36th Street and Boone Avenue
Elevation = 910.11 feet. (NAVD 88)
- Delineated wetland locations provided by Kimley-Horn.

CERTIFICATION:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Date of survey: September 24, 2020.
Date of signature: September 28, 2020.

Eric A. Roeser
Minnesota License No. 47476
eroeser@efnsurvey.com

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
		L.S.	NO.	DATE
		DRAWN BY:		DESCRIPTION
		L.S.		
DRAWING NAME:		CHECKED BY:		
JOB NO. 39341		ER		
FILE NO.				

EXISTING CONDITIONS SURVEY

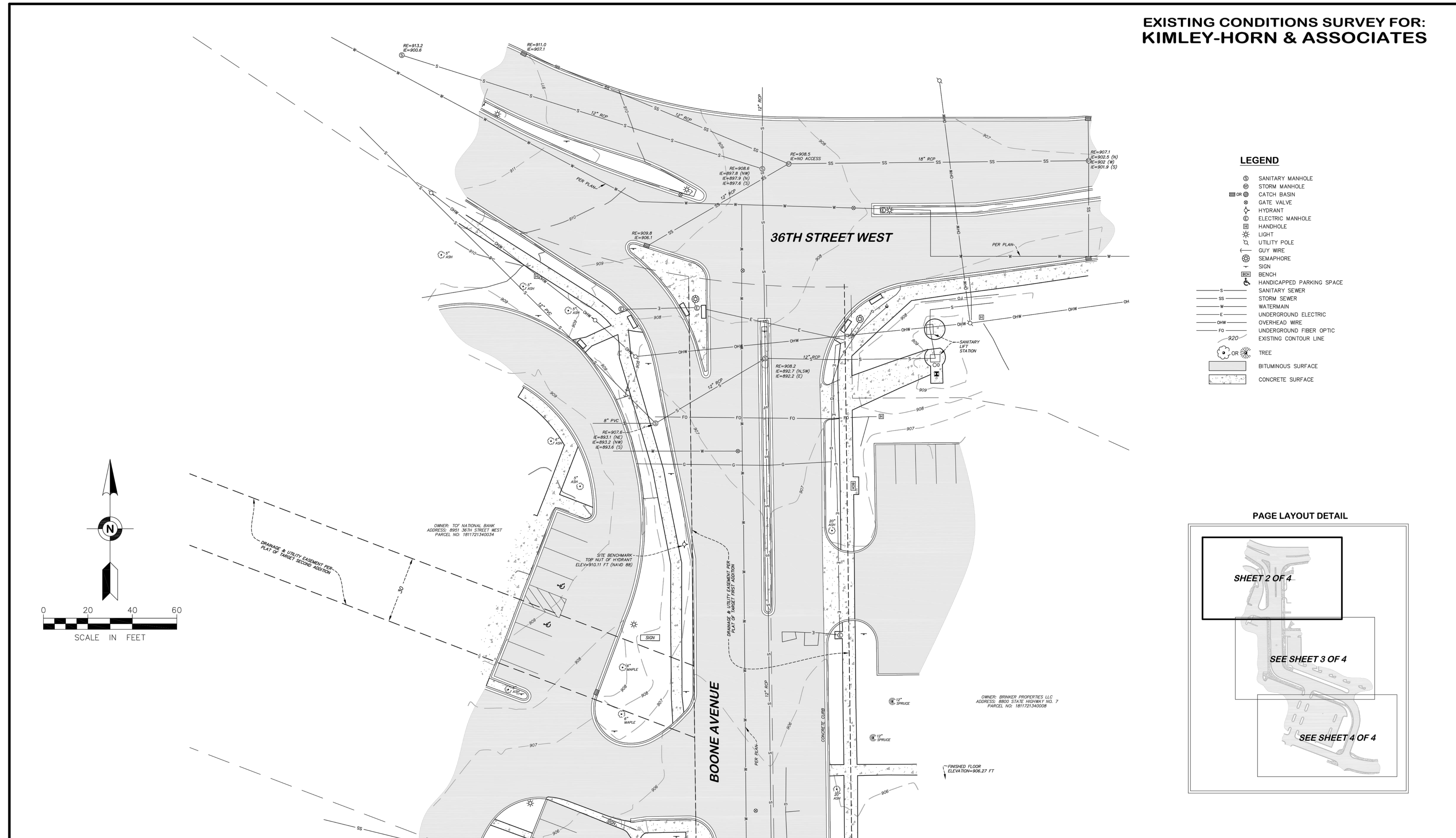
SURVEY FOR:
KIMLEY-HORN & ASSOCIATES

PROPERTY ADDRESS:
BOONE AVENUE
ST. LOUIS PARK, MINNESOTA 55426

EFN
Egan, Field & Nowak, Inc.
land surveyors since 1872

1229 Tyler Street NE, Suite 100
Minneapolis, Minnesota 55413
PHONE: (612) 466-3300
FAX: (612) 466-3383
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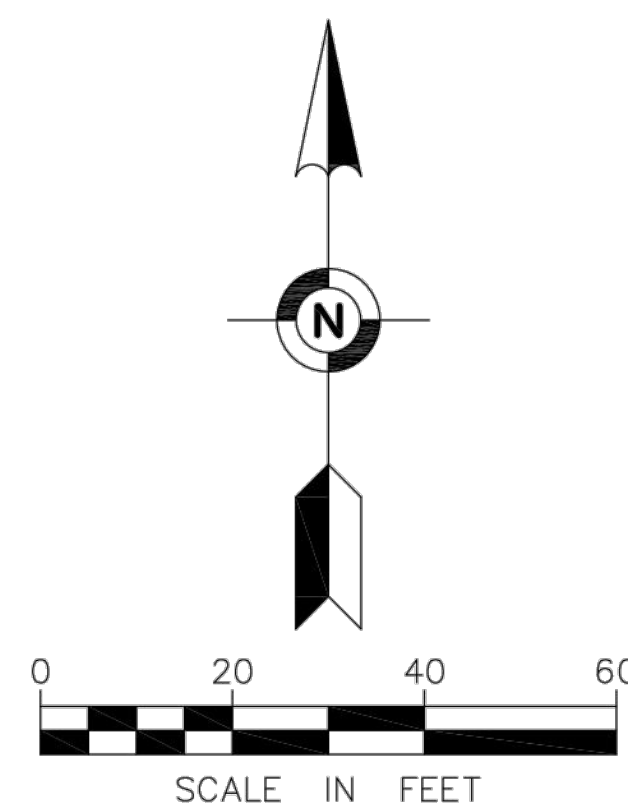
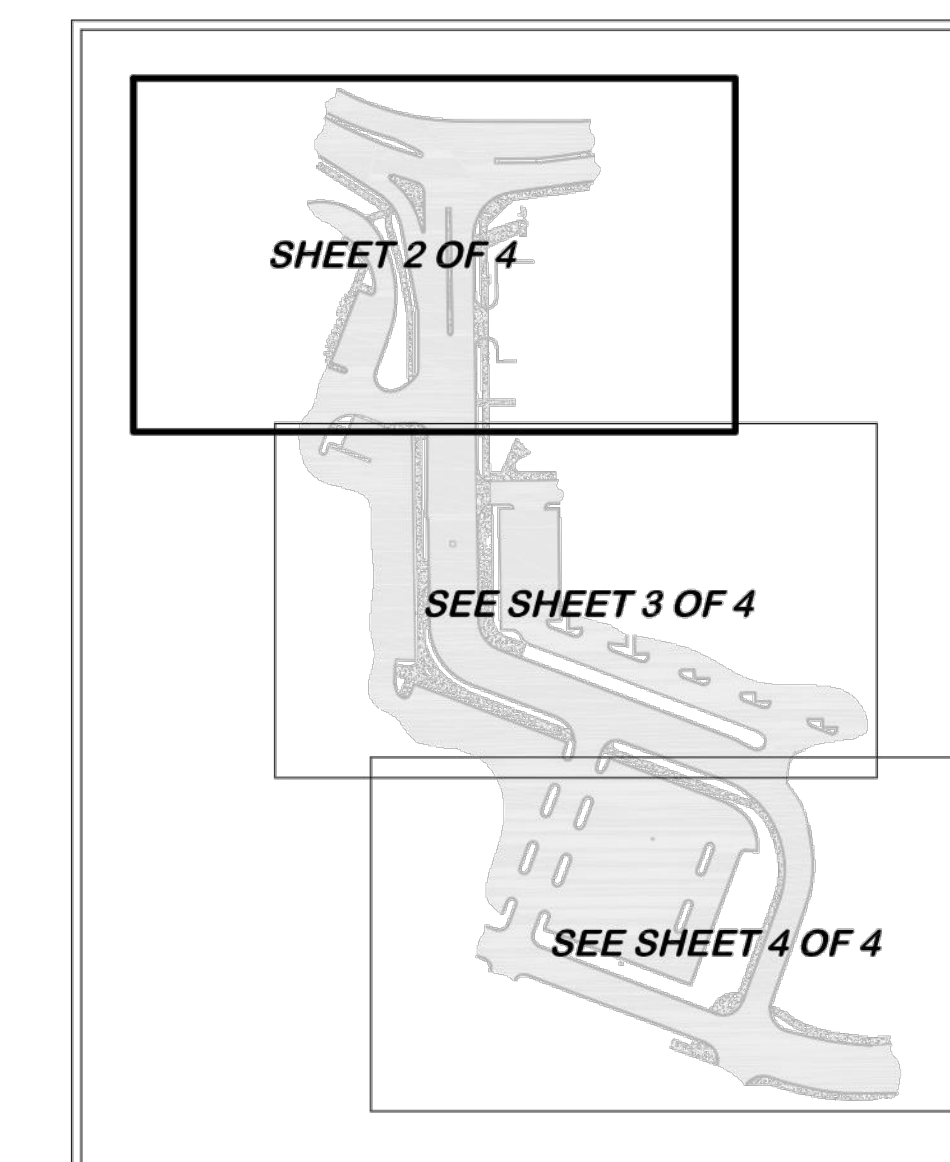
**EXISTING CONDITIONS SURVEY FOR:
KIMLEY-HORN & ASSOCIATES**



LEGEND

- SANITARY MANHOLE
- STORM MANHOLE
- ⊕ CATCH BASIN
- ⊕ GATE VALVE
- ⊕ HYDRANT
- ⊕ ELECTRIC MANHOLE
- ⊕ MANHOLE
- ⊕ LIGHT
- ⊕ UTILITY POLE
- ⊕ GUY WIRE
- ⊕ SEMAPHORE
- ⊕ SIGN
- ⊕ BENCH
- ♿ HANDICAPPED PARKING SPACE
- S — SANITARY SEWER
- SS — STORM SEWER
- W — WATERMAIN
- E — UNDERGROUND ELECTRIC
- OW — OVERHEAD WIRE
- FO — UNDERGROUND FIBER OPTIC
- — — — — EXISTING CONTOUR LINE
- — — — — -920
- ⊕ TREE
- BITUMINOUS SURFACE
- CONCRETE SURFACE

PAGE LAYOUT DETAIL



FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
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		LS		
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JOB NO. 39341				
FILE NO.				
		CHECKED BY: ER		

**EXISTING CONDITIONS
SURVEY**

SURVEY FOR:
KIMLEY-HORN & ASSOCIATES

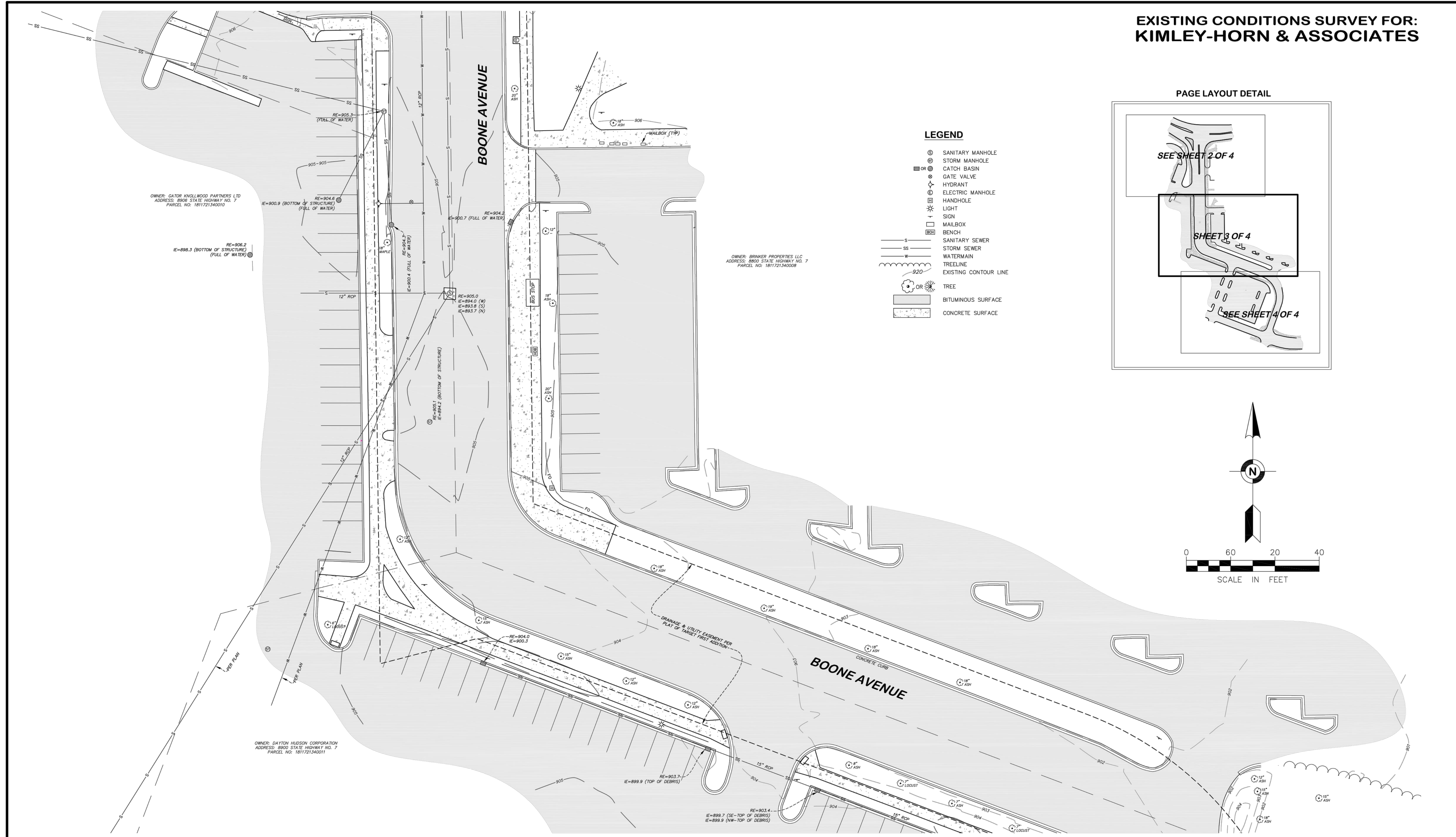
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BOONE AVENUE
ST. LOUIS PARK, MINNESOTA 55426



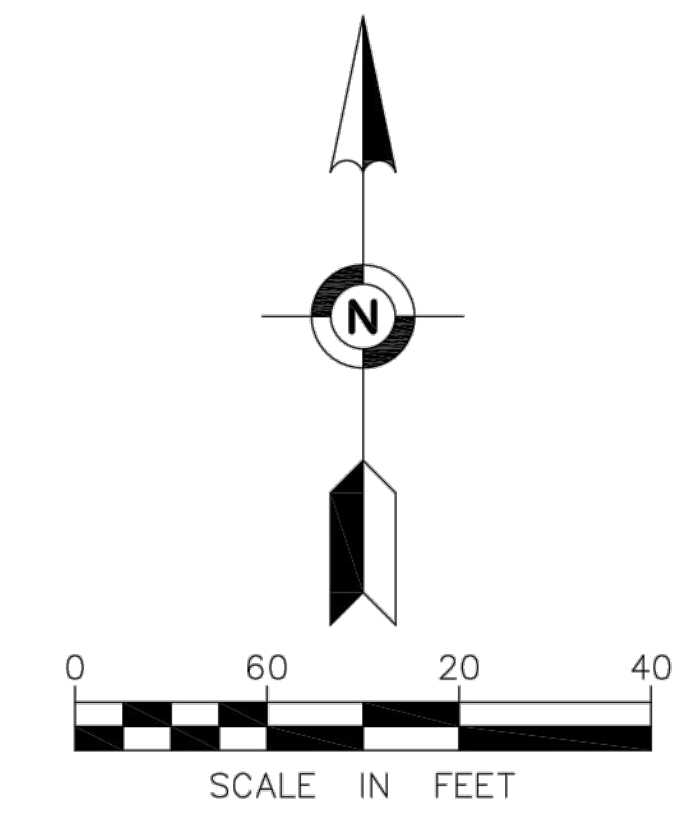
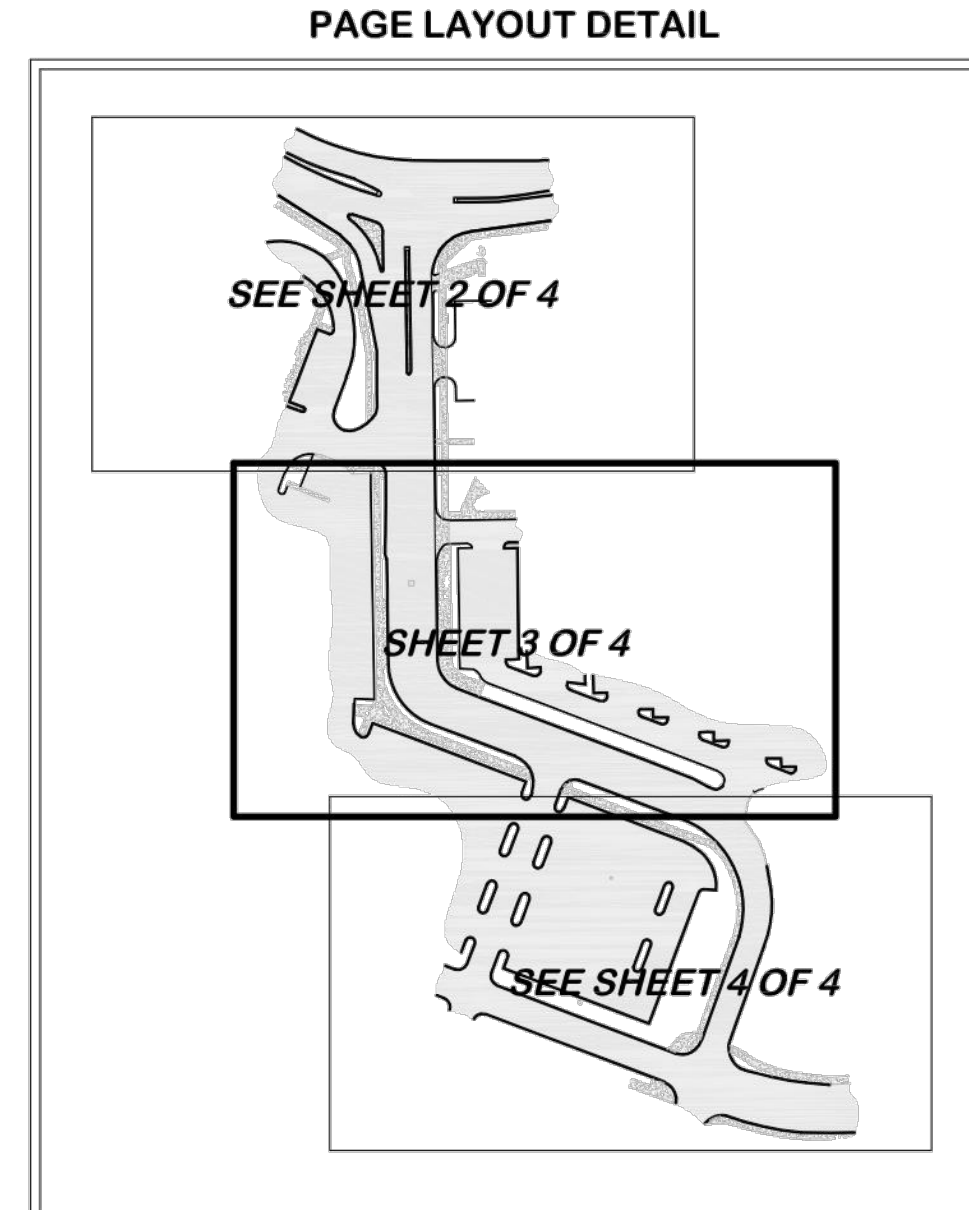
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**EXISTING CONDITIONS SURVEY FOR:
KIMLEY-HORN & ASSOCIATES**



- LEGEND**
- ⊙ SANITARY MANHOLE
 - ⊙ STORM MANHOLE
 - ⊙ CATCH BASIN
 - ⊙ GATE VALVE
 - ⊙ HYDRANT
 - ⊙ ELECTRIC MANHOLE
 - ⊙ HANDHOLE
 - ⊙ LIGHT
 - ⊙ SIGN
 - ⊙ MAILBOX
 - ⊙ BENCH
 - S— SANITARY SEWER
 - SS— STORM SEWER
 - W— WATERMAIN
 - T— TREE LINE
 - C— EXISTING CONTOUR LINE
 - ⊙ TREE
 - ▨ BITUMINOUS SURFACE
 - ▨ CONCRETE SURFACE



FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
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		L.S.		
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39341.dwg				
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FILE NO.				

EXISTING CONDITIONS SURVEY

SURVEY FOR:
KIMLEY-HORN & ASSOCIATES

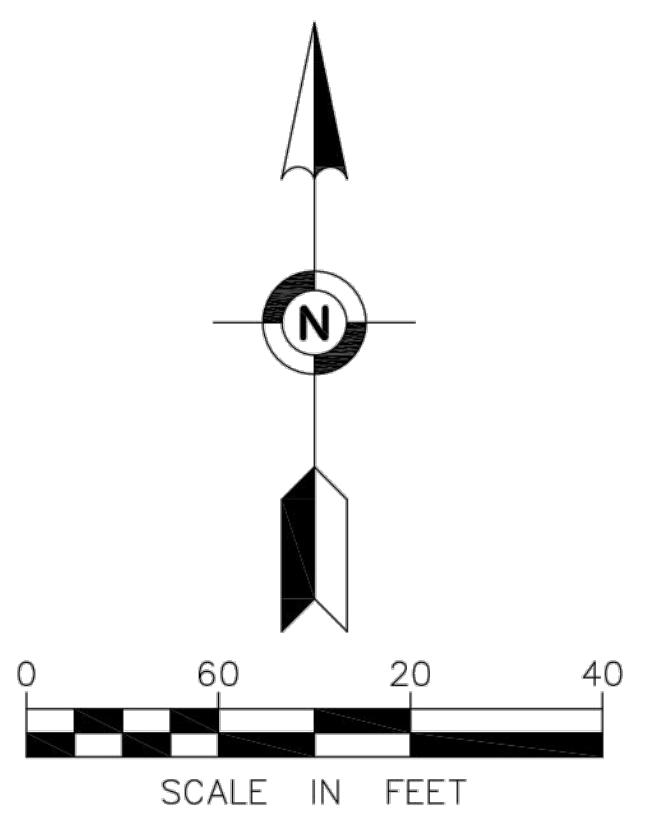
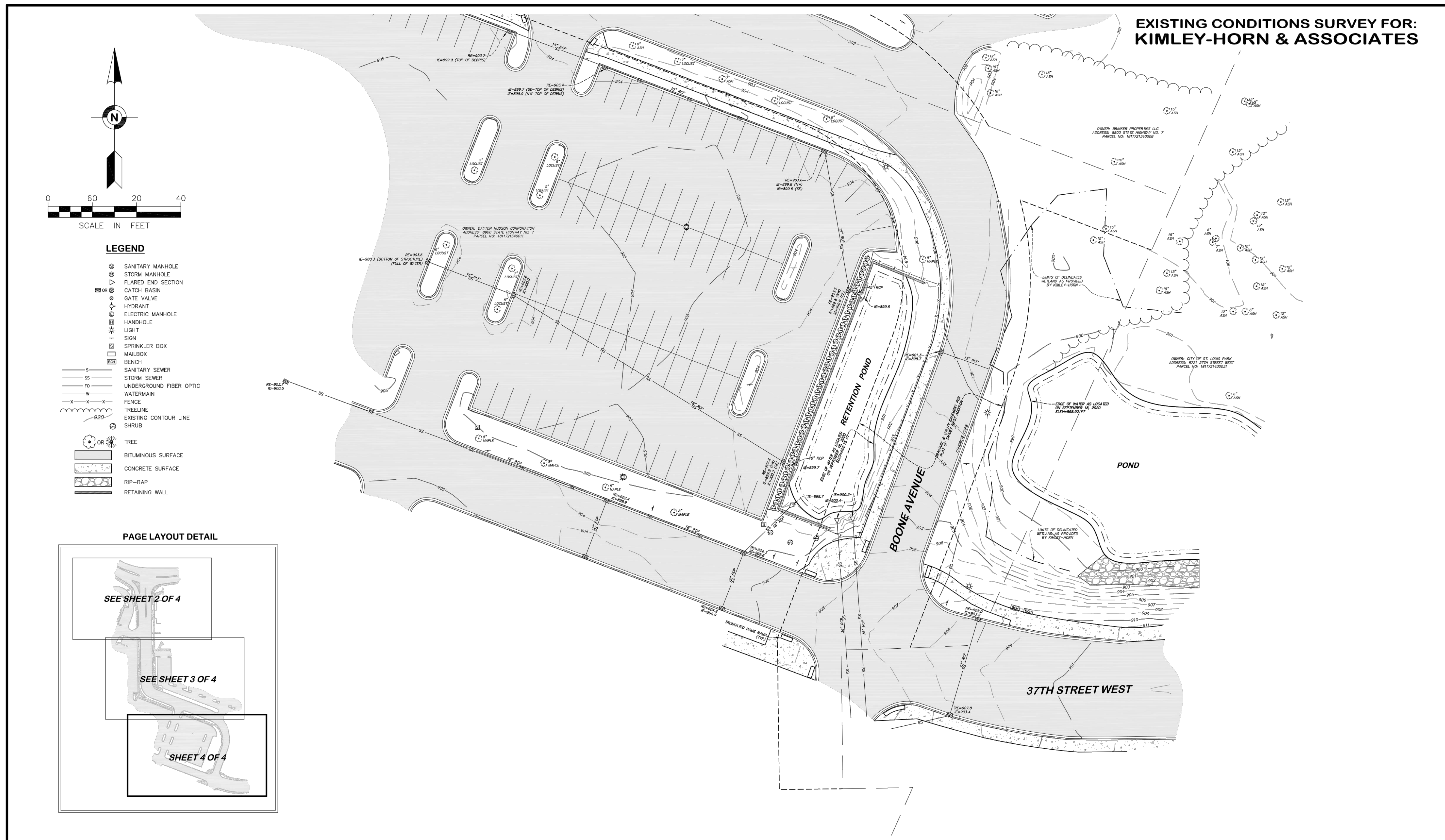
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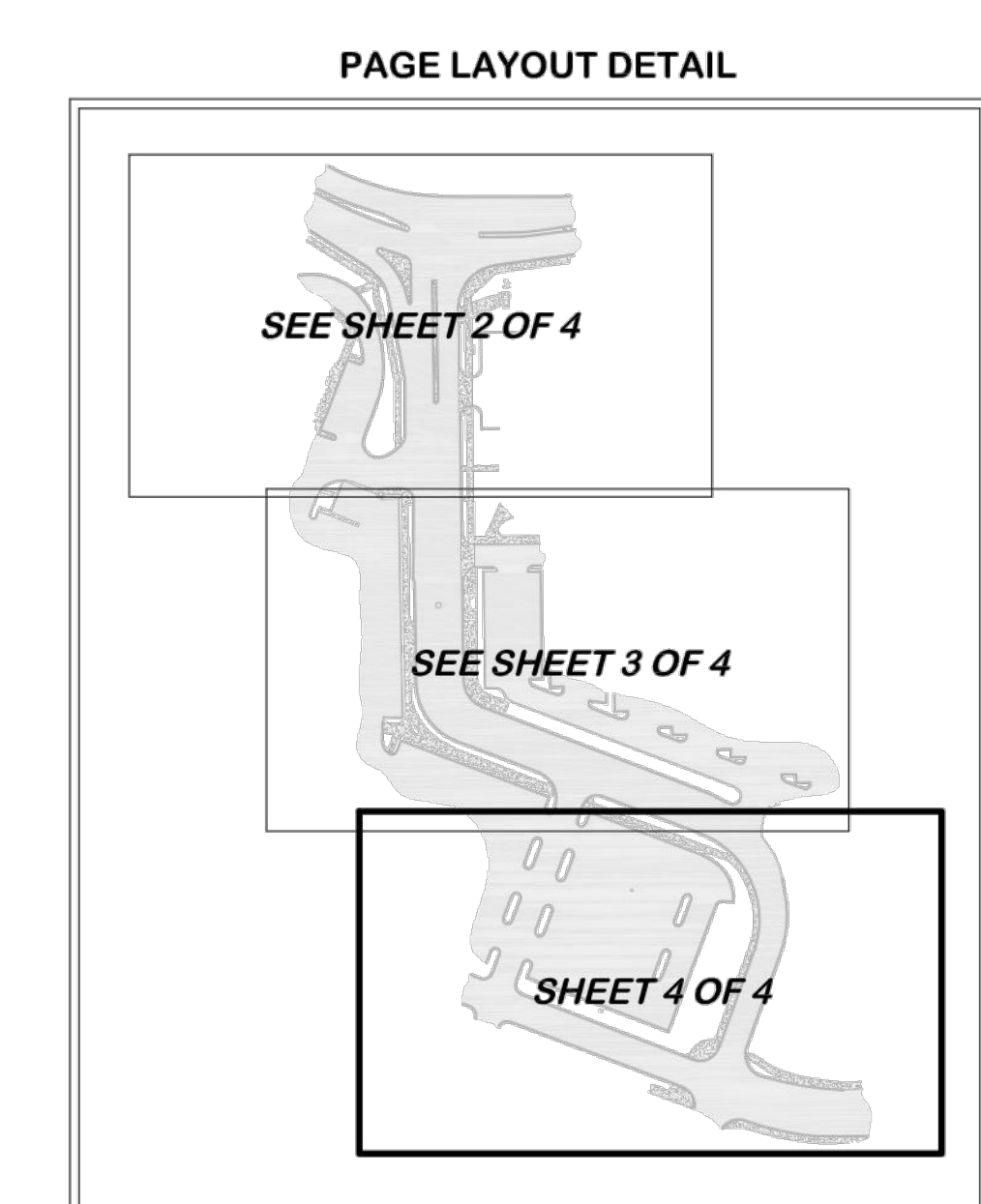
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**EXISTING CONDITIONS SURVEY FOR:
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- LEGEND**
- SANITARY MANHOLE
 - ⊙ STORM MANHOLE
 - ▷ FLARED END SECTION
 - ⊕ CATCH BASIN
 - ⊕ GATE VALVE
 - ⊕ HYDRANT
 - ⊕ ELECTRIC MANHOLE
 - ⊕ HANDHOLE
 - ⊕ LIGHT
 - ⊕ SIGN
 - ⊕ SPRINKLER BOX
 - ⊕ MAILBOX
 - ⊕ BENCH
 - SANITARY SEWER
 - STORM SEWER
 - FG UNDERGROUND FIBER OPTIC
 - WATERMAIN
 - FENCE
 - TREELINE
 - EXISTING CONTOUR LINE
 - SHRUB
 - TREE
 - BTUMINOUS SURFACE
 - CONCRETE SURFACE
 - RIP-RAP
 - RETAINING WALL



FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
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FILE NO.		ER		

EXISTING CONDITIONS SURVEY

SURVEY FOR:
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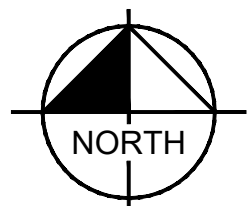
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GRAPHIC SCALE IN FEET
0 15 30 60

Various Retail Stores
8906 Highway 7
St. Louis Park, MN 55426
1-story block building
area=56,937 sq. ft.

Apartment Building

BOONE AVENUE

BOONE AVENUE

BOONE AVENUE

44 EXISTING PARKING SPACES

231 EXISTING PARKING SPACES
184 PROPOSED PARKING SPACES

47 PARKING SPACES REMOVED FOR
PROPOSED COMPENSATORY STORAGE



174,814 SF
FFE=907.00

**698/3.99 TOTAL EXISTING PARKING SPACES
REQUIRED PARKING- SHOPPING CENTERS:
1 STALL/ 250 SF BUILDING AREA(4.0/1,000 SF):
700/4.00 PARKING SPACES REQUIRED
649/3.71 PARKING SPACES PROPOSED
47 NET PARKING SPACES LOST
2 FUTURE SPACES LOST
15 EXISTING ADA SPACES
15 ADA SPACES REQUIRED
15 ADA SPACES PROVIDED**

54 EXISTING PARKING SPACES

369 EXISTING PARKING SPACES
367 PROPOSED PARKING SPACES

FUTURE DRIVE UP PROJECT
24 DRIVE UP SPACES



Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL

PRELIMINARY

TARGET
ST. LOUIS PARK, MINNESOTA
BOONE AVE SOUTH
ST. LOUIS PARK, MN 55426

Project Number **T-2189**
Config:
Drawn By RAH / EW
Checked By RAH

GENERAL MASTER PLAN



C001

KITWC_LDEV/TARGET/T-2189_St.Louis Park_MNS Design/CAD/Plan/Sheet/C4-SITE PLAN.dwg February 24, 2021 - 4:55pm



Kimley-Horn

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Table with 3 columns: Date, No., Description. Row 1: 1/25/2021, 0, CITY / WATERSHED SUBMITTAL. Row 2: 2/24/2021, 1, CITY / WATERSHED RE-SUBMITTAL.

PRELIMINARY

TARGET ST. LOUIS PARK, MINNESOTA BOONE AVE SOUTH ST. LOUIS PARK, MN 55426

Project Number T-2189 Config: Drawn By RAH / EW Checked By RAH

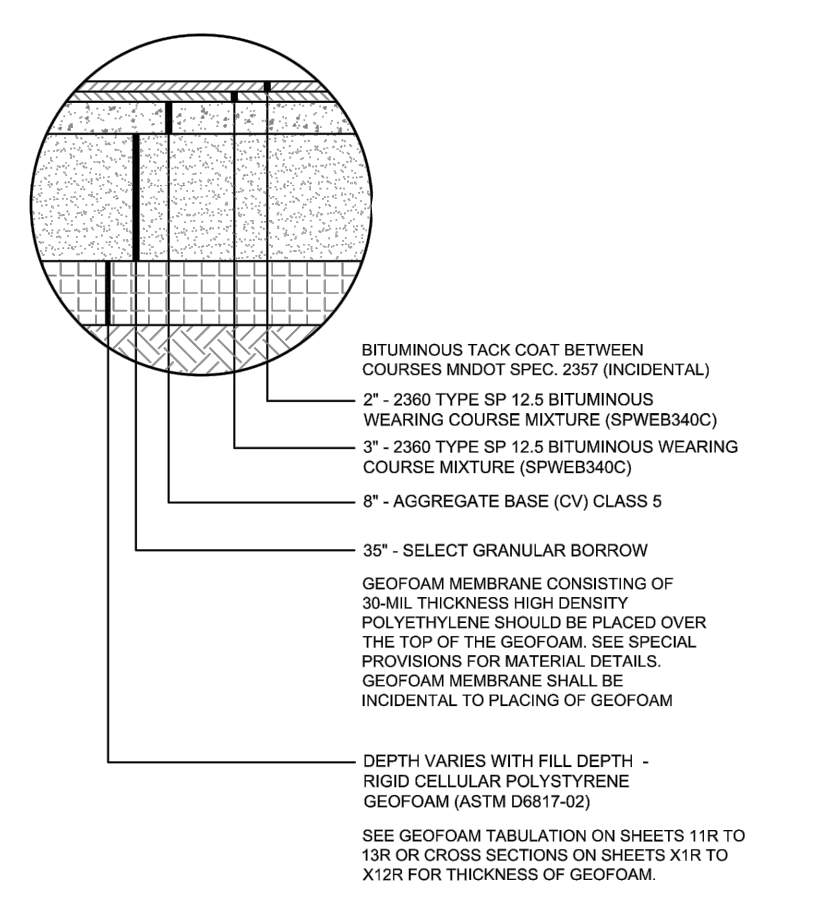
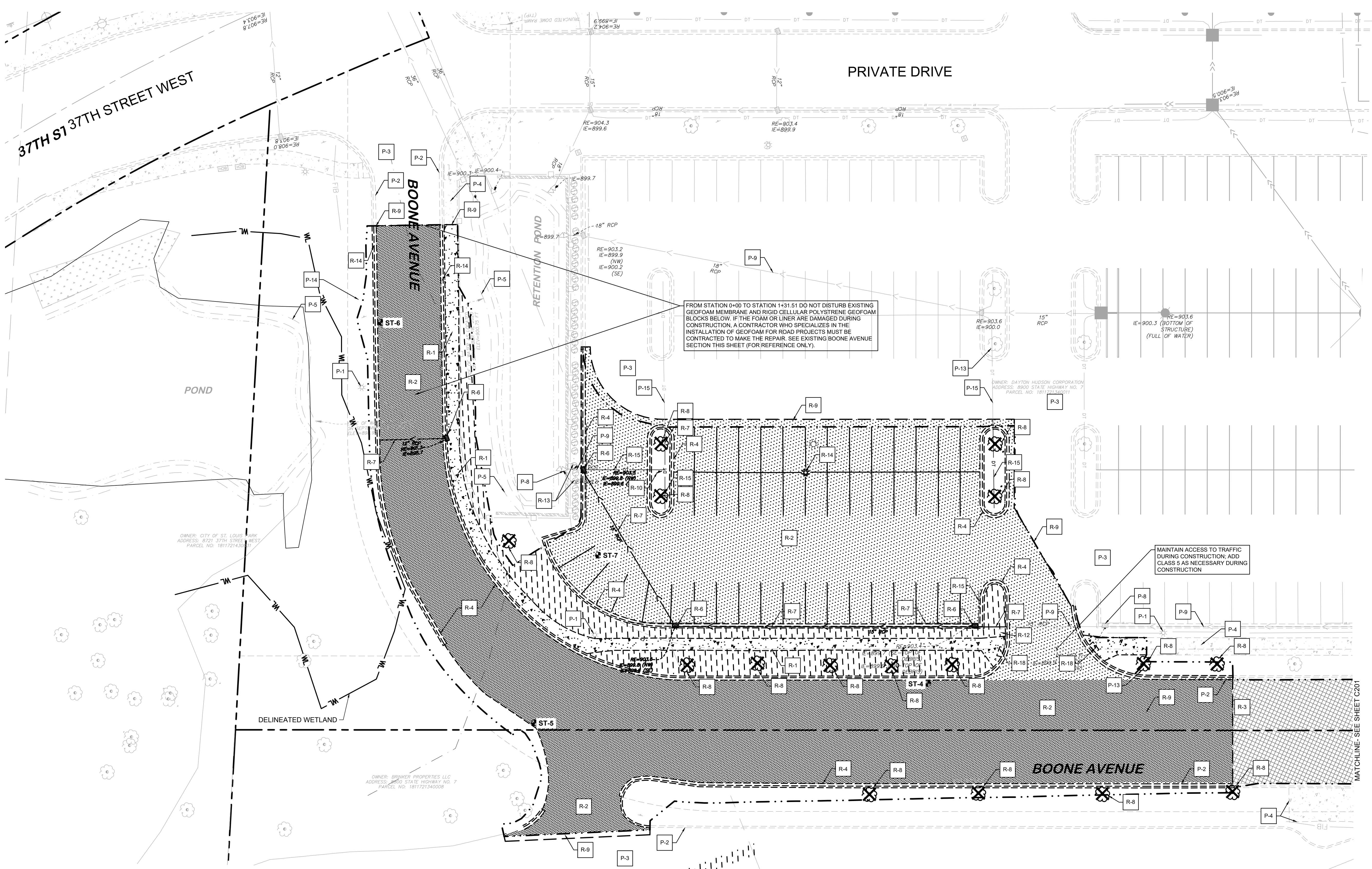
EXISTING CONDITIONS - DEMO PLAN

C200



Know what's below. Call before you dig.

NOTE: PAVEMENT REMOVAL TO BE DONE AT NIGHT. TRAFFIC TO BE MAINTAINED THROUGHOUT CONSTRUCTION. PROVIDE CLASS 5 UNTIL PAVEMENT IS PLACED. VIDEO TAPE THE SITE PRIOR TO COMPLETING REMOVALS AND AFTER PLACING SUBGRADE TO CONFIRM CONDITION OF EXISTING ELEMENTS. ANY DAMAGE TO EXISTING ELEMENTS THAT ARE TO REMAIN MUST BE REPAIRED, RECONSTRUCTED, OR REPLACED BY CONTRACTOR AT NO COST TO OWNER.



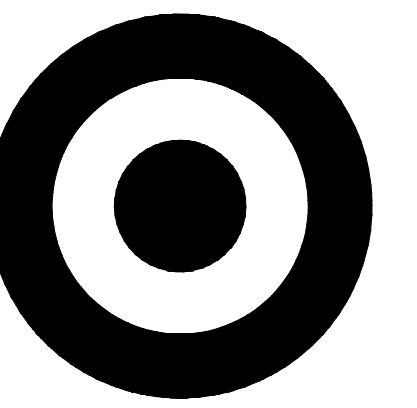
EXISTING BOONE AVENUE SECTION STATION 0+00-1+31.51 (FOR REFERENCE ONLY) SCALE: N.T.S.

LEGEND table with columns for EXISTING and REMOVALS, listing various utility and site features with their corresponding symbols.

KEYNOTE LEGEND / QUANTITIES table with columns for REFERENCE, NAME/NOTE, THICKNESS/DEPTH, UNIT TYPE, and QUANTITY. Lists items like concrete sidewalk, asphalt pavement, and various signs.

2020 CORE KEY table with columns for LOCATION, BITUMINOUS THICKNESS (INCHES), APPARENT BITUMINOUS LAYERS, AGGREGATE BASE THICKNESS (INCHES), AGGREGATE BASE TYPE, and SUBGRADE MATERIALS BY DEPTH.

- DEMOLITION PLAN NOTES: 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL... 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE... 3. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES... 4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES... 5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN... 6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION... 7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES... 8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRIQUES, ENCLOSURES, ETC... 9. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES... 10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED... 11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED... 12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT... 13. REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS... 14. ALL UTILITIES SHOWN ARE EXISTING UTILITIES... 15. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY... 16. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED... 17. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE...

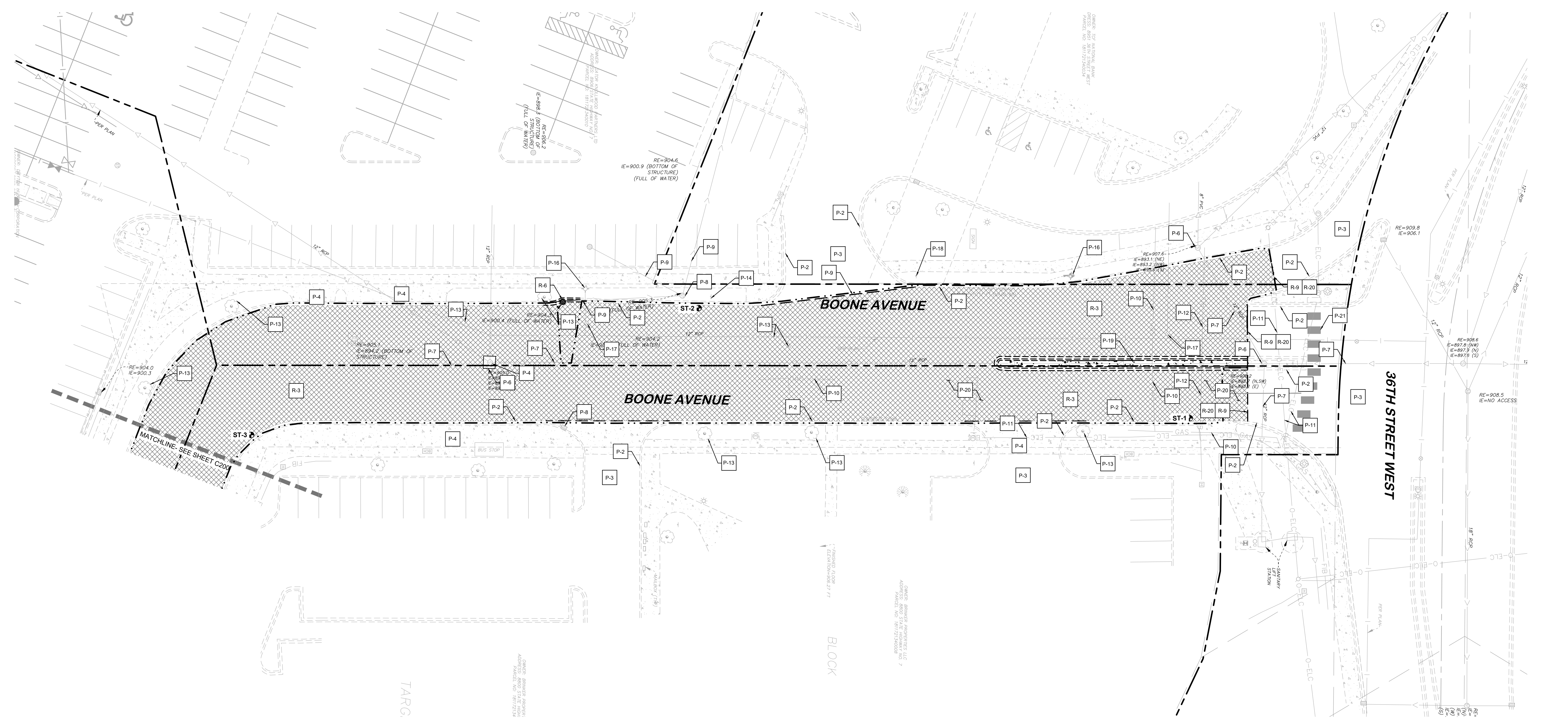
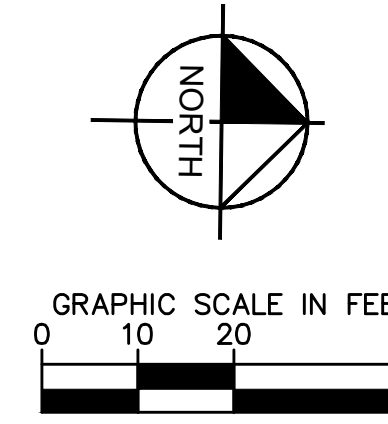


TARGET
1000 NICOLLET MALL
MINNEAPOLIS, MN 55403

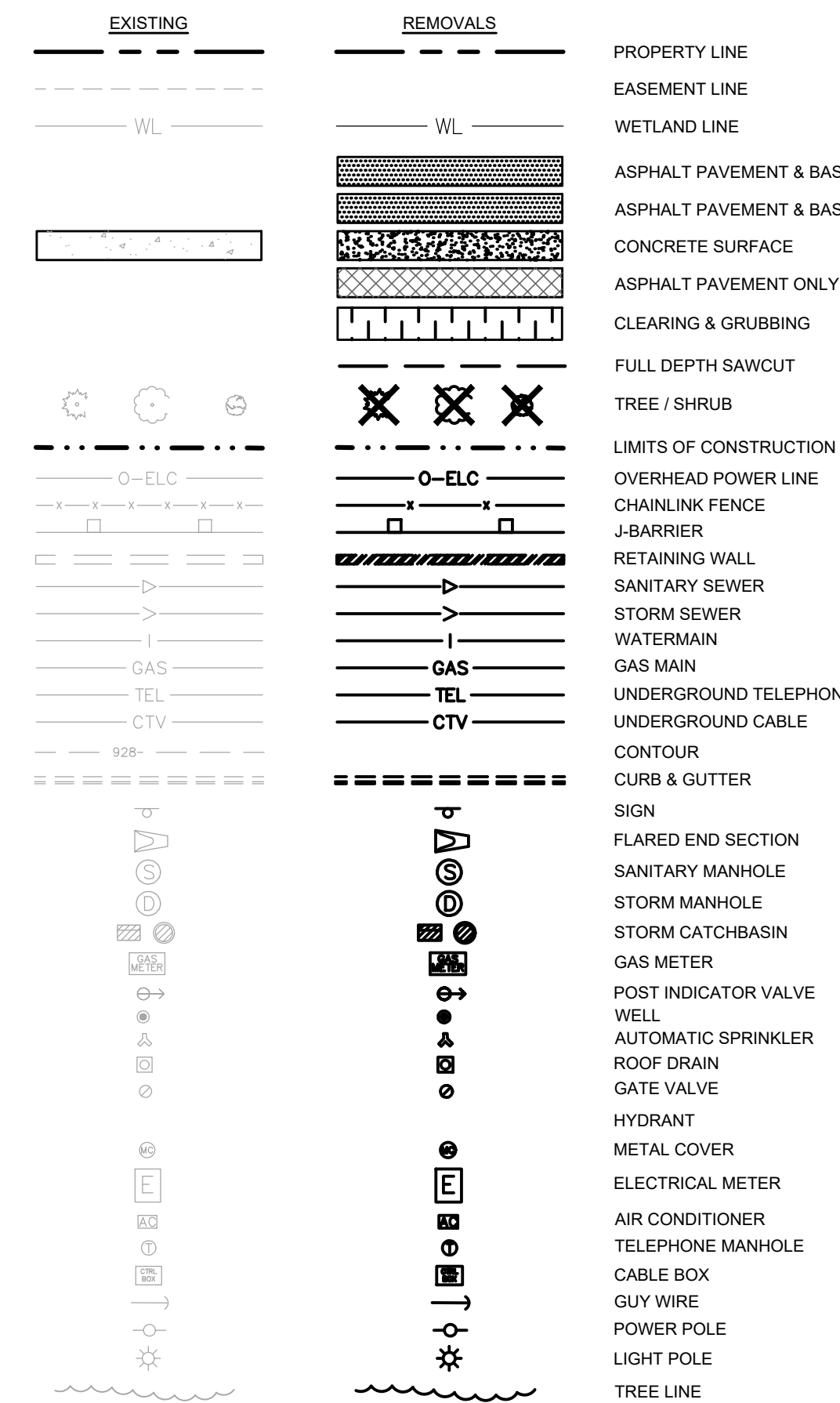
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787 EUSTIS ST, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
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Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL



LEGEND



KEYNOTE LEGEND / QUANTITIES

DETAIL REFERENCE/ KEYNOTE	NAME/ NOTE	THICKNESS/ DEPTH, TYPE	UNIT TYPE	QUANTITY
R-1	REMOVE CONCRETE SIDEWALK (TYP.)			
R-2	REMOVE ASPHALT PAVEMENT AND AGGREGATE BASE (TYP.)			
R-3	REMOVE ASPHALT PAVEMENT, AGGREGATE BASE TO REMAIN (TYP.)			
R-4	REMOVE CONCRETE CURB AND GUTTER (TYP.)			
R-5	NOT USED			
R-6	REMOVE STORM STRUCTURE (TYP.)			
R-7	REMOVE STORM SEWER PIPE (TYP.)			
R-8	REMOVE TREE (TYP.)			
R-9	SAWCUT LINE / REMOVE CONCRETE AT NEAREST JOINT (TYP.)			
R-10	REMOVE SIGN			
R-12	REMOVE AND SALVAGE STOP SIGN			
R-13	REMOVE SHRUB (TYP.)			
R-14	REMOVE AND SALVAGE LIGHT POLE			
R-15	REMOVE DRAIN TILE			
R-16	REMOVE ASPHALT PAVEMENT & BASE, PARKING LOT (TYP.)			
R-17	REMOVE CONCRETE PAVEMENT			
R-18	REMOVE AND SALVAGE TRUNCATED DOMES			
R-19	REMOVE MONOLITHIC CONCRETE MEDIAN			
R-20	MEET MILL AND OVERLAY LIMITS FROM PREVIOUS CITY PROJECT. FIELD VERIFY LIMITS			

P-1	PROTECT LIGHT POLE IN PLACE (TYP.)
P-2	PROTECT CURB & GUTTER IN PLACE (TYP.)
P-3	PROTECT ASPHALT PAVEMENT IN PLACE (TYP.)
P-4	PROTECT CONCRETE IN PLACE (TYP.)
P-5	PROTECT WETLAND IN PLACE, DO NOT ENCROACH (TYP.)
P-6	PROTECT SANITARY SEWER MANHOLE IN PLACE (TYP.)
P-7	PROTECT SANITARY SEWER LINE IN PLACE (TYP.)
P-8	PROTECT STORM SEWER STRUCTURE IN PLACE (TYP.)
P-9	PROTECT STORM SEWER LINE IN PLACE (TYP.)
P-10	PROTECT GAS LINE AND APPURTENANCES IN PLACE (TYP.)
P-11	PROTECT ELECTRIC LINE AND STRUCTURES IN PLACE (TYP.)
P-12	PROTECT FIBER OPTICS LINE IN PLACE (TYP.)
P-13	EXISTING TREE TO REMAIN (TYP.)
P-14	EXISTING "SPEED LIMIT 20" SIGN TO REMAIN, PROTECT IN PLACE
P-15	PROTECT DRAIN TILE IN PLACE (TYP.)
P-16	PROTECT HYDRANT IN PLACE (TYP.)
P-17	PROTECT GATE VALVE IN PLACE (TYP.)
P-18	EXISTING METRO TRANSIT BUS SIGN TO REMAIN, PROTECT IN PLACE
P-19	EXISTING BREMER BANK SIGN TO REMAIN, PROTECT IN PLACE
P-20	EXISTING SIGNAL LOOPS TO REMAIN, PROTECT IN PLACE. REPLACE IF DAMAGED DURING CONSTRUCTION. CONTRACTOR TO VERIFY LOOPS ARE WORKING AFTER CONSTRUCTION
P-21	REMOVE EXISTING CROSSWALK BLOCKS, SEE SHEET C401 FOR REPLACEMENT (TYP.)

2020 CORE KEY

LOCATION	BITUMINOUS THICKNESS (INCHES)	APPARENT BITUMINOUS LAYERS	AGGREGATE BASE THICKNESS (INCHES)	AGGREGATE BASE TYPE	SUBGRADE MATERIALS BY DEPTH
ST-1	5-1/2	2	12-1/2	GRAVEL/RECYCLED	1-5:4 CLAYEY SAND 4-6: SILTY SAND 6-11: CLAYEY SAND
ST-2	5-1/4	2	9	GRAVEL/RECYCLED	1-1:4 CLAYEY SAND 4-11: SILTY SAND
ST-3	10	4	NONE OBSERVED	N/A	1-5: LEAN CLAY 5-7: SILTY SAND 7-11: POORLY GRADED SAND WITH SILT 11-14: POORLY GRADED SAND WITH SILT
ST-4	9-3/4	4	12	GRAVEL/RECYCLED	4-12: ORGANIC SILT 12-14.5: POORLY GRADED SAND WITH SILT 14.5-17: SILTY SAND 17-15: CLAYEY SAND 15-14.5: POORLY GRADED SAND WITH SILT
ST-5	6 1/4	2	6	GRAVEL/RECYCLED	4-7: CLAYEY SAND 7-10: SILTY SAND 10-14.5: POORLY GRADED SAND 14.5-17: POORLY GRADED SAND WITH SILT
ST-6	6	2	6	GRAVEL/RECYCLED	1-4: SILTY SAND 4-7: CLAYEY SAND 7-10: SILTY SAND 10-14.5: POORLY GRADED SAND 14.5-17: POORLY GRADED SAND WITH SILT
ST-7	4	2	4	GRAVEL/RECYCLED	6-9: CLAYEY SAND 9-14.5: POORLY GRADED SAND WITH SILT

PRELIMINARY

TARGET
ST. LOUIS PARK, MINNESOTA
BOONE AVE SOUTH
ST. LOUIS PARK, MN 55426

Project Number **T-2189**

Config: RAH / EW

Checked By: RAH

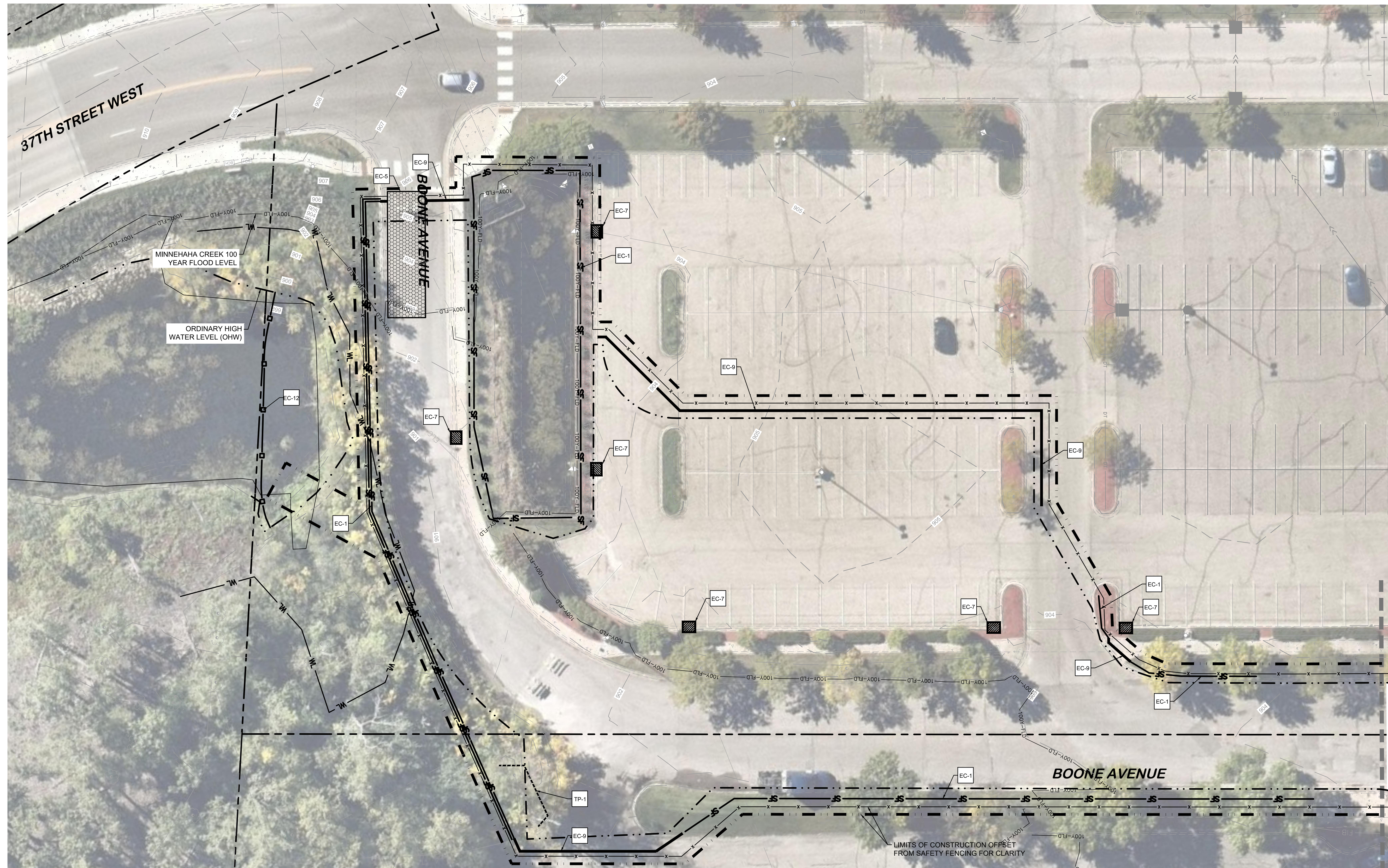
EXISTING CONDITIONS - DEMO PLAN

C201



Know what's below.
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K:\TWC_LDEV\TARGETT_2189_St.Louis.Park.MNS Design\CAD\Plan\Sheets\C3-EROS PH1 PLAN.dwg February 24, 2021 - 4:57pm
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LEGEND

	ROCK ENTRANCE (TYP.)
	EROSION CONTROL BLANKET (TYP.)
	INLET PROTECTION (TYP.)
	SILT FENCE (TYP.)
	LIMITS OF DISTURBANCE (TYP.)
	SAFETY FENCE (TYP.)
	LIMITS OF CONSTRUCTION
	TREE PROTECTION FENCE (TYP.)
	ROCK LOG (TYP.)

KEYNOTE LEGEND / QUANTITIES

DETAIL REFERENCE/ KEYNOTE	NAME/ NOTE	THICKNESS/ DEPTH, TYPE	UNIT TYPE	QUANTITY
EC-1	SILT FENCE MACHINE SLICED (SEE DETAIL) (TYP.)		LINEAR FEET	953
EC-3	BIO-LOG (SEE DETAIL) (TYP.)		LINEAR FEET	-
EC-6	CONSTRUCTION ENTRANCE (SEE DETAIL) (TYP.)		EACH	1
EC-7	INLET PROTECTION GEOTEXTILE BAG (SEE DETAIL) (TYP.)		EACH	9
EC-8	ROCK LOG		LINEAR FEET	110
EC-11	EROSION CONTROL BLANKET (SEE DETAIL) (TYP.)		SQUARE FEET	4,315
EC-12	FLOATING SILT CURTAIN (SEE DETAIL)		LINEAR FEET	96
TR-1	TREE PROTECTION FENCE		LINEAR FEET	38

LIMITS OF DISTURBANCE	1.64 AC
LIMITS OF CONSTRUCTION	1.64 AC
PRE-DEVELOPMENT PERVIOUS AREA	0.44 AC
PRE-DEVELOPMENT IMPERVIOUS AREA	1.20 AC
POST-DEVELOPMENT PERVIOUS AREA	0.79 AC
POST-DEVELOPMENT IMPERVIOUS AREA	0.85 AC

EROSION CONTROL PLAN NOTES

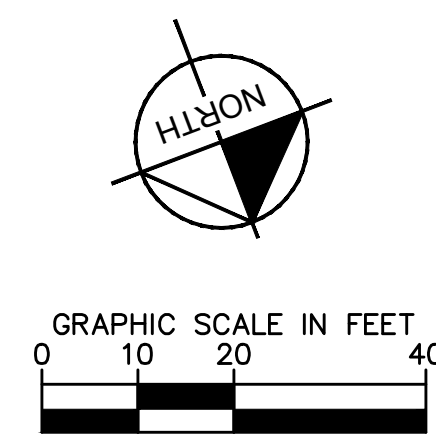
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
- THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
- WITHIN ONE WEEK (7 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOO, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
- ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
- REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
- THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
- IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.
- THE CONTRACTOR SHALL MONITOR THE MINNEHAHA CREEK DAM ELEVATIONS AND THE WEATHER FORECAST AND BE PREPARED FOR INCLEMENT WEATHER CONDITIONS.

SEQUENCE OF CONSTRUCTION:

- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
- TEMPORARILY SEED THROUGHOUT CONSTRUCTION, DENIED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
 - INSTALL LIFTILLES, UNDERDRAINS, STORM SEWERS, UNDERGROUND SYSTEM, CURBS AND CURSTERS.
 - INSTALL APPROPRIATE INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
 - PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE AND INSTALL STRIPING.
 - INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 - COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 - OBTAIN CONCURRENCE WITH THE CIVIL ENGINEERING CONSULTANT THAT THE SITE HAS BEEN FULLY STABILIZED THEN:
 - REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
 - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF BMPs.



Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL



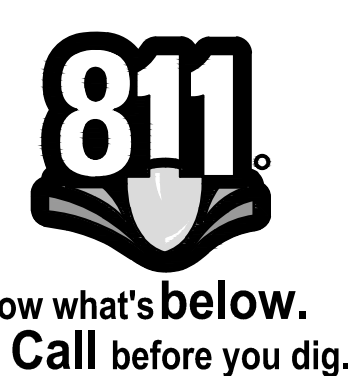
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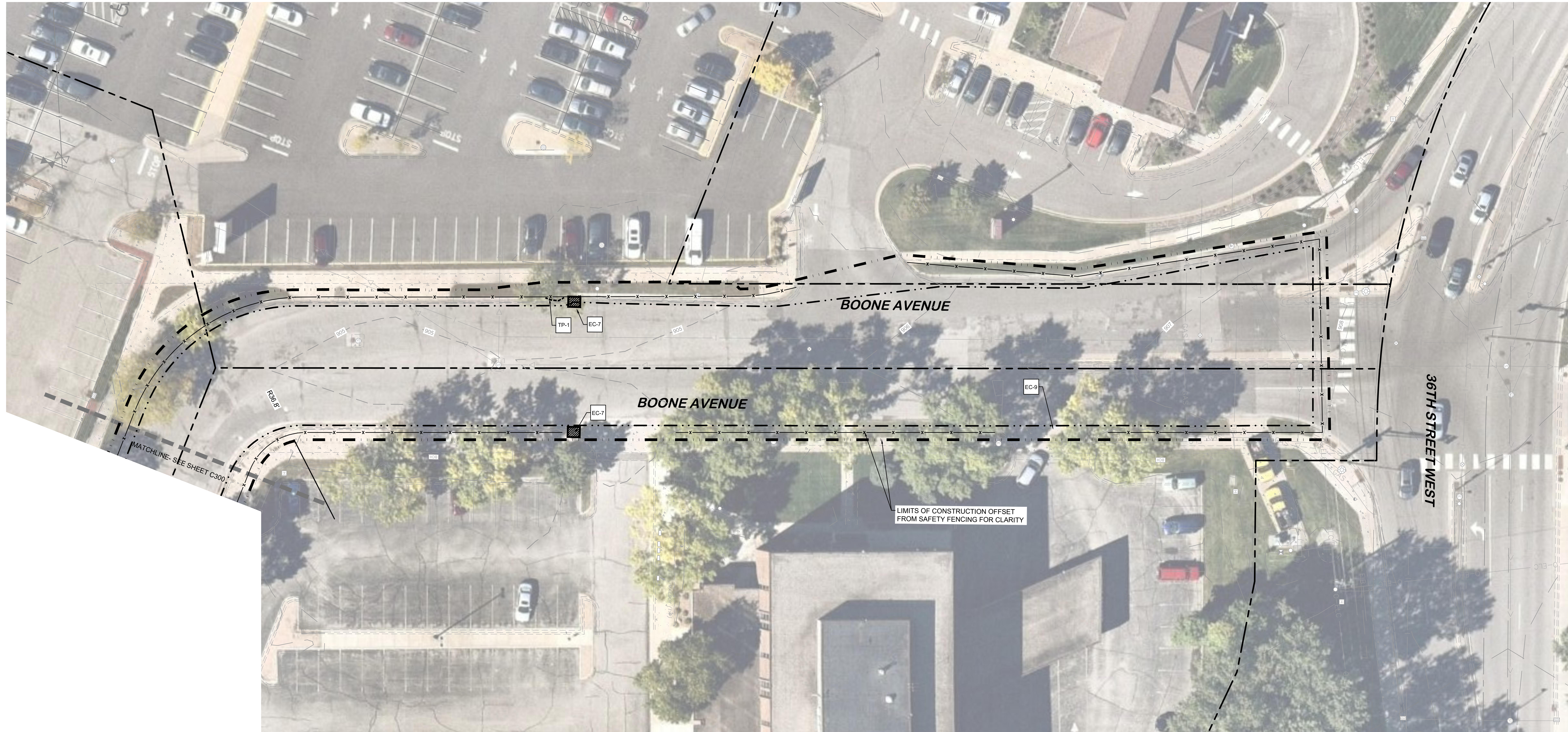
Project Number T-2189

Config:
 Drawn By RAH / EW
 Checked By RAH

PHASE 1 EROSION AND SEDIMENT CONTROL PLAN



C300



LEGEND

- ROCK ENTRANCE (TYP.)
- EROSION CONTROL BLANKET (TYP.)
- INLET PROTECTION (TYP.)
- SILT FENCE (TYP.)
- LIMITS OF DISTURBANCE (TYP.)
- SAFETY FENCE (TYP.)
- LIMITS OF CONSTRUCTION
- TREE PROTECTION FENCE (TYP.)
- ROCK LOG (TYP.)

KEYNOTE LEGEND / QUANTITIES

DETAIL REFERENCE / KEYNOTE	NAME / NOTE	THICKNESS / DEPTH / TYPE	UNIT TYPE	QUANTITY
EC-1	SILT FENCE MACHINE SLICED (SEE DETAIL) (TYP.)		LINEAR FEET	953
EC-3	BIO-LOG (SEE DETAIL) (TYP.)		LINEAR FEET	-
EC-6	CONSTRUCTION ENTRANCE (SEE DETAIL) (TYP.)		EACH	1
EC-7	INLET PROTECTION GEOTEXTILE BAG (SEE DETAIL) (TYP.)		EACH	9
EC-8	ROCK LOG		LINEAR FEET	110
EC-11	EROSION CONTROL BLANKET (SEE DETAIL) (TYP.)		SQUARE FEET	4,315
EC-12	FLOATING SILT CURTAIN (SEE DETAIL)		LINEAR FEET	96
TP-1	TREE PROTECTION FENCE		LINEAR FEET	38

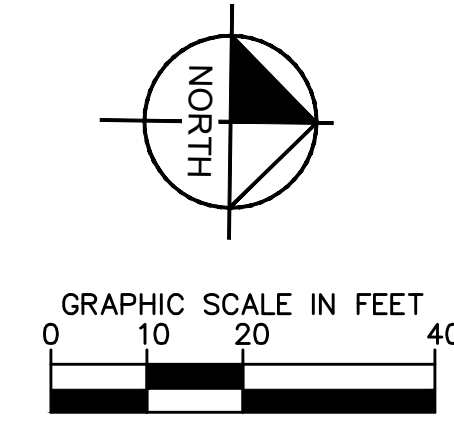
LIMITS OF DISTURBANCE	1.64 AC
LIMITS OF CONSTRUCTION	1.64 AC
PRE-DEVELOPMENT PERVIOUS AREA	0.44 AC
PRE-DEVELOPMENT IMPERVIOUS AREA	1.20 AC
POST-DEVELOPMENT PERVIOUS AREA	0.79 AC
POST-DEVELOPMENT IMPERVIOUS AREA	0.85 AC

NOTE

SEE SHEET 300 FOR EROSION CONTROL AND SEQUENCE OF CONSTRUCTION



Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL



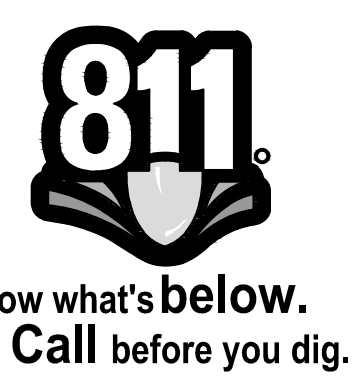
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Project Number **T-2189**
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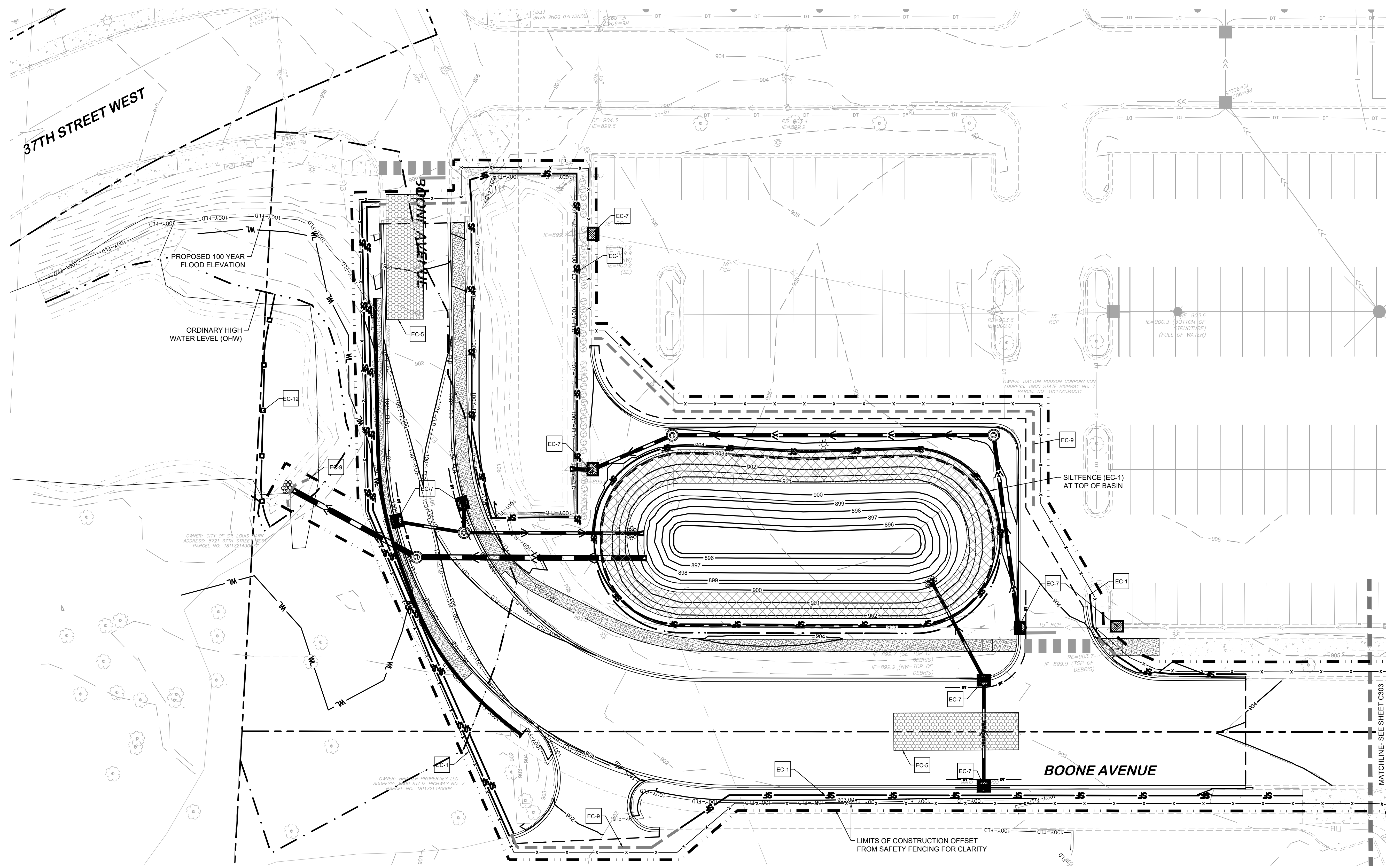
PHASE 1 EROSION AND SEDIMENT CONTROL PLAN

C301

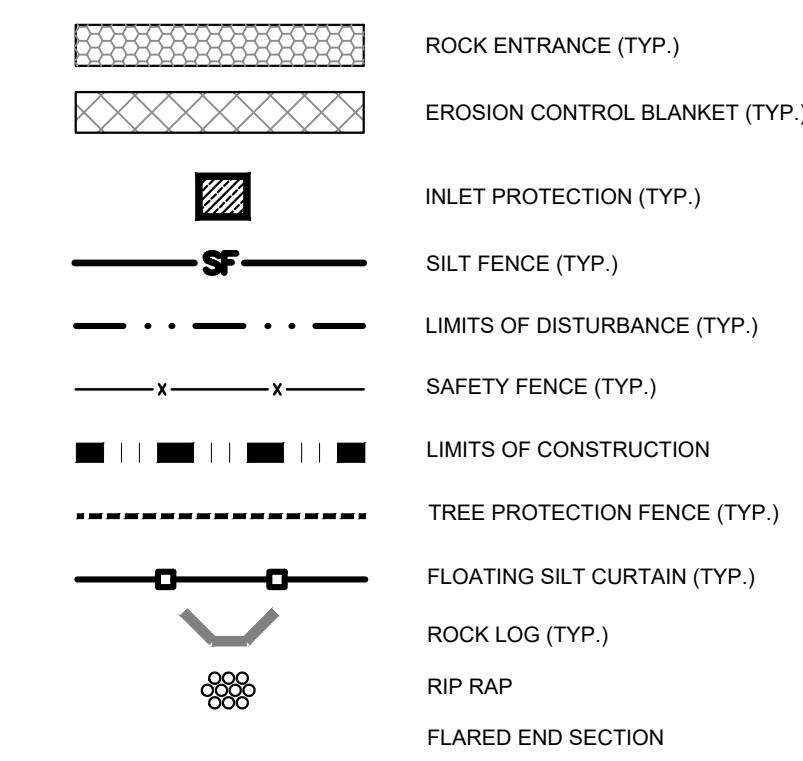


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LEGEND



KEYNOTE LEGEND / QUANTITIES

DETAIL REFERENCE/ KEYNOTE	NAME/ NOTE	THICKNESS/ DEPTH/ TYPE	UNIT TYPE	QUANTITY
EC-1	SILT FENCE MACHINE SLICED (SEE DETAIL) (TYP.)		LINEAR FEET	1,363
EC-3	BIO-LOG (SEE DETAIL) (TYP.)		LINEAR FEET	-
EC-6	CONSTRUCTION ENTRANCE (SEE DETAIL) (TYP.)		EACH	2
EC-7	INLET PROTECTION GEOTEXTILE BAG (SEE DETAIL) (TYP.)		EACH	11
EC-8	ROCK LOG		LINEAR FEET	110
EC-11	EROSION CONTROL BLANKET (SEE DETAIL) (TYP.)		SQUARE FEET	4,315
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POST-DEVELOPMENT PERVIOUS AREA	0.79 AC
POST-DEVELOPMENT IMPERVIOUS AREA	0.85 AC

EROSION CONTROL PLAN NOTES

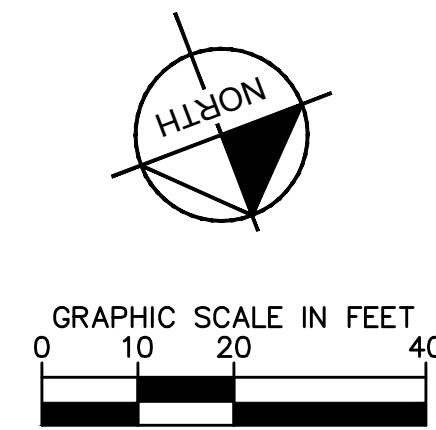
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
- THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
- WITHIN ONE WEEK (7 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOO, OR ROCK/BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
- ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
- REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
- THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
- IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.
- THE CONTRACTOR SHALL MONITOR THE MINNEHAWKA CREEK DAM ELEVATIONS AND THE WEATHER FORECAST AND BE PREPARED FOR INCLEMENT WEATHER CONDITIONS.

SEQUENCE OF CONSTRUCTION:

- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. IMMEDIATELY DENOTE THEM ON THE SITE MARKS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
- TEMPORARILY SEED THROUGHOUT CONSTRUCTION, DENIED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
 - INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, UNDERGROUND SYSTEM, CURBS AND GUTTERS.
 - INSTALL APPROPRIATE INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
 - PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE AND INSTALL STRIPING.
 - INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 - COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 - OBTAIN CONCURRENCE WITH THE CIVIL ENGINEERING CONSULTANT THAT THE SITE HAS BEEN FULLY STABILIZED THEN:
 - REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
 - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF BMPs.



Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL



PRELIMINARY



Project Number T-2189

Config:
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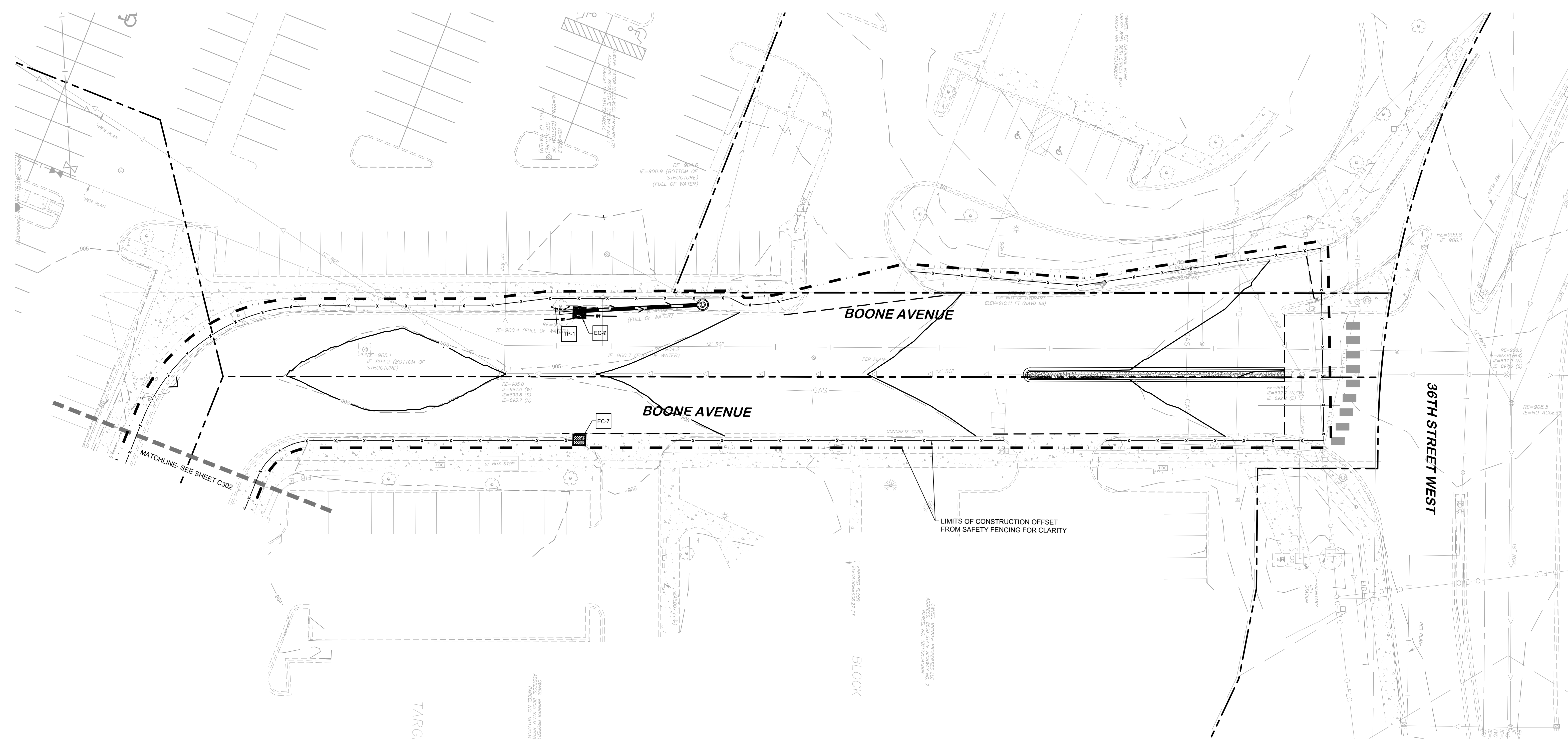
PHASE 2 EROSION AND SEDIMENT CONTROL PLAN



Know what's below. Call before you dig.

C302

K:\TWC_LDEV\TARGETT_2189_St.Louis.Park_MNS_Design\CAD\Plan\Sheet\C3 PHASE 2 EROSION AND SEDIMENT CONTROL PLAN.dwg February 24, 2021 - 4:59pm
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LEGEND

	ROCK ENTRANCE (TYP.)
	EROSION CONTROL BLANKET (TYP.)
	INLET PROTECTION (TYP.)
	SILT FENCE (TYP.)
	LIMITS OF DISTURBANCE (TYP.)
	SAFETY FENCE (TYP.)
	LIMITS OF CONSTRUCTION
	TREE PROTECTION FENCE (TYP.)
	ROCK LOG (TYP.)

KEYNOTE LEGEND / QUANTITIES

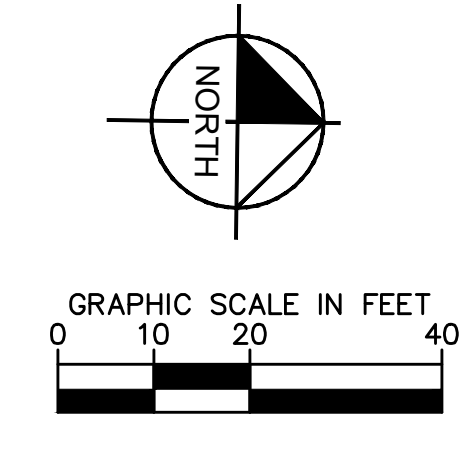
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- EROSION CONTROL PLAN NOTES**
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
 - THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
 - WITHIN TWO WEEKS (14 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOO, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
 - THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
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 - IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.
- SEQUENCE OF CONSTRUCTION:**
- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
- TEMPORARILY SEED THROUGHOUT CONSTRUCTION, DENIED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
 - INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, UNDERGROUND SYSTEM, CURBS AND GUTTERS.
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 - OBTAIN CONCURRENCE WITH THE CIVIL ENGINEERING CONSULTANT THAT THE SITE HAS BEEN FULLY STABILIZED THEN:
 - REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
 - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF BMPS.



Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL



PRELIMINARY



Project Number **T-2189**
 Config:
 Drawn By RAH / EW
 Checked By RAH

PHASE 2 EROSION AND SEDIMENT CONTROL PLAN



C303

PROJECT DESCRIPTION

- 1. THIS PROJECT CONSISTS OF THE DEMOLITION AND RECONSTRUCTION OF AN EXISTING PRIVATE DRIVE. THERE WILL BE ASSOCIATED SIDEWALKS, STORM SEWER AND A WET POND.

GENERAL NOTES

- A. PROJECT OFFICE WALL SWPPP POSTINGS: THE FOLLOWING ITEMS MUST BE POSTED TOGETHER IN A SINGLE, ORGANIZED LOCATION ON A WALL INSIDE THE PROJECT OFFICE: 1) SWPPP SITE MAPS (ALL PHASES); 2) SWPPP DETAIL SHEETS; 3) MAP SHOWING LOCATION OF OFFSITE IMPORT OR EXPORT FACILITY; 4) REVISIONS TO DETAILS, SITE MAPS, OR SWPPP-RELATED RFRS; 5) SITE SWPPP BINDER; 6) SWCT PLACARD; 7) CURRENT OWNER STORMWATER COMPLIANCE TRAINING CERTIFICATES FOR SUPERINTENDENTS) AND COMPLIANCE OFFICERS); AND 8) CERTIFICATIONS AND/OR TRAINING CERTIFICATES REQUIRED TO PERFORM INSPECTIONS BY THE APPLICABLE CONSTRUCTION GENERAL PERMIT OR AUTHORITY HAVING JURISDICTION.

EROSION AND SEDIMENT CONTROL NOTES

- A. SUBCONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

HAZARDOUS MATERIAL MANAGEMENT & SPILL REPORTING

ANY HAZARDOUS OR POTENTIALLY HAZARDOUS MATERIAL THAT IS BROUGHT ONTO THE CONSTRUCTION SITE SHALL BE HANDLED PROPERLY TO REDUCE THE POTENTIAL FOR STORMWATER POLLUTION. ALL MATERIALS USED ON THIS CONSTRUCTION SITE SHALL BE PROPERLY STORED, HANDLED, DISPENSED AND DISPOSED OF FOLLOWING ALL APPLICABLE LABELS, DIRECTIONS, FLAMMABLE AND COMBUSTIBLE LIQUIDS SHALL BE STORED AND HANDLED ACCORDING TO APPLICABLE REGULATIONS, AND, AT A MINIMUM, ACCORDING TO 29 CFR 1926.152. ONLY APPROVED CONTAINERS AND PORTABLE TANKS SHALL BE USED FOR STORAGE AND HANDLING OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.

SEQUENCE OF CONSTRUCTION

- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

MAINTENANCE

- 1. ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS, AND WITHIN 24 HOURS AT THE END OF A RAINFALL EVENT AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

WET POND NOTES

- 1. INSTALLATION OF INFILTRATION PRACTICES SHALL BE DONE DURING PERIODS OF DRY WEATHER AND COMPLETED BEFORE A RAIN EVENT. PLACEMENT OF ENGINEERED SOLS SHALL BE ON DRY NATIVE SOIL ONLY.

SWPPP UPDATES AND AMENDMENTS

THE GC MUST UPDATE THE SWPPP, INCLUDING THE JOBSITE BINDER AND SITE MAPS, TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE. UPDATES SHALL BE MADE DAILY TO TRACK PROGRESS WHEN ANY OF THE FOLLOWING ACTIVITIES OCCUR: BMP INSTALLATION, MODIFICATION OR REMOVAL, CONSTRUCTION ACTIVITIES (E.G., PAVING, STORM SEWER INSTALLATION, FOOTING INSTALLATION, ETC.), CLEARING, GRUBBING OR GRADING, OR TEMPORARY OR PERMANENT STABILIZATION.

THE CONTRACTOR MAY MODIFY OR ADD ADDITIONAL BMPs, WITHOUT CEC APPROVAL, IN AN EMERGENCY SITUATION TO PREVENT SEDIMENT DISCHARGE OR PROTECT WATER QUALITY. HOWEVER, GC MUST NOTIFY THE CEC AS SOON AS PRACTICAL AS TO THEIR ACTIONS TO DISCUSS THE NEED FOR ADDITIONAL OR SUPPLEMENTAL MEASURES AND TO OBTAIN THE REQUIRED APPROVALS. THE CONTRACTOR IS IMMEDIATELY RESPONSIBLE TO ENSURE COMPLIANCE WITH THE PERMIT AND PROTECTION OF DOWNSTREAM WATER QUALITY.

SWPPP DESIGNER:

BRIAN WURDEMAN, P.E. 767 EUSTIS STREET, SUITE 100 ST. PAUL, MN 55114 CERTIFICATION EXPIRES 2021 SIGNATURE:

INSTALLER CERTIFICATION

NAME: SWPPP CERTIFICATION ADDRESS: SIGNATURE:

INSPECTOR CERTIFICATION

NAME: SWPPP CERTIFICATION ADDRESS: SIGNATURE:

- BEST MANAGEMENT PRACTICES (BMPs) MUST BE IMPLEMENTED FOR THE GENERAL PERMIT ALLOWABLE DISCHARGES FOR THE DURATION OF THE PERMIT. THE TECHNIQUES DESCRIBED IN THIS SWPPP FOCUS ON PROVIDING CONTROL OF POLLUTANT DISCHARGES WITH PRACTICAL APPROACHES THAT UTILIZE READILY AVAILABLE MATERIALS AND EQUIPMENT.

- D. POWER WASHING: PROCESS WATER SUCH AS POWER WASHING WATER AND CONCRETE CUTTING EFFLUENT, AMONG OTHERS, MUST BE COLLECTED FOR TREATMENT AND DISPOSAL. IT MUST NOT BE FLUSHED INTO THE SITE STORM DRAIN SYSTEM OR DISCHARGED OFF-SITE.

- D. DISCHARGE POINTS: ALL DISCHARGE POINTS MUST BE INSPECTED TO DETERMINE WHETHER EROSION AND SEDIMENTATION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING DISCHARGE OF SEDIMENT FROM THE SITE AND/OR IMPACTS TO RECEIVING WATERS. SEDIMENT ACCUMULATION DOWNGRADIENT OF DISCHARGE LOCATIONS SHALL BE REPORTED AS A SEDIMENT DISCHARGE, AND THE POTENTIAL UPSTREAM CAUSE SHALL BE INVESTIGATED TO PREVENT FUTURE OCCURRENCE. CONTACT THE CM AND CEC TO DETERMINE APPROPRIATE ACTION FOR CLEANUP OF DISCHARGED SEDIMENT THAT MAY BE OUTSIDE OF THE LIMITS OF DISTURBANCE. SEE SAMPLING AND MONITORING OF EFFLUENT PLAN (IF APPLICABLE).

- E. SOIL: THE NATURAL RESOURCES CONSERVATION SERVICE'S (NRCS) WEB SOIL SURVEY FOR HENNEPIN COUNTY WAS REVIEWED FOR THE PROJECT SITE. ACCORDING TO THE SURVEY, THERE ARE FOUR SOIL MAPPING UNITS WITHIN THE STUDY AREA WHICH ARE GENERALLY CATEGORIZED AS URBAN LAND AND WATER, NONE OF WHICH HAVE A HYDRIC SOIL INDICATOR. ACCORDING TO SOIL INFORMATION COLLECTED DURING WETLAND DELINEATION (02/24/2020), THE TOP 24" OF THE SOIL CONSISTED OF SANDY LOAMS.

- F. INVASIVE SPECIES: THE PROJECT SITE CONTAINS SEVERAL INVASIVE SPECIES INCLUDING COMMON BUCKTHORN (RHAMNUS CATHARTICA), PURPLE LOOSESTRIFE (LYTHRUM SALICARIA). THESE PLANTS SHOULD BE IDENTIFIED AND ERADICATED ON-SITE WHEN POSSIBLE. IF REMOVAL OF PLANT MATERIAL IS NECESSARY, PROPERLY CONTAIN AND TRANSPORT MATERIALS TO A DISPOSAL SITE THAT WILL ACCEPT NOXIOUS WASTE.

- G. HISTORIC SITE: THE PROJECT SITE DOES NOT CONTAIN ANY KNOWN HISTORICAL SITES.

- H. ENCOUNTERING CONTAMINATION: BASED ON A REVIEW OF THE MINNESOTA POLLUTION CONTROL AGENCY (MPCA) WHAT'S IN MY NEIGHBORHOOD (WIMN) DATABASE, THERE IS POTENTIAL FOR CONTAMINATED SOIL AND/OR GROUNDWATER TO EXIST ON THE PROJECT SITE. CONTAMINATED MATERIALS ENCOUNTERED MUST BE PROPERLY HANDLED AND TREATED IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS.

- I. PORTABLE TOILETS: PORTABLE TOILETS SHALL NOT BE LOCATED UPSTREAM OF ANY DISCHARGE POINTS, AND SHALL BE POSITIONED SO THAT THEY ARE SECURE AND CANNOT BE TIPPED OR KNOCKED OVER. PROPERLY DISPOSE OF ALL SANITARY WASTE.

- J. DEWATERING: THE CONTRACTOR SHALL COORDINATE WITH THE CITY AND OBTAIN ANY APPLICABLE DEWATERING PERMITS FOR THIS PROJECT.

- K. CONTRACTOR SHALL UTILIZE TYPICAL CONSTRUCTION METHODS TO PROMOTE GROWTH IN RESTORING WITH TOPSOIL.

- L. LOCAL RAINFALL INTENSITIES WERE CONSIDERED WHEN DEVELOPING BMPs.

- M. NO CONCRETE WASHOUTS ARE ALLOWED ON SITE.

- N. ALL CONCRETE SHALL BE CLEANED UP IMMEDIATELY.

IMPAIRED WATERS

- A. MINNEHAHA CREEK IS ADJACENT TO THE SITE AND IS IMPAIRED FOR AQL, AQR, DO, FISHERIO, AND INVERTIBO.

BMP QUANTITIES

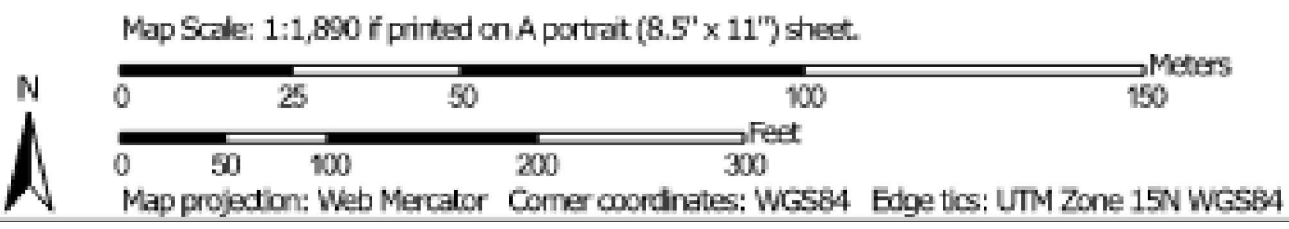
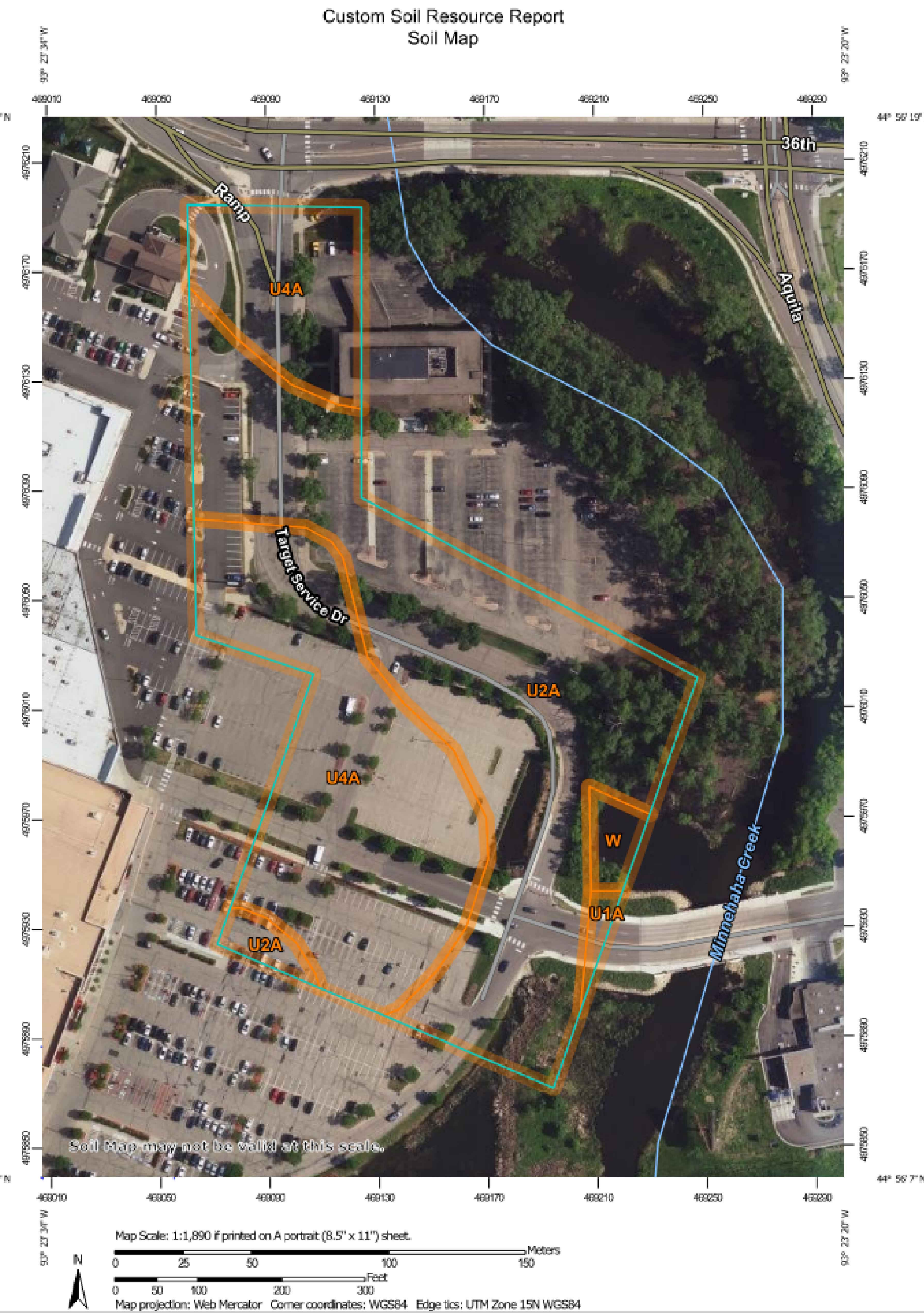
Table with 3 columns: NAME/NOTE, UNIT TYPE, QUANTITY. Lists items like SILT FENCE MACHINE SLICED, BIO-LOG, CONSTRUCTION ENTRANCE, etc.

MPCA CONTAMINATION SCREENING CHECKLIST

Table with 3 columns: Box, Question, Criteria or check box. Contains screening questions about soil contamination and BMP implementation.

Map Unit Symbol, Map Unit Name, Acres in AOI, Percent of AOI. Summary table for soil survey legend.

WEB SOIL SURVEY LEGEND



WEB SOIL SURVEY MAP

NOT TO SCALE



Table with 3 columns: Date, No., Description. Shows revision history for the permit.

PRELIMINARY

TARGET ST. LOUIS PARK, MINNESOTA BOONE AVE SOUTH ST. LOUIS PARK, MN 55426

Project Number T-2189

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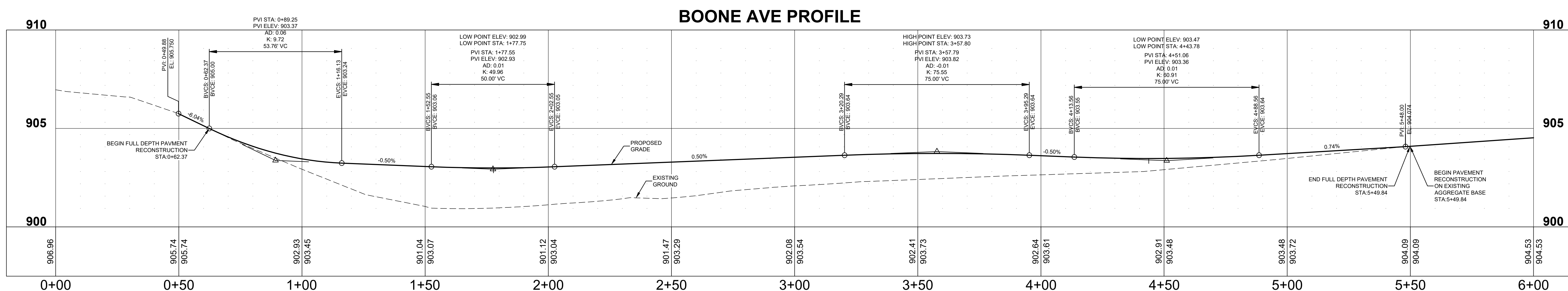
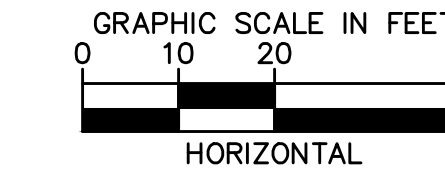
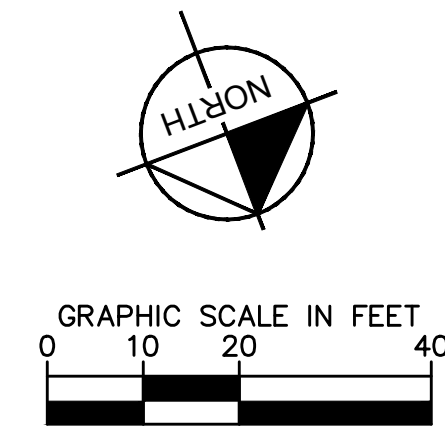
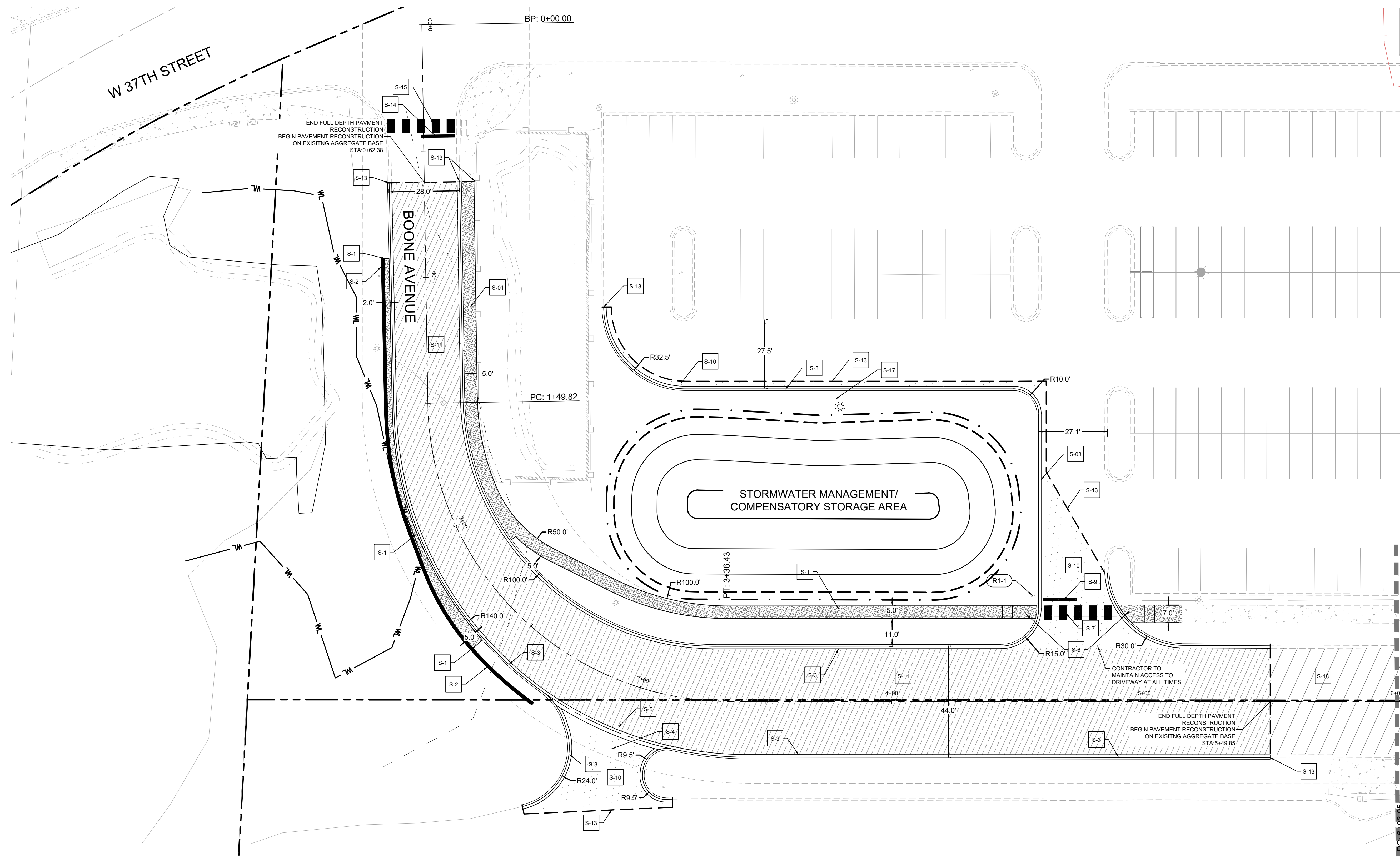
Drawn By RAH / EW

Checked By RAH

SWPPP

C304





LEGEND

[Symbol]	PROPERTY LINE (TYP.)
[Symbol]	PROPOSED FENCE (TYP.)
[Symbol]	EASEMENT LINE (TYP.)
[Symbol]	DELINEATED WETLAND (TYP.)
[Symbol]	RETAINING WALL (TYP.)
[Symbol]	SAWCUT LINE, MATCH EXISTING (TYP.)
[Symbol]	CURB AND GUTTER (TYP.)
[Symbol]	HEAVY DUTY ASPHALT (TYP.)
[Symbol]	STANDARD DUTY ASPHALT (TYP.)
[Symbol]	CONCRETE PAVEMENT (TYP.)
[Symbol]	BITUMINOUS PAVEMENT RECONSTRUCTION ON EXISTING AGGREGATE BASE - BOONE AVE (TYP.)
[Symbol]	CONCRETE SIDEWALK (TYP.)
[Symbol]	LIGHT POLE (TYP.)
[Symbol]	CLASS 5

KEYNOTE LEGEND / QUANTITIES

REFERENCE KEYNOTE	NAME/NOTE	THICKNESS/DEPTH/TYPE	UNIT TYPE	QUANTITY
S-1	SIDEWALK (SEE DETAIL) (TYP.)		SQUARE YARD	315
S-2	MODULAR BLOCK RETAINING WALL, SEE STRUCTURAL PLANS BY OTHERS		LINEAR FEET	200
S-3	B612 CURB & GUTTER (SEE DETAIL) (TYP.)		LINEAR FEET	1,500
S-4	MONOLITHIC CONCRETE MEDIAN, MATCH EXISTING		LINEAR FEET	110
S-5	CONCRETE CROSS GUTTER (SEE DETAIL) (TYP.)		LINEAR FEET	60
S-6	PEDESTRIAN CURB RAMP (SEE DETAIL) (TYP.)		EACH	2
S-7	CROSS WALK STRIPING (SEE DETAIL) (TYP.)		SQ FT	85
S-8	REPLACE CROSSWALK BLOCKS IN KIND WITH GROUND-IN THERMOPLASTIC CROSSWALK BLOCKS (TYP.)		EA	110
S-9	PAINTED STOP BAR & STOP SIGN POST BASE (SEE DETAIL) (TYP.)		EACH	1
S-10	STANDARD DUTY BITUMINOUS PAVEMENT PARKING LOT (SEE DETAIL) (TYP.)		SQUARE YARD	335
S-11	HEAVY DUTY BITUMINOUS PAVEMENT BOONE AVENUE (SEE DETAIL) (TYP.)		SQUARE YARD	1,035
S-12	4" SOLID LINE, COLOR WHITE, MULTI COMPONENT LIQUID, WET REFLECTIVE OR 24" SOLID LINE, COLOR WHITE, PREFORM THERMOPLASTIC GROUND IN SAWCUT & MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER		LINEAR FEET	690
S-13	24" SOLID LINE, COLOR WHITE, MULTI COMPONENT LIQUID, WET REFLECTIVE OR 24" SOLID LINE, COLOR WHITE, PREFORM THERMOPLASTIC GROUND IN CROSSWALK, COLOR WHITE, MULTI COMPONENT LIQUID, WET REFLECTIVE OR COLOR WHITE, PREFORM THERMOPLASTIC GROUND IN		LINEAR FEET	12
S-14	24" SOLID LINE, COLOR WHITE, MULTI COMPONENT LIQUID, WET REFLECTIVE OR 24" SOLID LINE, COLOR WHITE, PREFORM THERMOPLASTIC GROUND IN CROSSWALK, COLOR WHITE, MULTI COMPONENT LIQUID, WET REFLECTIVE OR COLOR WHITE, PREFORM THERMOPLASTIC GROUND IN		SO FT	83
S-15	NOT USED			
S-16	NOT USED			
S-17	INSTALL SALVAGED LIGHTPOLE		EACH	1
S-18	BITUMINOUS PAVEMENT RECONSTRUCTION ON EXISTING AGGREGATE BASE - BOONE AVENUE		SQUARE YARD	3,000

SIGN LEGEND / QUANTITIES

KEYNOTE	NAME	MNDOT SIGN NUMBER	SIGN SIZE	QUANTITY
(R-1)	STOP SIGN (SALVAGED, SEE EXISTING CONDITIONS - DEMO PLAN)	R-1-1	30" X 30"	2

- SITE PLAN NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.'s STANDARDS.
 - ALL INNER CURBED RADI ARE TO BE 10' AND OUTER CURBED RADI ARE TO BE 15' UNLESS OTHERWISE NOTED. STRIPED RADI ARE TO BE 5'.
 - ALL DIMENSIONS AND RADI ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY EACH ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY EFN, DATED 07/21/2020.
 - KIMLEY HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
 - TOTAL DISTURBANCE AREA IS 31,725 SF.
 - CONTRACTOR SHALL REFERENCE ARCH/ MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 - NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.

- STRIPING NOTES**
- THE ENGINEER'S INVOLVEMENT IN THE APPLICATION OF THE MATERIAL SHALL BE LIMITED TO FIELD CONSULTATION AND INSPECTION. THE CONTRACTOR WILL PLACE NECESSARY "SPOTTING" AT APPROPRIATE POINTS TO PROVIDE HORIZONTAL CONTROL FOR STRIPING AND TO DETERMINE NECESSARY STARTING AND CUTOFF POINTS. LONGITUDINAL JOINTS, PAVEMENT EDGES AND EXISTING MARKINGS MAY SERVE AS HORIZONTAL CONTROL WHEN SO DIRECTED.
- EDGE LINES AND LANE LINES ARE TO BE BROKEN ONLY AT INTERSECTIONS WITH PUBLIC ROADS AND AT PRIVATE ENTRANCES IF THEY ARE CONTROLLED BY A AGENCY PLACED YIELD SIGN, STOP SIGN OR TRAFFIC SIGNAL. THE BREAK POINT IS TO BE AT THE START OF THE RADIUS FOR THE INTERSECTION OR AT MARKED STOP LINES OR CROSSWALKS.
- A TOLERANCE OF 1/4 INCH UNDER OR 1/4 INCH OVER THE SPECIFIED WIDTH WILL BE ALLOWED FOR STRIPING PROVIDED THE VARIATION IS GRADUAL AND DOES NOT DETRACT FROM THE GENERAL APPEARANCE. BROKEN LINE MATERIAL SHALL NOT BE APPLIED OVER LONGITUDINAL JOINTS. ESTABLISHMENT OF APPLICATION TOLERANCES SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO COMPLY AS CLOSELY AS PRACTICABLE WITH THE PLANNED DIMENSIONS.
- JUST PRIOR TO THE PLACEMENT OF PAVEMENT MARKINGS THE ROAD SURFACE SHALL BE CLEANED AND FREE OF CONTAMINATION AS RECOMMENDED BY THE MATERIAL MANUFACTURER AND ACCEPTABLE TO THE ENGINEER. PORTLAND CEMENT CONCRETE SURFACES SHALL BE SANDBLAST CLEANED TO REMOVE ANY SURFACE TREATMENTS AND/OR LANTANCE.
- APPLY ALL PAVEMENT MARKINGS AS RECOMMENDED BY THE MATERIAL MANUFACTURER.
- PERMANENT PAVEMENT MARKINGS SHALL NOT BE PLACED OVER TEMPORARY TAPE MARKINGS.
- THE FILLING OF TANKS, POURING OF MATERIALS OR CLEANING OF EQUIPMENT SHALL NOT BE PERFORMED ON UNPROTECTED PAVEMENT SURFACES UNLESS ADEQUATE PROVISIONS ARE MADE TO PREVENT SPILLAGE OF MATERIAL.
- REFER TO SPECIAL PROVISIONS OR SPEC BOOK FOR GROUND INCREASED PAVEMENT MARKING APPLICATION REQUIREMENTS.
- MULTI-COMPONENT LIQUID PAVEMENT MARKING LIQUID THE ROAD SURFACE SHALL BE CLEANED AT THE DIRECTION OF THE ENGINEER JUST PRIOR TO APPLICATION.
- PAVEMENT CLEANING SHALL CONSIST OF AT LEAST BRUSHING WITH A ROTARY TO THE ENGINEER, NEW PORTLAND CEMENT CONCRETE SURFACES SHALL BE SANDBLAST CLEANED TO REMOVE ANY SURFACE TREATMENTS AND/OR LANTANCE.
- THE MULTI-COMPONENT LIQUID MARKING APPLICATION SHALL IMMEDIATELY FOLLOW THE PAVEMENT CLEANING. GLASS BEADS SHALL BE APPLIED IMMEDIATELY AFTER APPLICATION OF THE MULTI-COMPONENT LIQUID PAVEMENT MARKING.
- BE APPLIED AT A RATE OF AT LEAST 25 LB/SQ. YD. THE "NO-TRACKING" CONDITION SHALL BE DETERMINED ON AN APPLICATION OF THE SPECIFIED THICKNESS TO THE PAVEMENT AND COVERED WITH GLASS BEADS AT THE RATE OF AT LEAST 25 LB/SQ. YD.
- SURFACE TEMPERATURES ARE 40°F OR HIGHER AND SHALL NOT BE APPLIED WHEN THE WIND OR CLEANING AND BEFORE THE MARKING MATERIAL CAN BE APPLIED.
- PREFORMED MARKINGS MANUFACTURER CERTIFICATIONS ARE REQUIRED FOR INSTALLERS, AND WRITTEN CERTIFICATION SHALL BE PRESENTED AT ANY TIME UPON REQUEST OF ENGINEER OR OTHER PERSONNEL.
- DO NOT USE LINE MATERIAL TO PRESS TOGETHER INDIVIDUAL LETTERS, SYMBOLS, OR CROSSWALKS BLOCK. UTILIZE PRECUT KITS PROVIDED BY THE MANUFACTURER. TWO STRIPS OF 1/2" LINE MATERIAL MAY BE USED TO FORM CROSSWALK BLOCKS OF 30" WIDTH.
- DO NOT USE LINE MATERIAL TO PIECE TOGETHER WIDER LINES.
- IF THERE IS A CRACK OR JOINT IN ROAD SURFACE, FILL WITH LAY OVER CRACK OR JOINT THEN CUT TAPE 1" ON EACH SIDE OF CRACK OR JOINT. (FOR THERMO MAKE A DEEP SCORE IN THE MATERIAL ONCE IT HAS SET UP BUT NOT ENTIRELY COOLED DOWN).

- PAVING NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.'s STANDARDS.
 - CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
 - CONTRACTOR TO EXTEND ALL PAVING JOINTS THROUGH CURBS. JOINTS SHALL BE PERPENDICULAR TO CURBS.
 - EXPANSION JOINTS SHALL BE PLACED BETWEEN CURBS AND PROPOSED PAVEMENT.
 - MAXIMUM CONTROL JOINT SPACING SHALL NOT EXCEED 12' FOR CONCRETE SIDEWALK AND 16' FOR 2" CONCRETE PAVEMENT.
 - EXPANSION JOINTS SHOULD BE USED WHEREVER THE PAVEMENT WILL ADJUT A STRUCTURAL ELEMENT, E.G. LIGHT POLES, RETAINING WALLS, EXISTING PAVEMENT, BUILDING WALLS OR MANHOLES) AND SEALED WITH POLYURETHANE SEALANT.
 - EXPANSION JOINTS SHALL BE SPACED 60' MAX AND SEALED TO MINIMIZE MOISTURE INFILTRATION.
 - SAW-CUT CONTROL JOINTS WITHIN 12 HOURS OF POUR.
 - EXPANSION AND CONSTRUCTION JOINTS SHOULD HAVE 14" LONG NO. 3 DOWEL BARS SPACED 18" ON CENTER.
 - ALL EARTHWORK, PAVING, AND JOINTING SHALL CONFORM TO CITY OF OMAHA SPECIFICATIONS.



Kimley Horn
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 PHONE: 651-645-4197
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Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL

PRELIMINARY

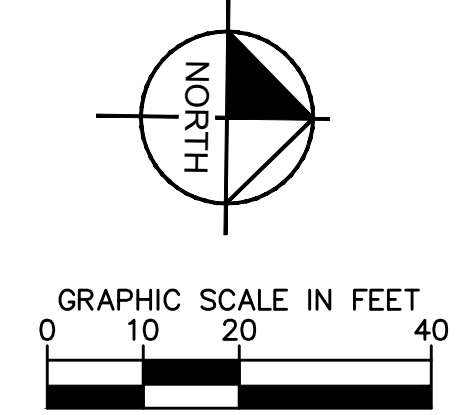
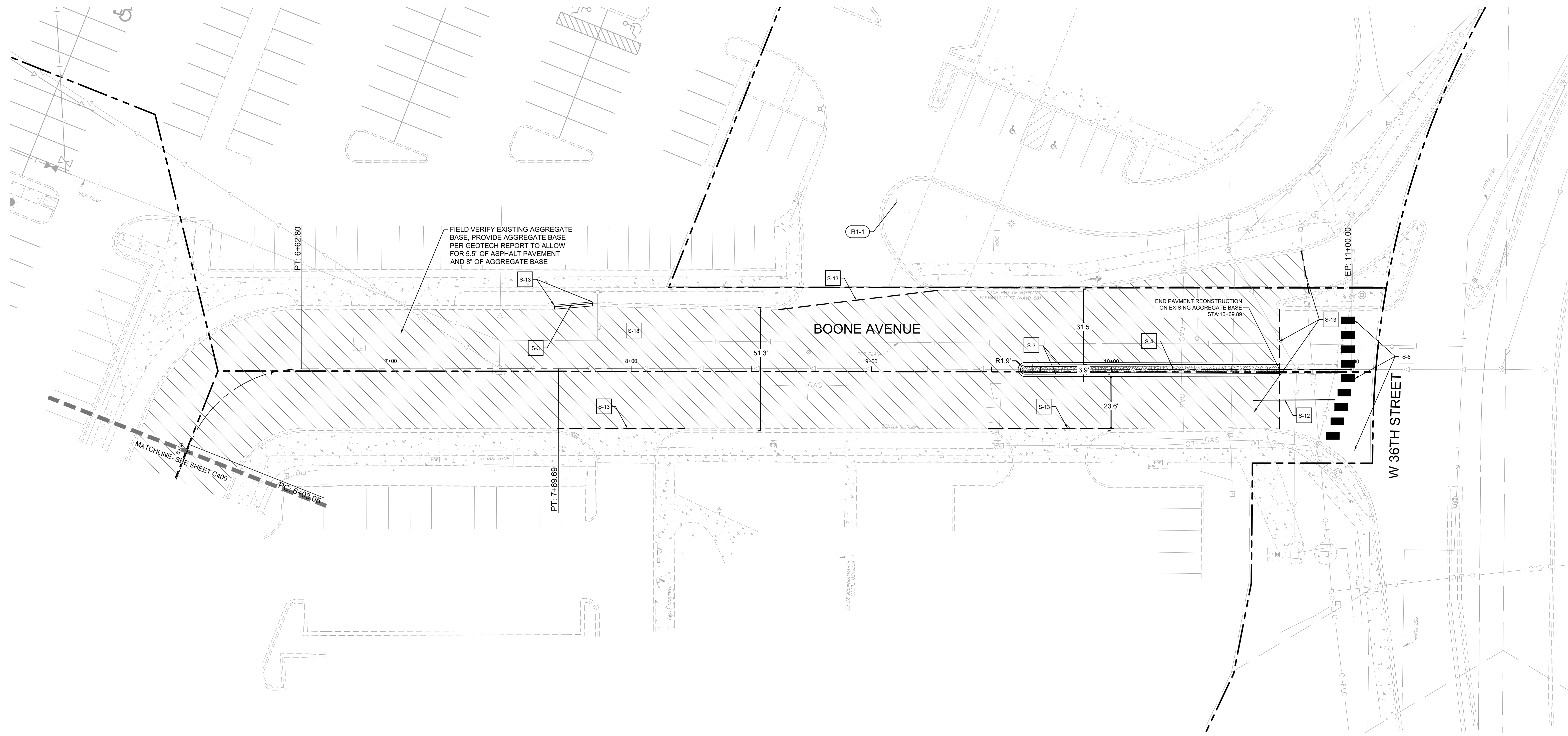


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 Checked By RAH

PLAN & PROFILE

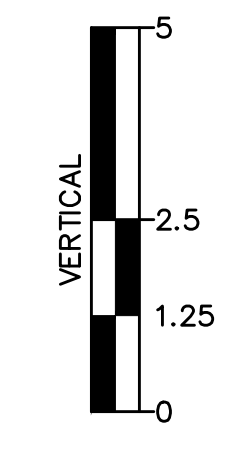
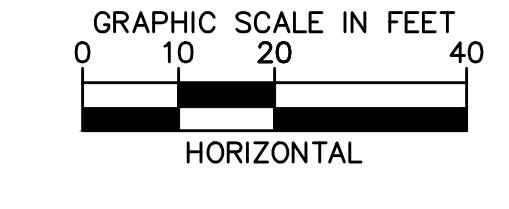
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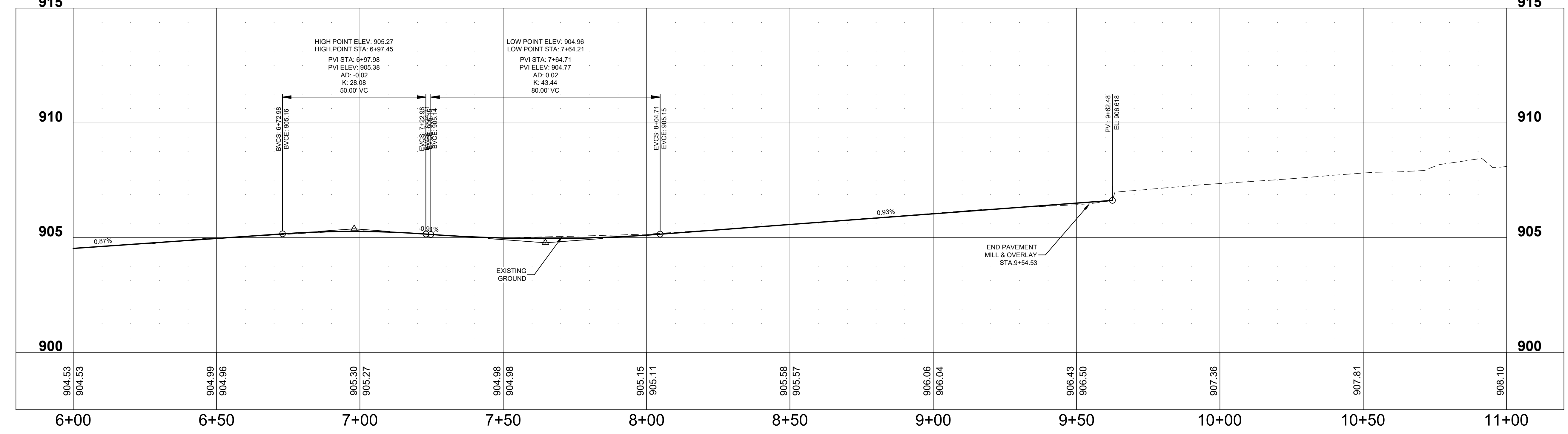


Date	No.	Description
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2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL

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BOONE AVE PROFILE



LEGEND

	PROPERTY LINE (TYP.)
	PROPOSED FENCE (TYP.)
	EASEMENT LINE (TYP.)
	DELIMITED WETLAND (TYP.)
	RETAINING WALL (TYP.)
	SAWCUT LINE, MATCH EXISTING (TYP.)
	CURB AND GUTTER (TYP.)
	HEAVY DUTY ASPHALT (TYP.)
	STANDARD DUTY ASPHALT (TYP.)
	CONCRETE PAVEMENT (TYP.)
	BITUMINOUS PAVEMENT RECONSTRUCTION ON EXISTING AGGREGATE BASE - BOONE AVE (TYP.)
	CONCRETE SIDEWALK (TYP.)
	LIGHT POLE (TYP.)
	CLASS 5

KEYNOTE LEGEND / QUANTITIES

KEYNOTE	NAME/NOTE	THICKNESS/DEPTH/TYPE	UNIT TYPE	QUANTITY
S-1	SIDEWALK (SEE DETAIL)(TYP.)		SQUARE YARD	315
S-2	MODULAR BLOCK RETAINING WALL, SEE STRUCTURAL PLANS BY OTHERS		LINEAR FEET	200
S-3	B612 CURB & GUTTER (SEE DETAIL) (TYP.)		LINEAR FEET	1,500
S-4	MONOLITHIC CONCRETE MEDIAN, MATCH EXISTING		LINEAR FEET	110
S-5	CONCRETE CROSS GUTTER (SEE DETAIL) (TYP.)		LINEAR FEET	60
S-6	PEDESTRIAN CURB RAMP (SEE DETAIL) (TYP.)		EACH	2
S-7	CROSS WALK STRIPING (SEE DETAIL) (TYP.)		SQ FT	85
S-8	REPLACE CROSSWALK BLOCKS IN KIND WITH GROUND-IN THERMOPLASTIC CROSSWALK BLOCKS (TYP.)		EA	110
S-9	PAINTED STOP BAR & STOP SIGN POST BASE (SEE DETAIL) (TYP.)		EACH	1
S-10	STANDARD DUTY BITUMINOUS PAVEMENT PARKING LOT (SEE DETAIL) (TYP.)		SQUARE YARD	335
S-11	HEAVY DUTY BITUMINOUS PAVEMENT BOONE AVENUE (SEE DETAIL) (TYP.)		SQUARE YARD	1,935
S-12	4" SOLID LINE, COLOR WHITE, MULTI COMPONENT LIQUID, WET REFLECTIVE OR 24" SOLID LINE, COLOR WHITE, PREFORM THERMOPLASTIC GROUND IN SAWCUT & MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER		LINEAR FEET	690
S-14	24" SOLID LINE, COLOR WHITE, MULTI COMPONENT LIQUID, WET REFLECTIVE OR 24" SOLID LINE, COLOR WHITE, PREFORM THERMOPLASTIC GROUND IN CROSSWALK, COLOR WHITE, MULTI COMPONENT LIQUID, WET REFLECTIVE OR COLOR WHITE, PREFORM THERMOPLASTIC GROUND IN		LINEAR FEET	12
S-15	CONCRETE SIDEWALK (TYP.)		SQ FT	83
S-16	NOT USED			
S-17	INSTALL SALVAGED LIGHTPOLE		EACH	1
S-18	BITUMINOUS PAVEMENT RECONSTRUCTION ON EXISTING AGGREGATE BASE - BOONE AVENUE		SQUARE YARD	3,000

SIGN LEGEND/ QUANTITIES

KEYNOTE	NAME	MNDOT SIGN NUMBER	SIGN SIZE	QUANTITY
R1-1	STOP SIGN (SALVAGED, SEE EXISTING CONDITIONS - DEMO PLAN)	R1-1	30" X 30"	2

NOTE: SEE SHEET C400 FOR SITE AND PAVING NOTES

PRELIMINARY

TARGET
ST. LOUIS PARK, MINNESOTA
BOONE AVE SOUTH
ST. LOUIS PARK, MN 55426

Project Number **T-2189**

Config: RAH / EW

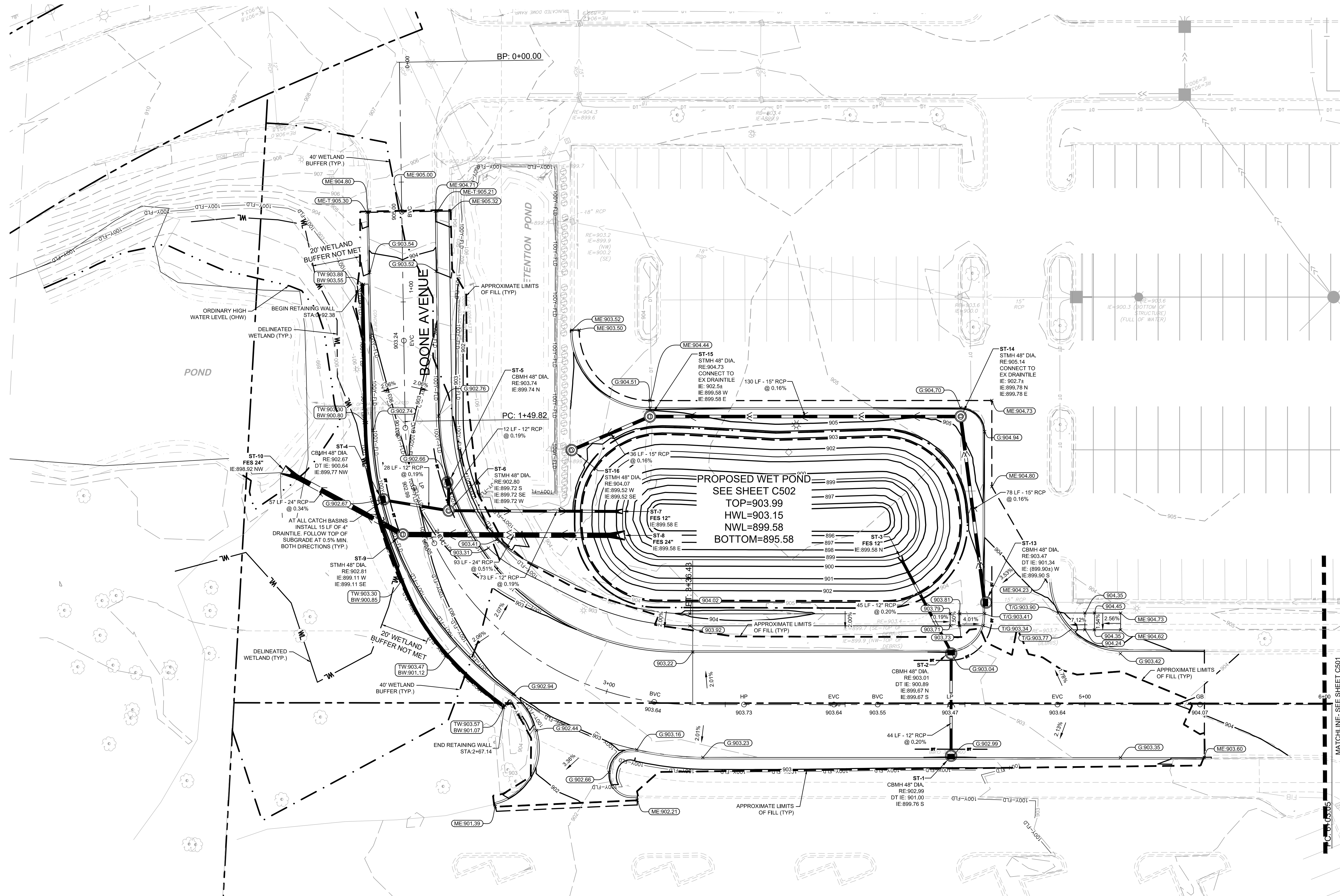
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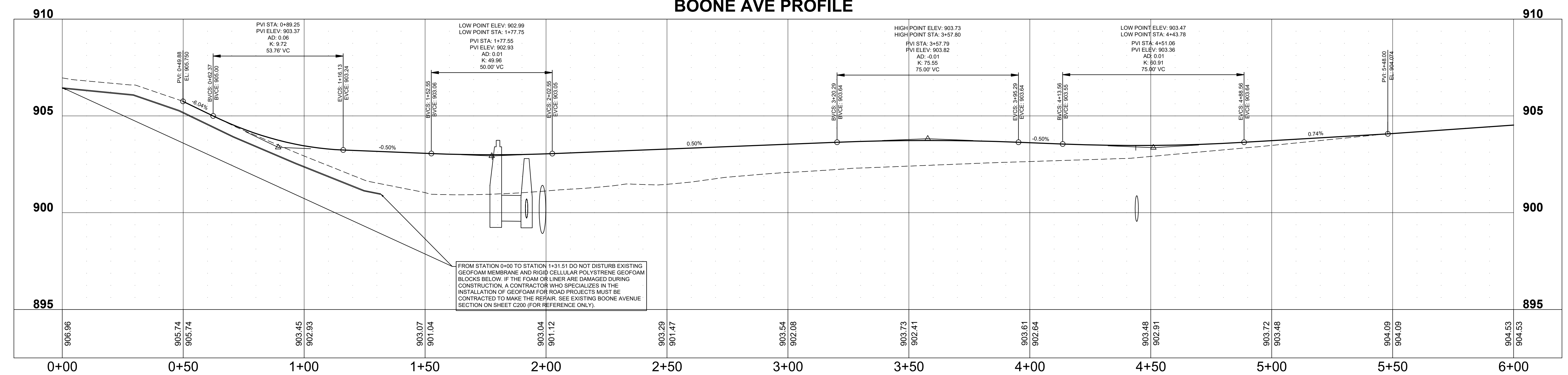


C401

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BOONE AVE PROFILE



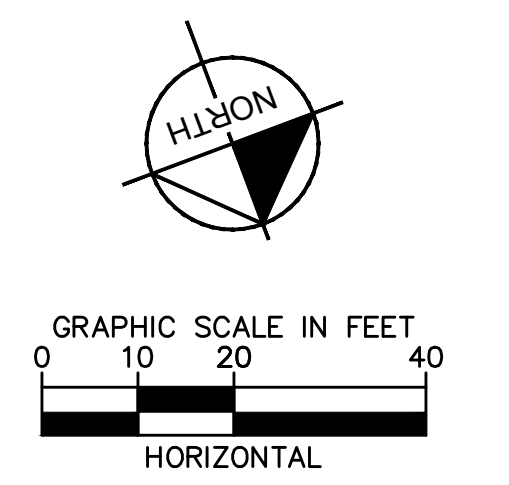
LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM MANHOLE (ROUND CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLENOT
- PROPOSED STORM SEWER
- PROPOSED FLARED END SECTION
- PROPOSED RR/RAIP
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLUSH PAVEMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERFLOW
- BEGIN VERTICAL CURVE
- END VERTICAL CURVE
- GRADE BREAK (VERTICAL PROFILE)
- PROPOSED DRAINAGE DIRECTION
- PROPOSED ADA SLOPE
- DELINEATED WETLAND (TYP)
- 100-YEAR FLOOD ELEVATION
- ORDINARY HIGH WATER LEVEL (OHW)
- 40' WETLAND BUFFER LINE (TYP)

- GRADING PLAN NOTES**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ST. LOUIS PARK SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTRACTOR TO CALL GOPHER STATE CALL ONE @ +1-800-253-1186 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 - STORM SEWER PIPE SHALL BE AS FOLLOWS:
 RCP PER ASTM C-75
 HOPE 12" OR GREATER PER ASTM F-2306
 PVC SICK PER ASTM F-1718
 STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
 RCP PER ASTM C-75, JOINTS PER ASTM C-361, C-399, AND C-443
 HOPE PER ASTM 3212
 PVC PER ASTM C-3024, JOINTS PER ASTM 3212
 - CONTRACTOR TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFER ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE ON STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROPERLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
 - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 - ALL EXCESS MATERIAL, BITUMINOUS SUBGRADING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURBS AND GUTTER WITH SMOOTH FINISH SLOPES TO PROVIDE POSITIVE DRAINAGE.
 - NOTAL A MINIMUM OF 4" CLASS 3+ AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
 - ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
 - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATEMENTAL STANDARDS. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO FINISHING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
 - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
 - CONTRACTOR TO PROVIDE 3" INSULATION BY 5" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
 - ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
 - ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
 - MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "IN ALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUT ALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

PROJECT DATA

100-YR FLOOD ELEVATION (NAVD88)	902.98
ORDINARY HIGH WATER LEVEL (OHW) (NAVD88)	899.58
REQUIRED COMPENSATORY FLOOD STORAGE	599 CY
REQUIRED COMPENSATORY FLOOD STORAGE	928 CY
REQUIRED WETLAND BUFFER (STEP 1, 40FT)	9,490 SF
PROVIDED WETLAND BUFFER	11,283 SF
DISTURBANCE WITHIN WETLAND BOUNDARY	61 SF
LIMITS OF DISTURBANCE	1.64 AC
LIMITS OF CONSTRUCTION	1.64 AC
PRE-DEVELOPMENT PERVIOUS AREA	0.44 AC
PRE-DEVELOPMENT IMPERVIOUS AREA	1.20 AC
POST-DEVELOPMENT PERVIOUS AREA	0.79 AC
POST-DEVELOPMENT IMPERVIOUS AREA	0.85 AC



Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL

PRELIMINARY

TARGET
 ST. LOUIS PARK, MINNESOTA
 BOONE AVE SOUTH
 ST. LOUIS PARK, MN 55426

Project Number **T-2189**

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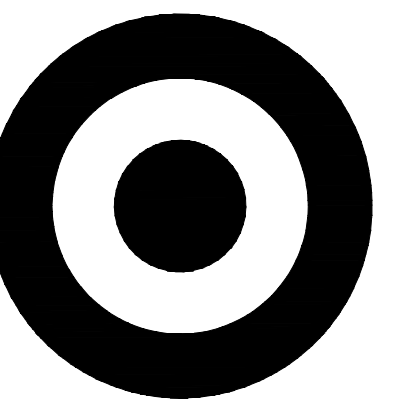
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Checked By RAH

GRADING PLAN



C500

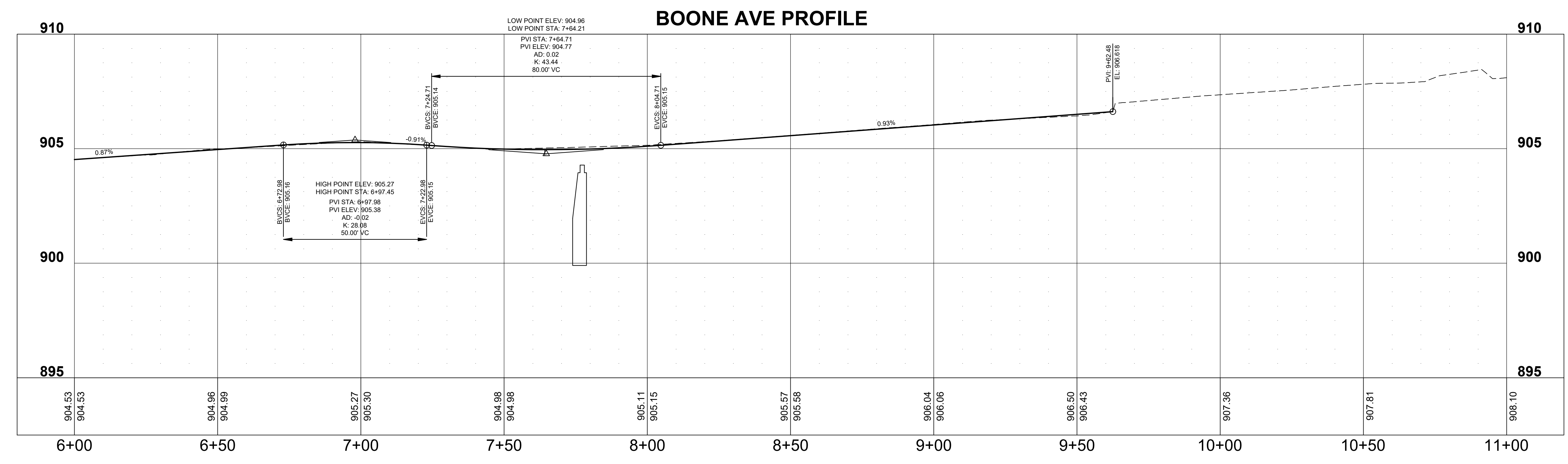
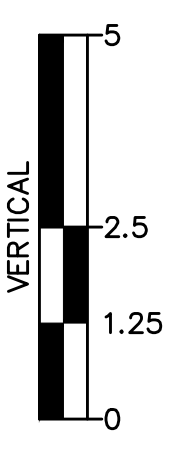
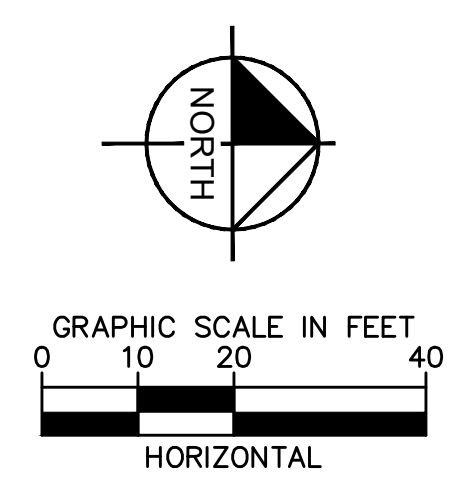
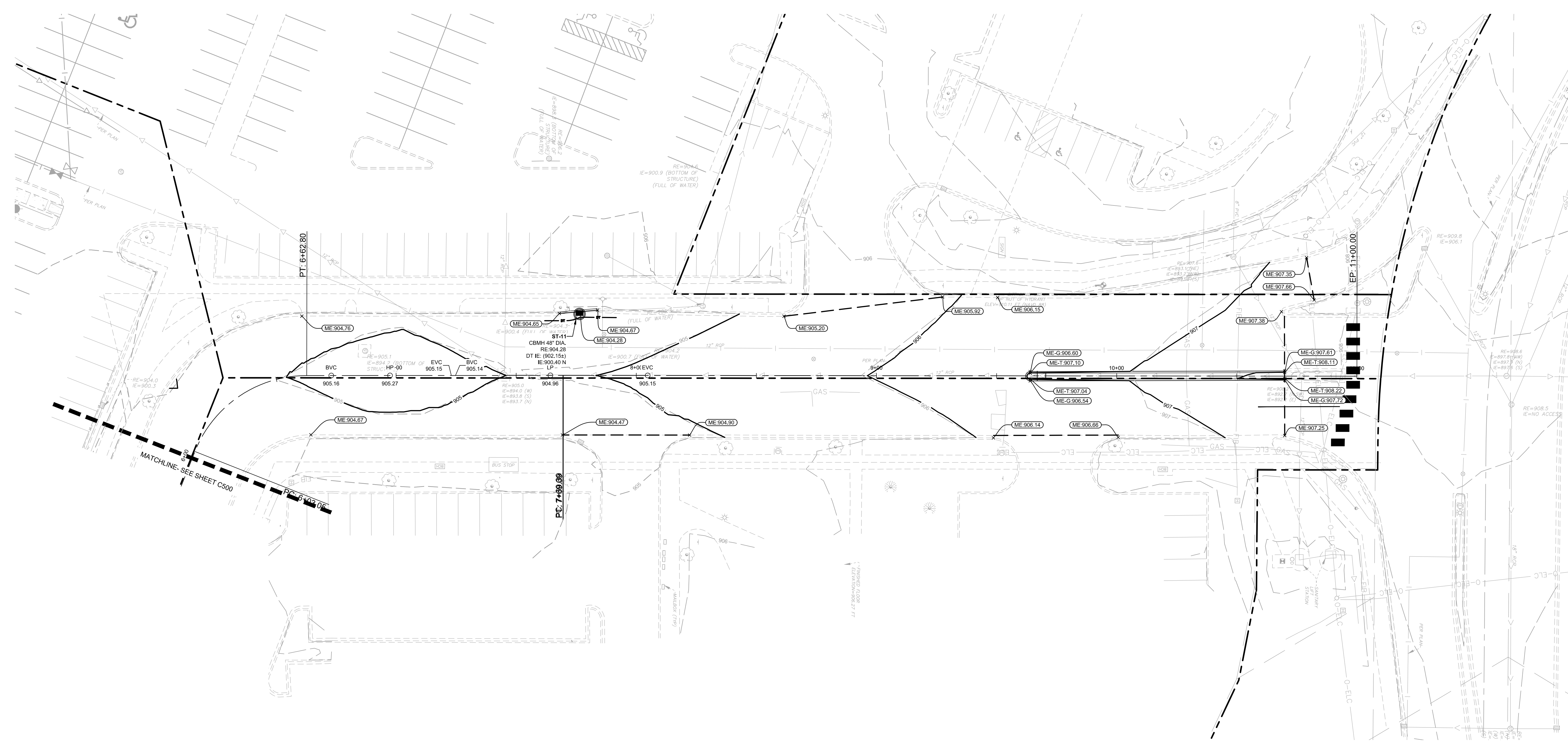


TARGET
1000 NICOLLET MALL
MINNEAPOLIS, MN 55403



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Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM SEWER CLEANOUT
	PROPOSED FLARED END SECTION
	PROPOSED RRPRAP
	PROPOSED STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERFLOW
	BEGIN VERTICAL CURVE
	END VERTICAL CURVE
	GRADE BREAK (VERTICAL PROFILE)
	PROPOSED DRAINAGE DIRECTION
	PROPOSED ADA SLOPE
	DELINEATED WETLAND (TYP.)
	100-YEAR FLOOD ELEVATION
	ORDINARY HIGH WATER LEVEL (OHW)
	40' WETLAND BUFFER LINE (TYP.)

NOTE:
SEE SHEET C500 FOR PROJECT DATA, GRADING AND UTILITY NOTES

PRELIMINARY

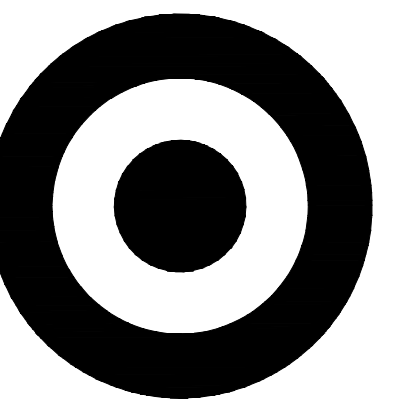
TARGET
ST. LOUIS PARK, MINNESOTA
BOONE AVE SOUTH
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Project Number **T-2189**
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Checked By RAH

GRADING PLAN



C501

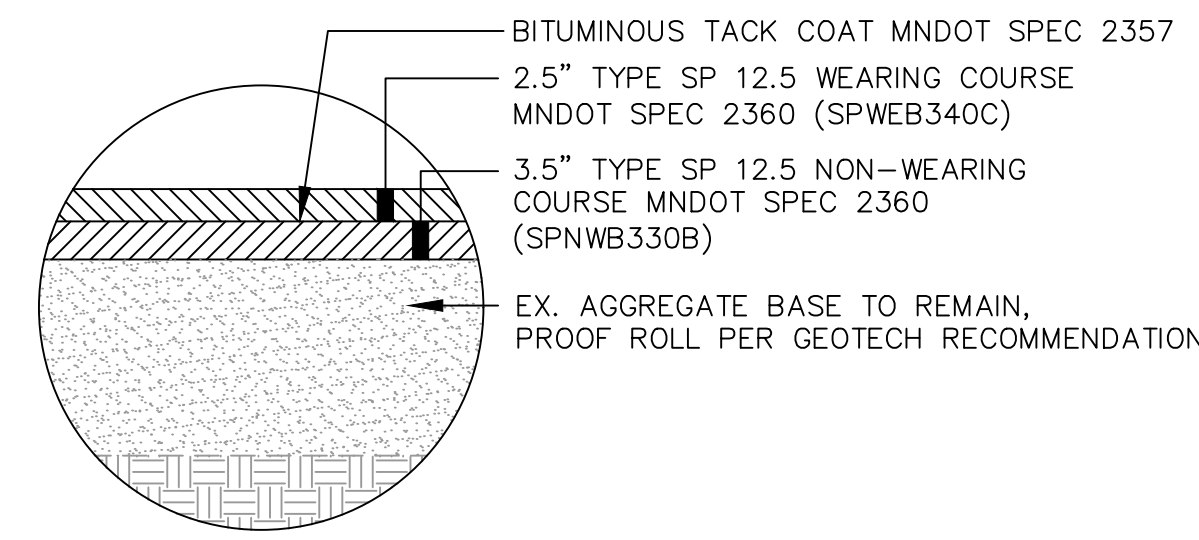


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MINNEAPOLIS, MN 55403

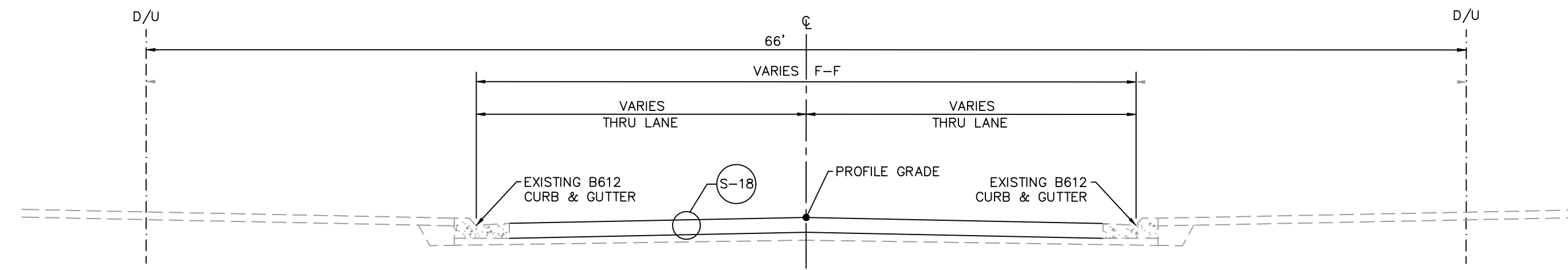


2025 KIMLEY-HORN AND ASSOCIATES, INC.
707 EUSTIS ST, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

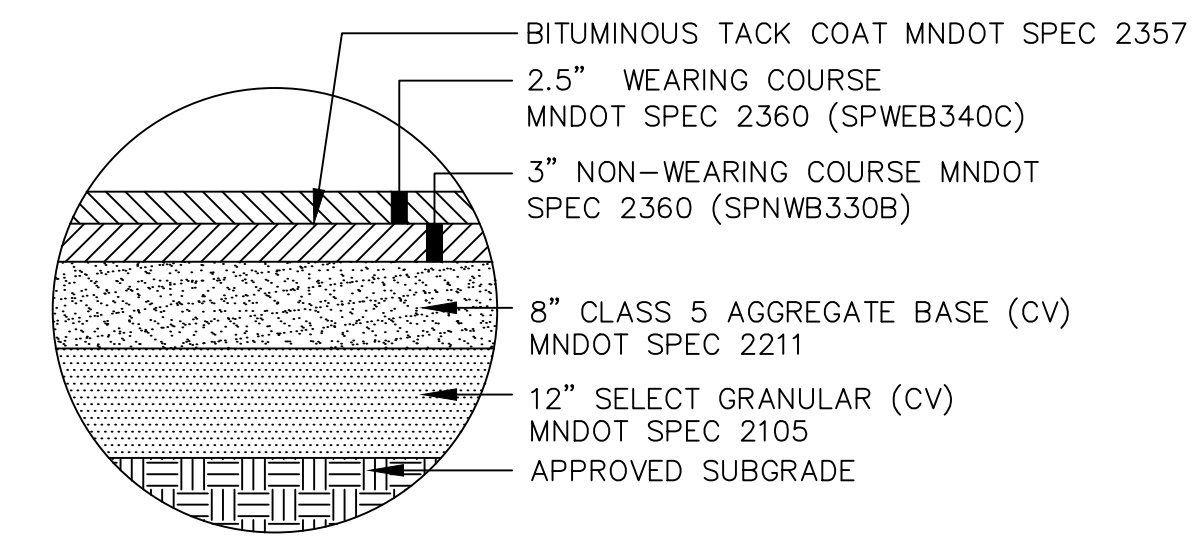
Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL



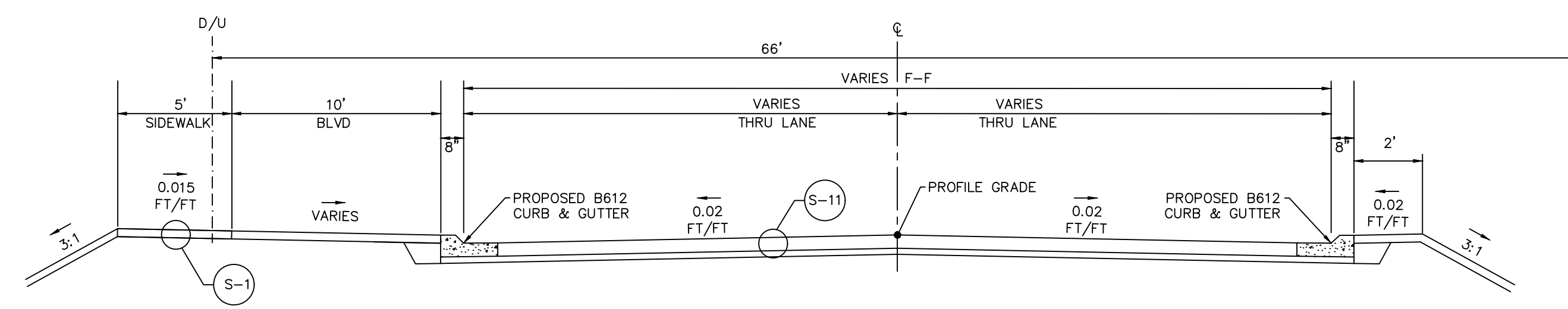
S-18 RECONSTRUCTION ON EXISTING AGGREGATE BASE - BOONE AVENUE
SCALE: N.T.S.



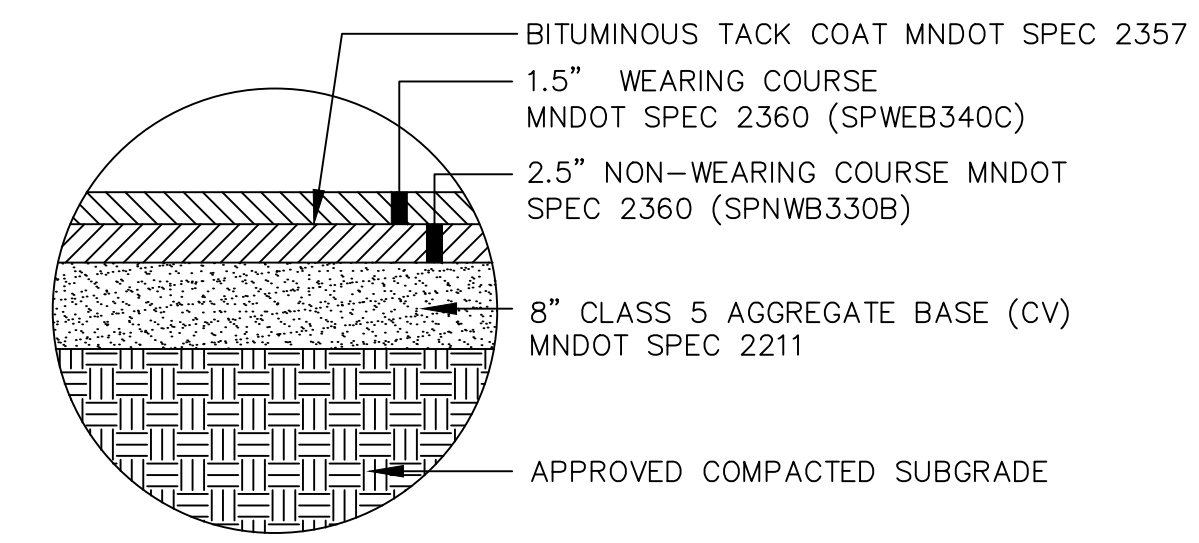
BOONE AVENUE
PAVEMENT RECONSTRUCTION ON EXISTING AGGREGATE BASE



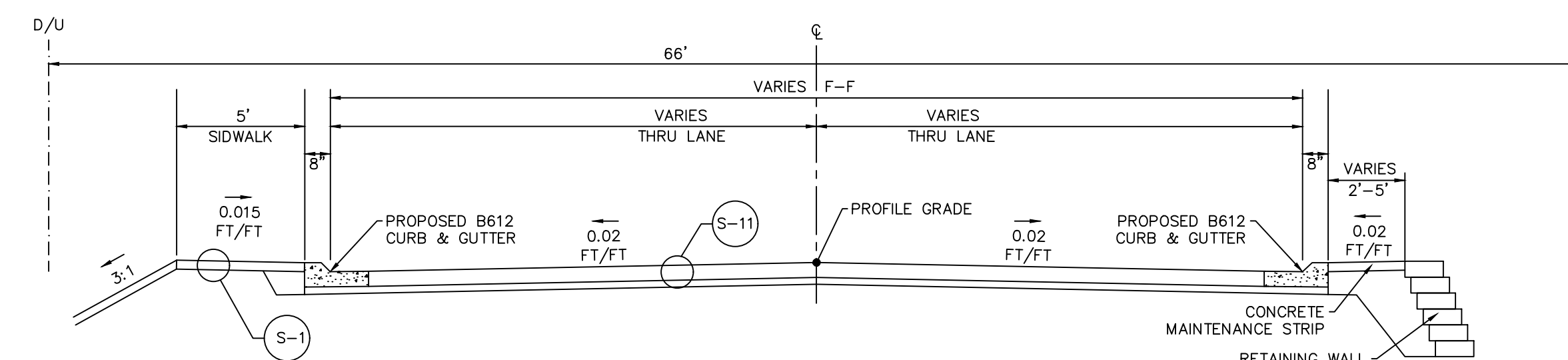
S-11 HEAVY DUTY BITUMINOUS PAVEMENT - BOONE AVENUE
SCALE: N.T.S.



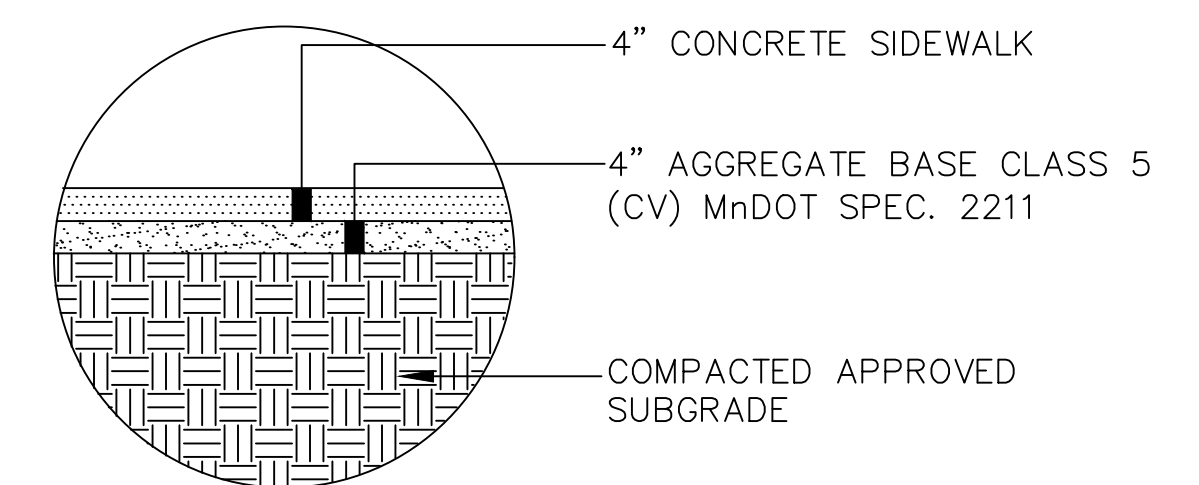
BOONE AVENUE
FULL DEPTH PAVEMENT RECONSTRUCTION



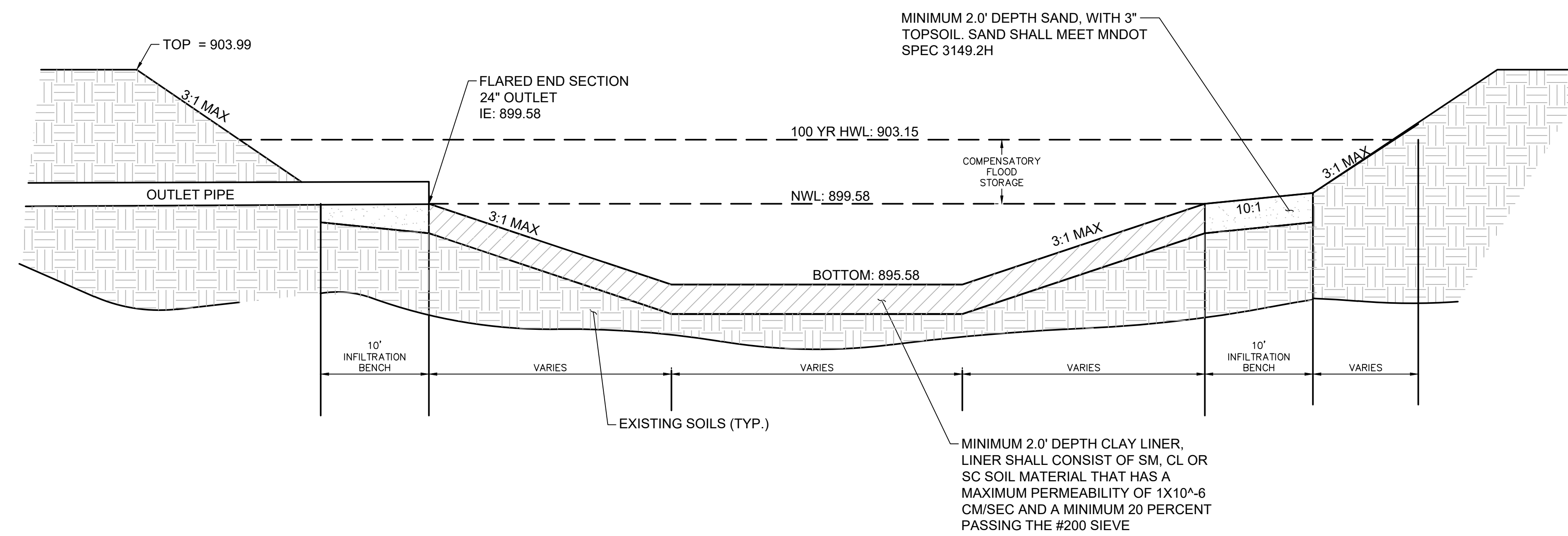
S-10 STANDARD DUTY BITUMINOUS PAVEMENT - PARKING LOT DETAIL
SCALE: N.T.S.



BOONE AVENUE
RETAINING WALL



S-1 CONCRETE SIDEWALK - BOONE AVENUE
SCALE: N.T.S.



G-1 PROPOSED WET POND
SCALE: N.T.S.

PRELIMINARY

TARGET
ST. LOUIS PARK, MINNESOTA
BOONE AVE SOUTH
ST. LOUIS PARK, MN 55426

Project Number **T-2189**

Config:

Drawn By RAH / EW

Checked By RAH

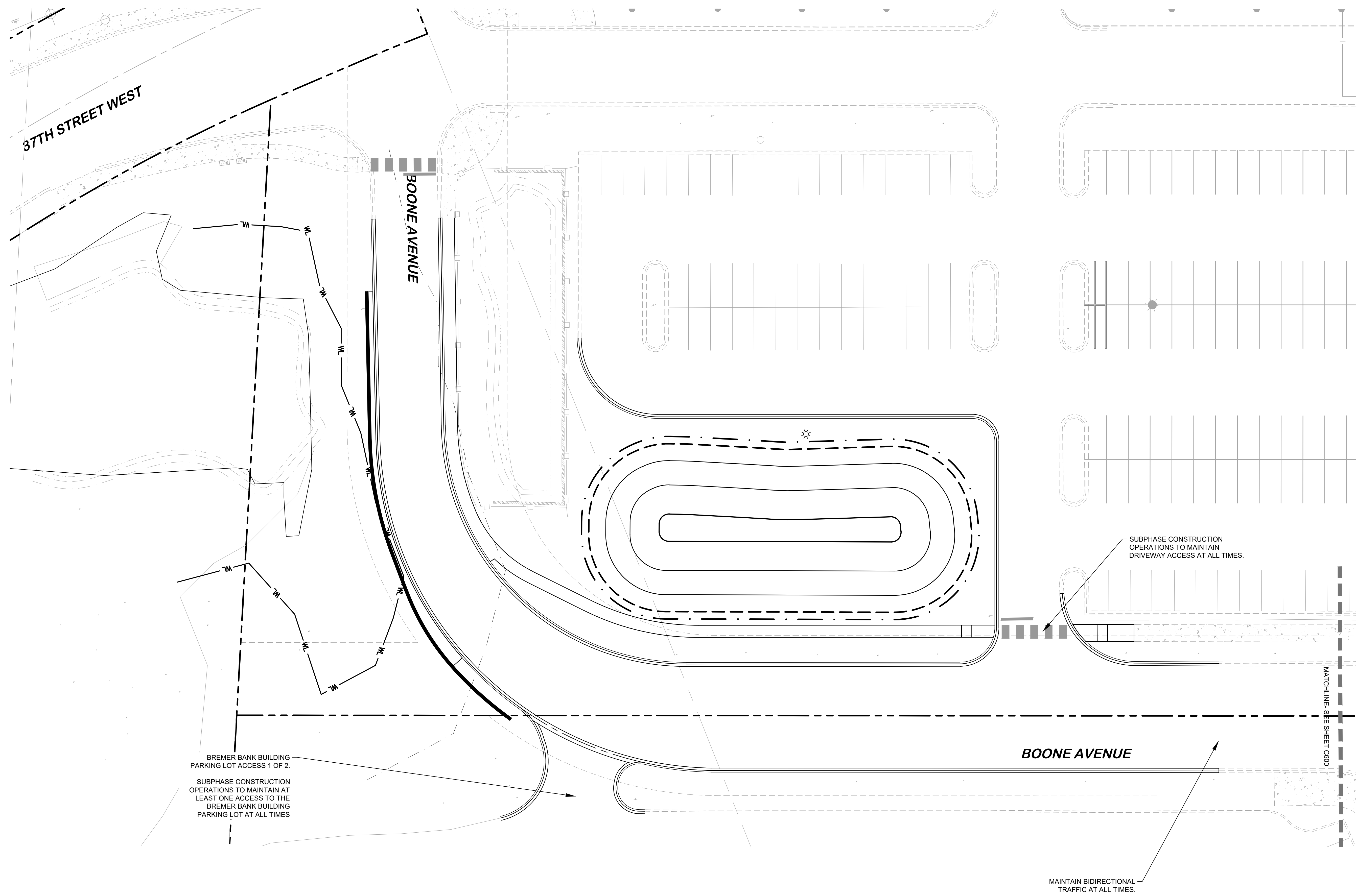
TYPICAL
SECTIONS

C502



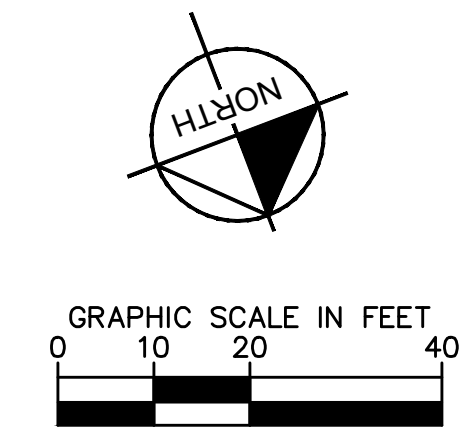
Know what's below.
Call before you dig.

K:\TWC_LDEV\TARGET\T-2189_St.Louis.Park_MNS Design\CAD\Plan\Sheets\CS-TRAFFIC PHASING PLAN.dwg February 24, 2021 - 5:03pm
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- NOTES:
1. THE STORE WILL REMAIN OPEN DURING CONSTRUCTION. ACCESS SHALL BE MAINTAINED DURING ALL HOURS OF OPERATION.
 2. WORK SHALL BE PHASED TO MINIMIZE IMPACTS TO THE STORE AND GUESTS. AN ALTERNATE PHASING PLAN MAY BE UTILIZED BY CONTRACTOR IF APPROVED BY TARGET.
 3. PROVIDE ALL REQUIRED TRAFFIC CONTROL AND SIGNAGE.
 4. PAVING DIRECTION SHALL FOLLOW THE MAIN FLOW DIRECTION OF TRAFFIC.
 5. ADHERE TO THE STANDARDS IN THE MN MUTCD FOR PROTECTING WORK ZONES.
 6. SUBMIT A PHASING PLAN TO THE ENGINEER FOR REVIEW PRIOR TO BEGINNING CONSTRUCTION OPERATIONS. PHASING PLAN SHALL DETAIL BARRICADE PLACEMENT, BARREL SPACING, AND ADDITIONAL TEMPORARY TRAFFIC CONTROL.
 7. ALLOWED TO UTILIZE THE TARGET PARKING LOT TO ROUTE VEHICULAR TRAFFIC AROUND THE CONSTRUCTION AREA AT THE DISCRETION OF THE OWNER.

NOTE:
 PAVEMENT REMOVAL TO BE DONE AT NIGHT. TRAFFIC TO BE MAINTAINED THROUGHOUT CONSTRUCTION. PROVIDE CLASS 5 UNTIL PAVEMENT IS PLACED.
 VIDEOTAPE THE SITE PRIOR TO COMPLETING REMOVALS AND AFTER PLACING SUBGRADE TO CONFIRM CONDITION OF EXISTING ELEMENTS. ANY DAMAGE TO EXISTING ELEMENTS THAT ARE TO REMAIN MUST BE REPAIRED, RECONSTRUCTED, OR REPLACED BY CONTRACTOR AT NO COST TO OWNER.



Date	No.	Description
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2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL

PRELIMINARY

TARGET
 ST. LOUIS PARK, MINNESOTA
 BOONE AVE SOUTH
 ST. LOUIS PARK, MN 55426

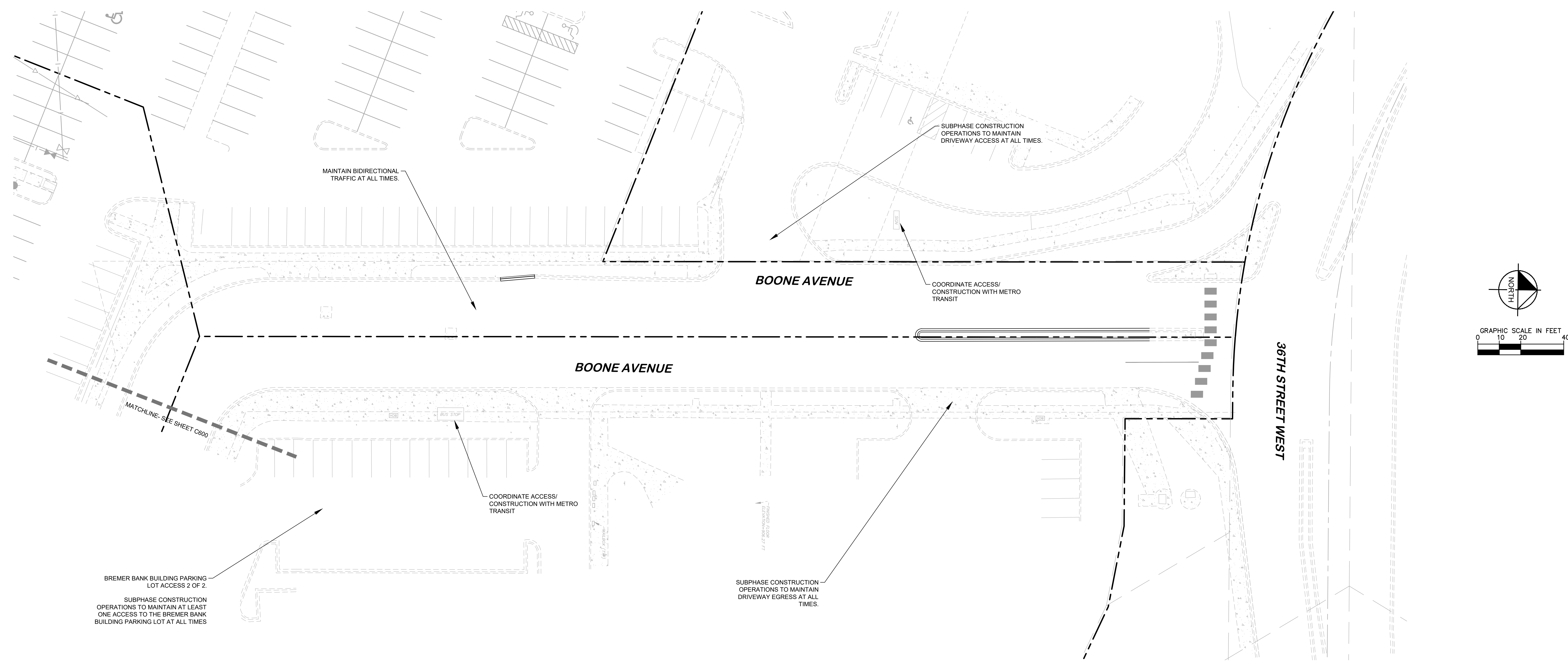
Project Number **T-2189**
 Config:
 Drawn By RAH / EW
 Checked By RAH

TRAFFIC CONTROL PHASING PLAN



C600

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BREMER BANK BUILDING PARKING LOT ACCESS 2 OF 2
 SUBPHASE CONSTRUCTION OPERATIONS TO MAINTAIN AT LEAST ONE ACCESS TO THE BREMER BANK BUILDING PARKING LOT AT ALL TIMES

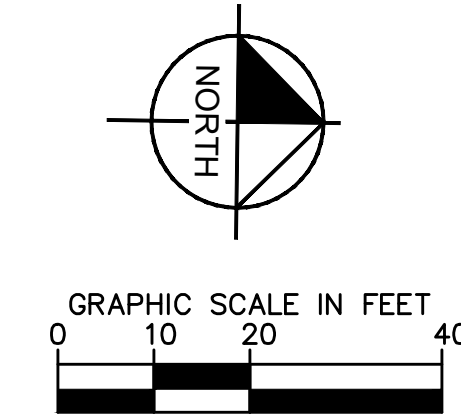
MAINTAIN BIDIRECTIONAL TRAFFIC AT ALL TIMES

SUBPHASE CONSTRUCTION OPERATIONS TO MAINTAIN DRIVEWAY ACCESS AT ALL TIMES

COORDINATE ACCESS/ CONSTRUCTION WITH METRO TRANSIT

COORDINATE ACCESS/ CONSTRUCTION WITH METRO TRANSIT

SUBPHASE CONSTRUCTION OPERATIONS TO MAINTAIN DRIVEWAY EGRESS AT ALL TIMES



- NOTES:
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PRELIMINARY

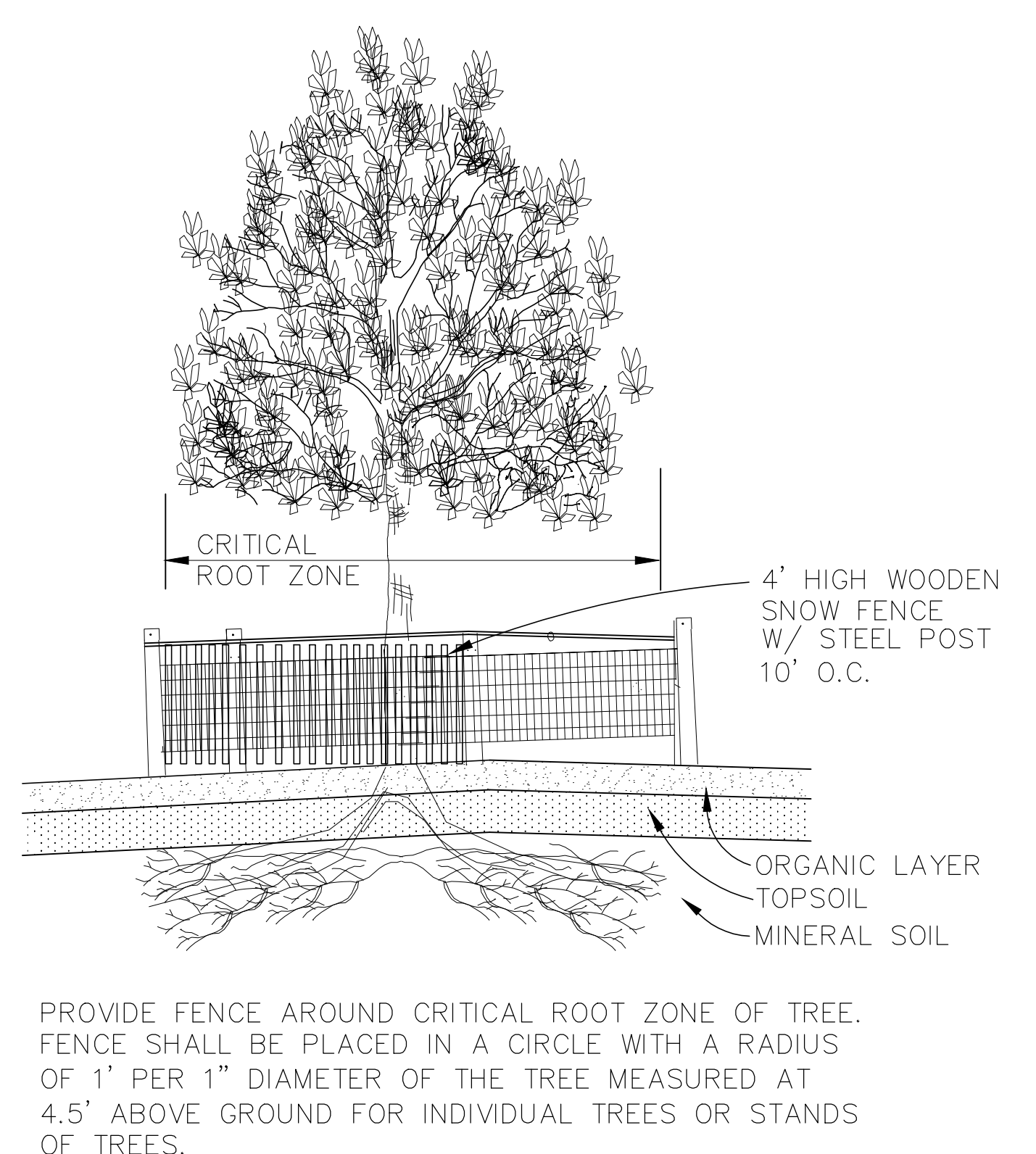
ST. LOUIS PARK, MINNESOTA
 BOONE AVE SOUTH
 ST. LOUIS PARK, MN 55426

Project Number	T-2189
Config:	
Drawn By	RAH / EW
Checked By	RAH

TRAFFIC CONTROL PHASING PLAN

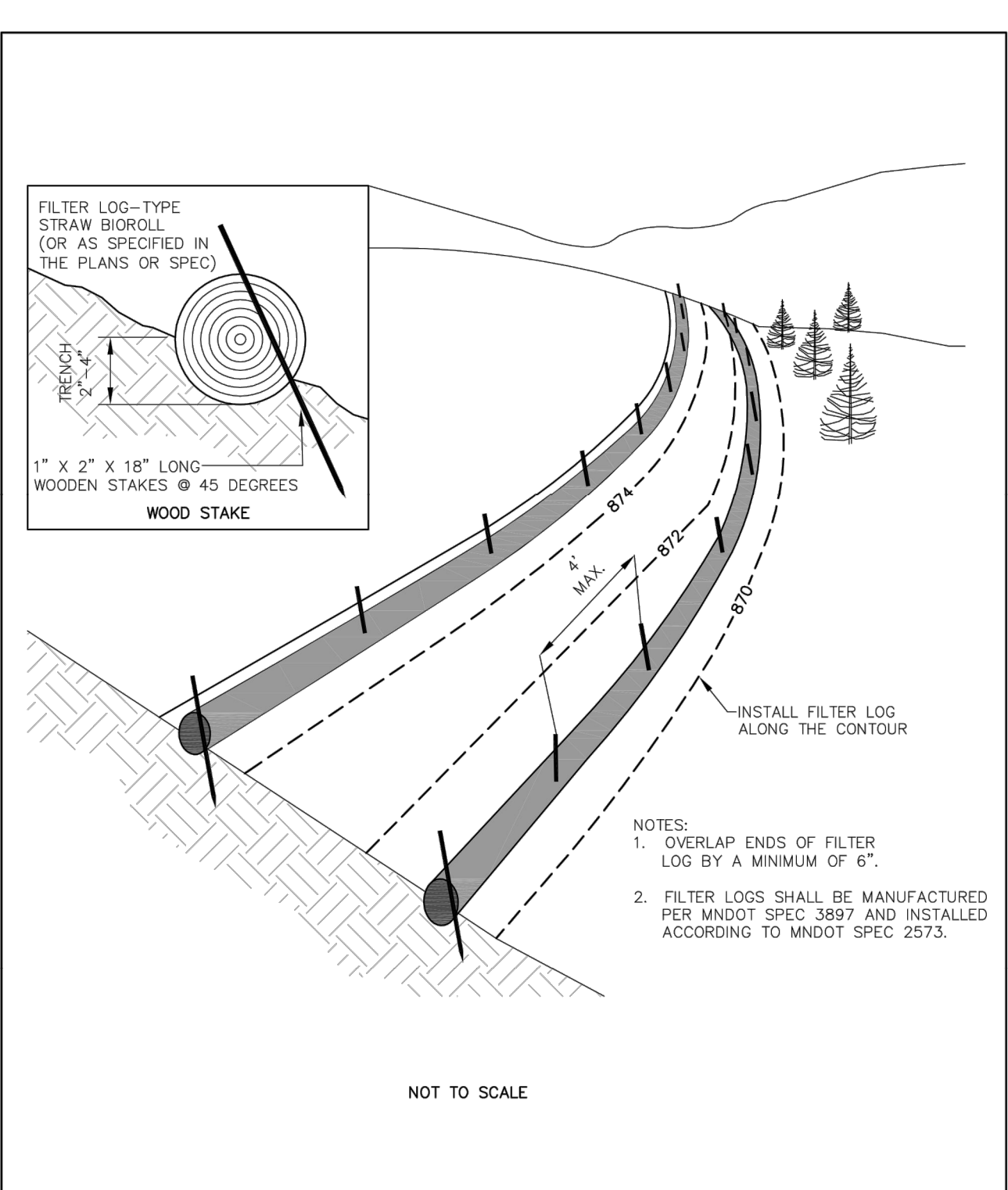


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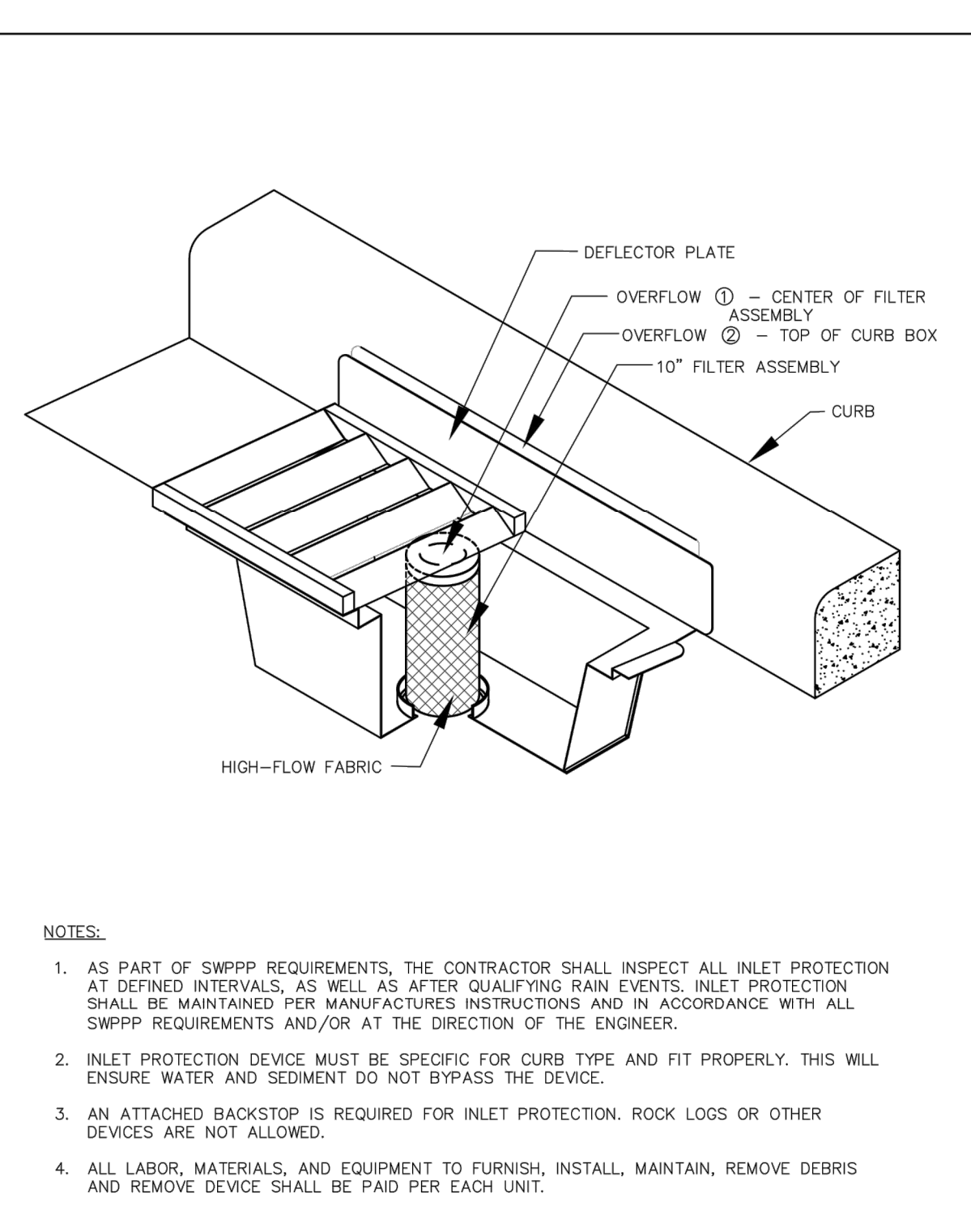


TP-1 TREE PROTECTION
SCALE: N.T.S.

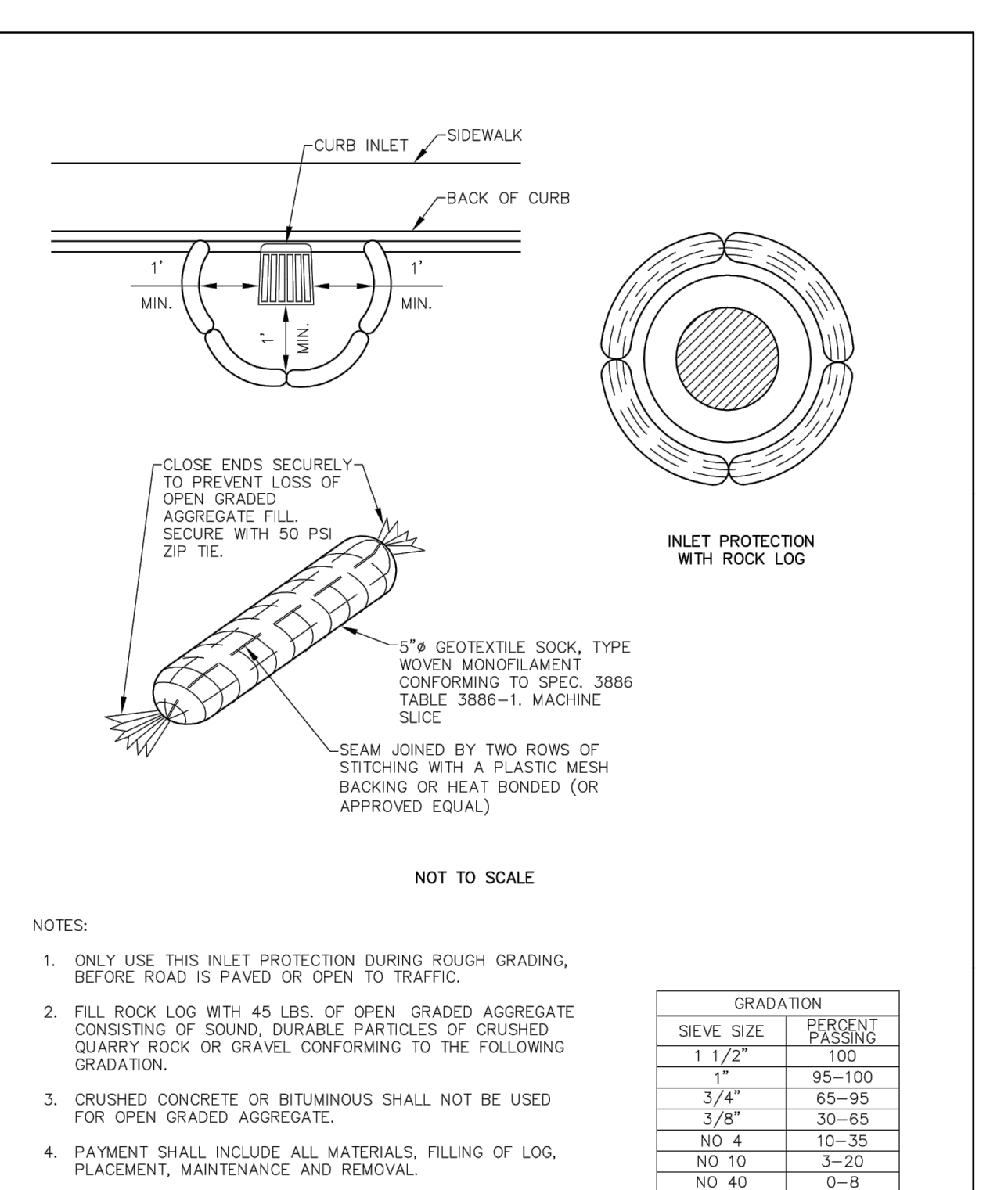
C700



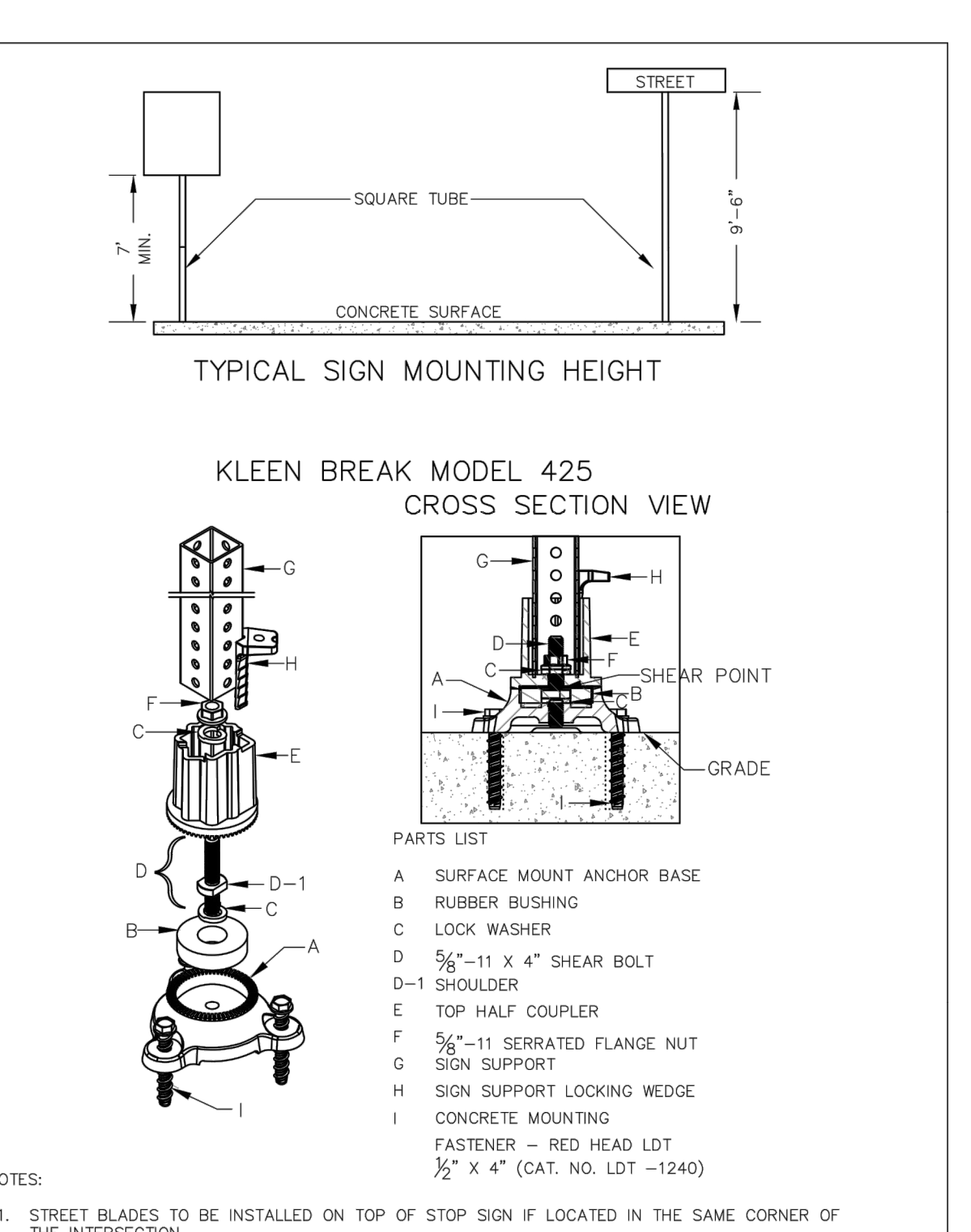
BIO-LOG
PUBLISH DATE: 10/26/18
PLATE NO: EC-3



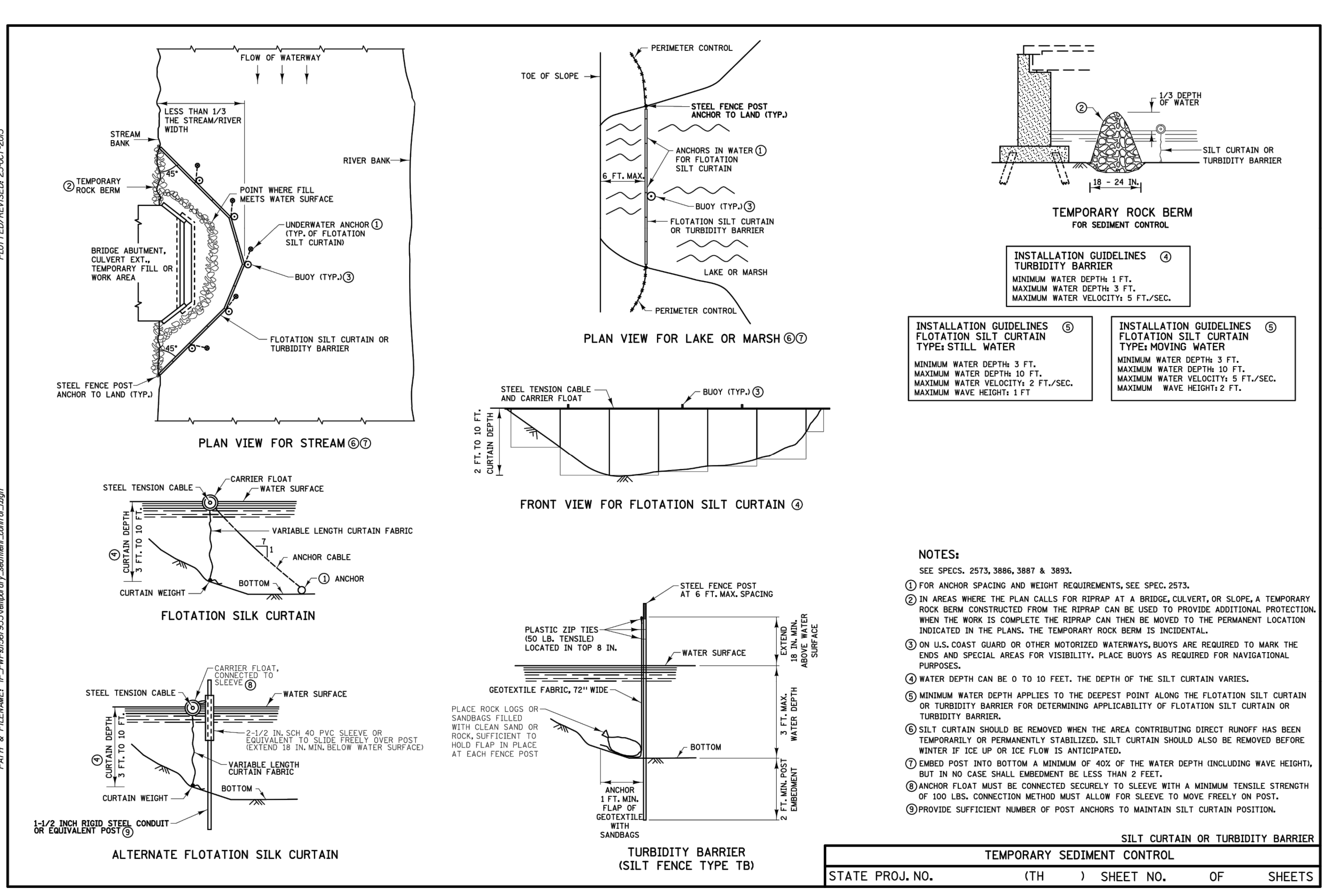
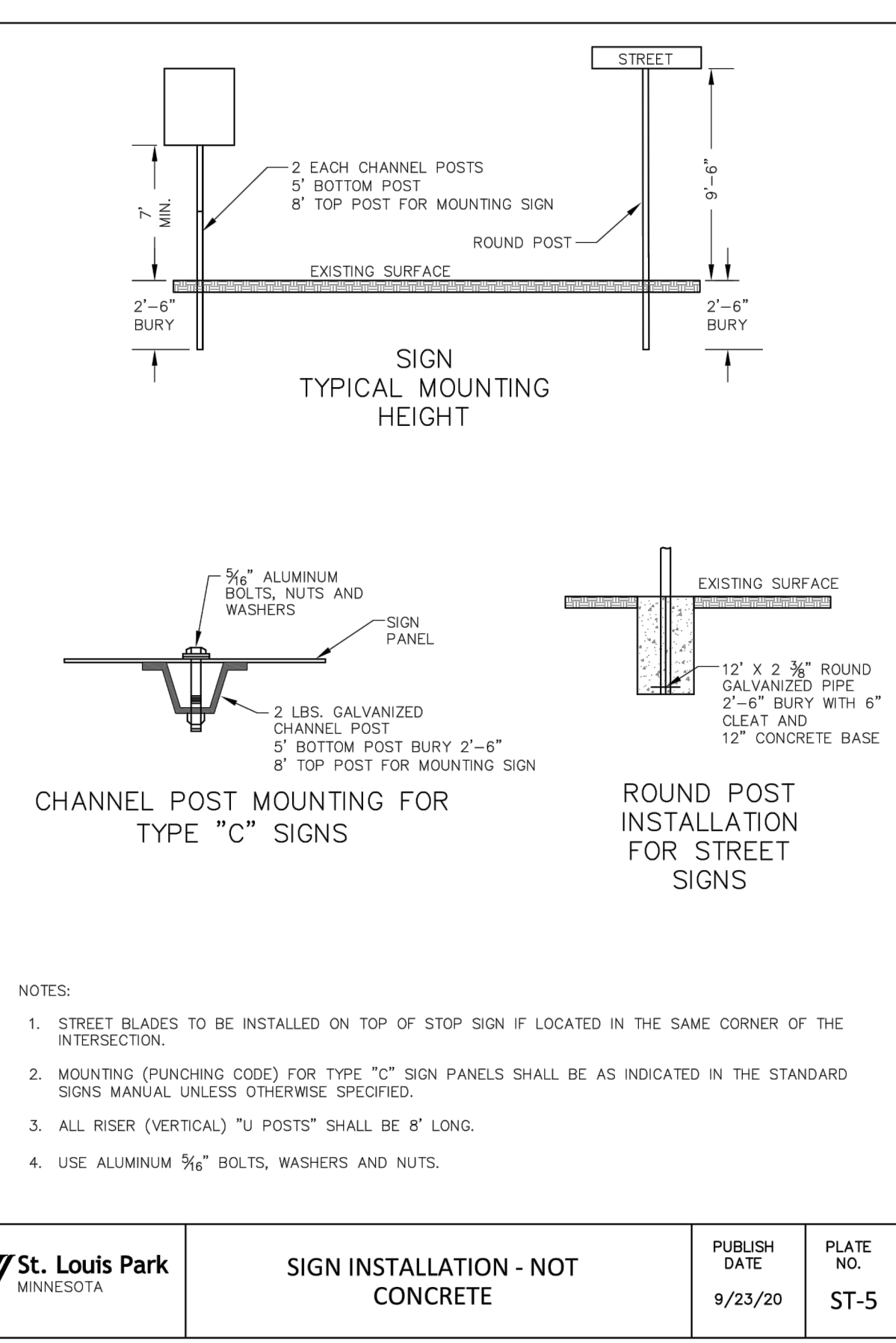
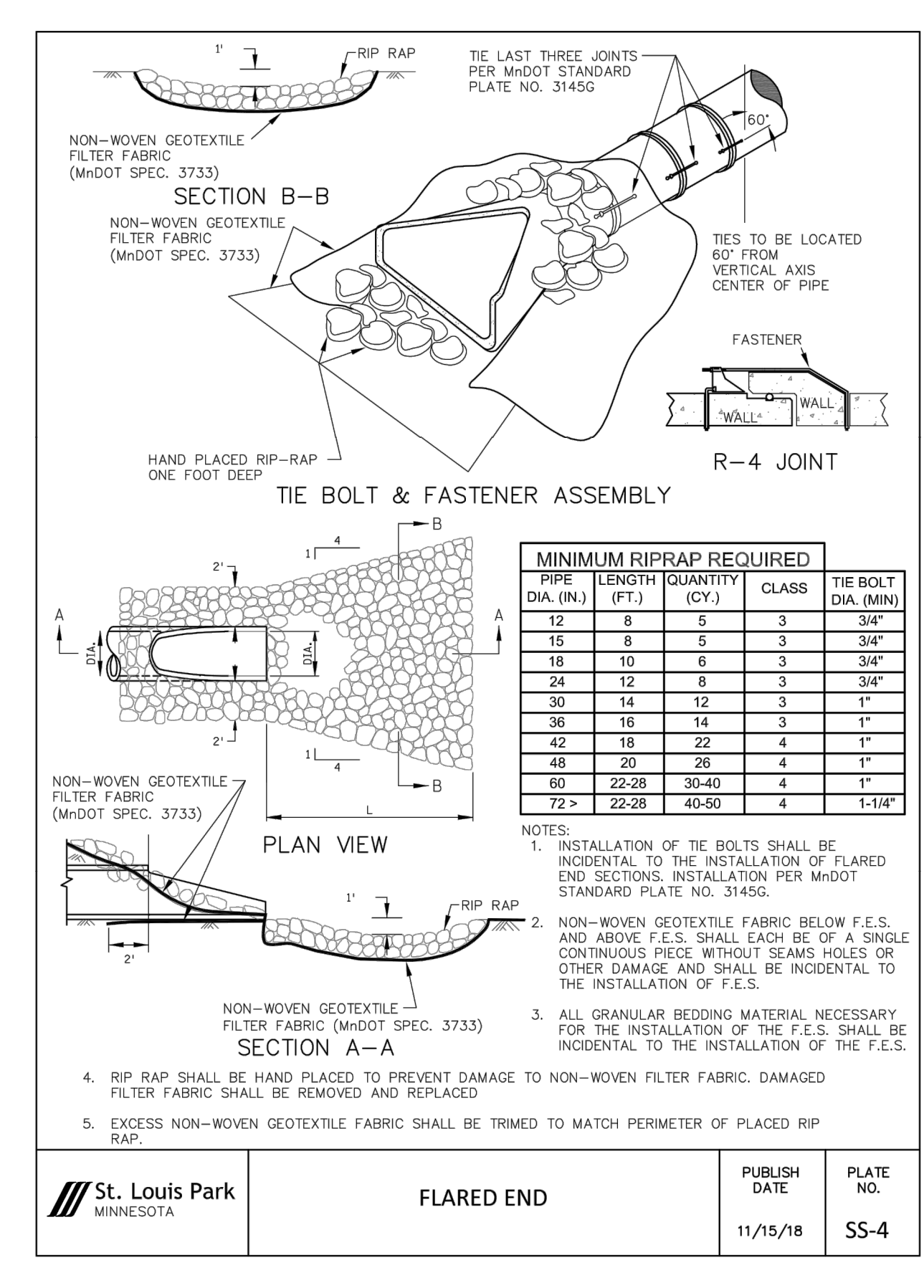
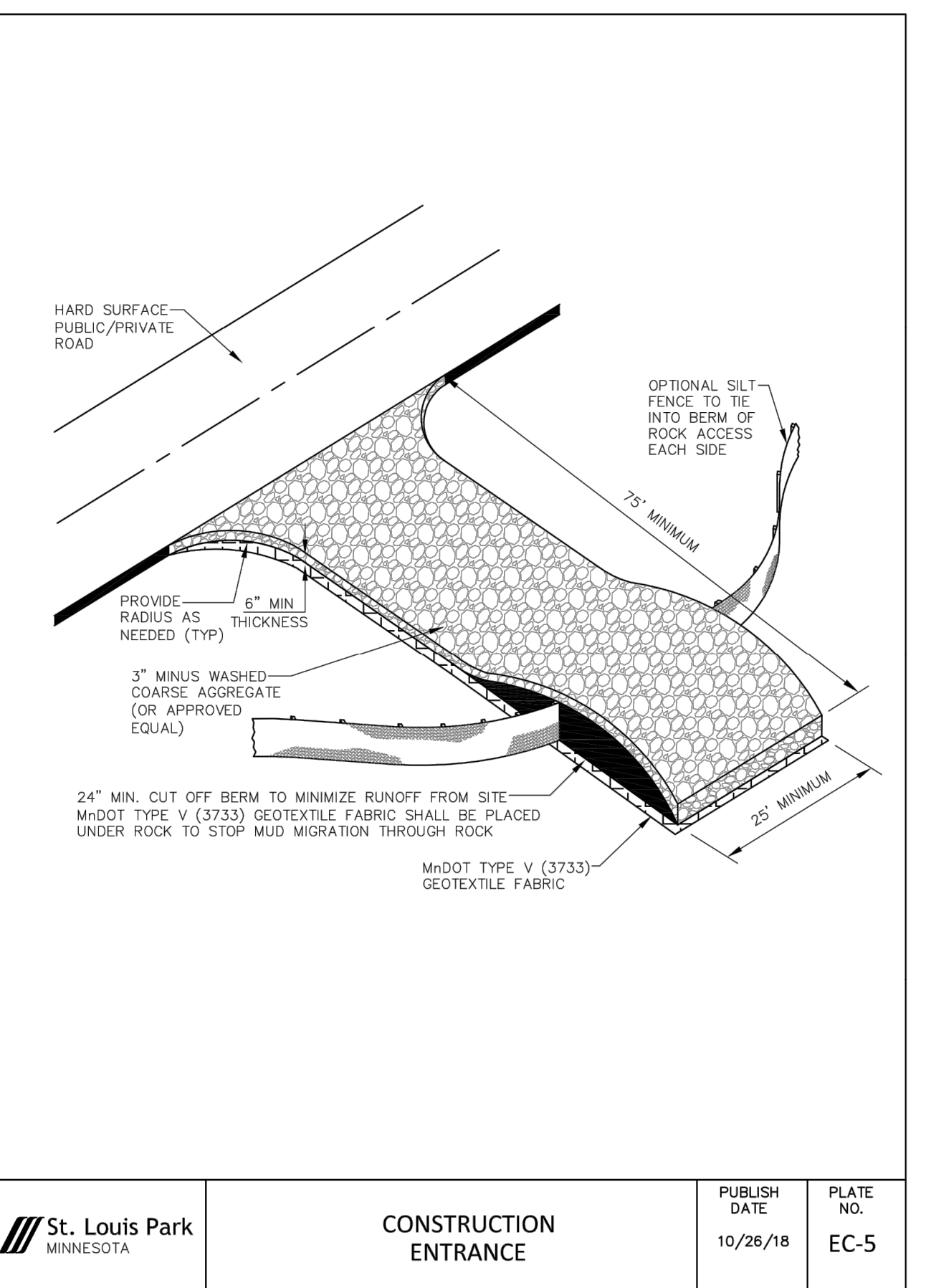
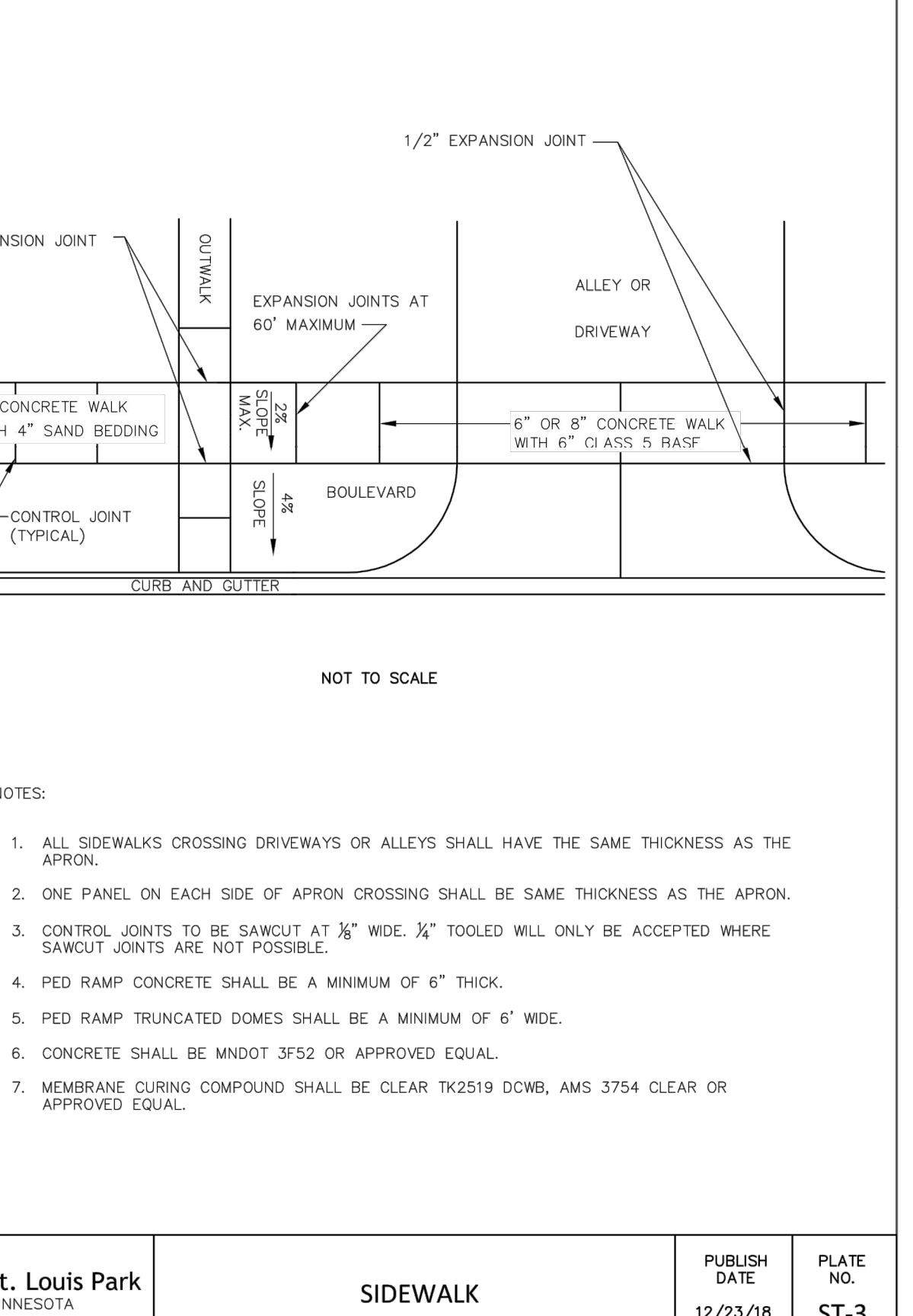
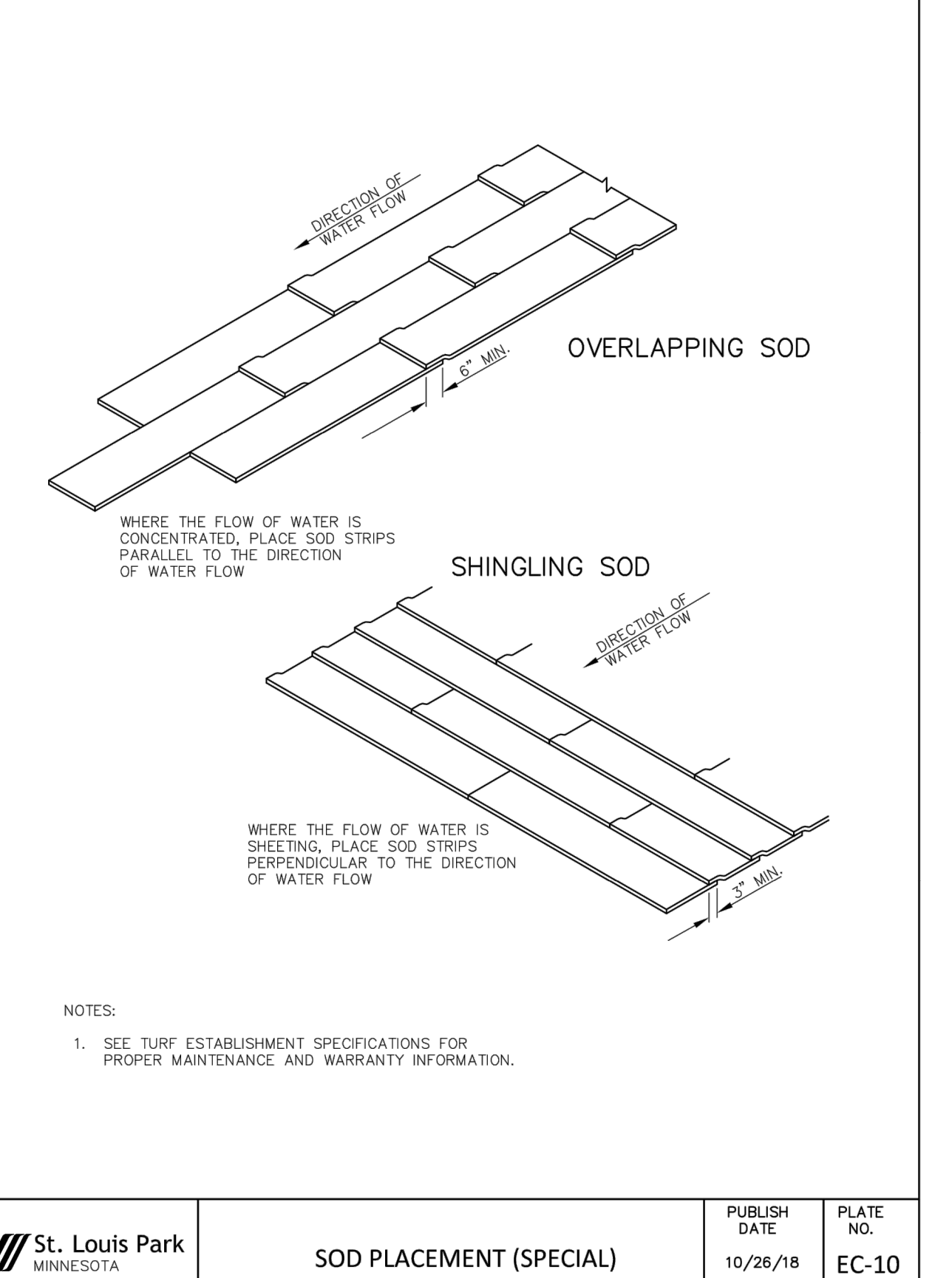
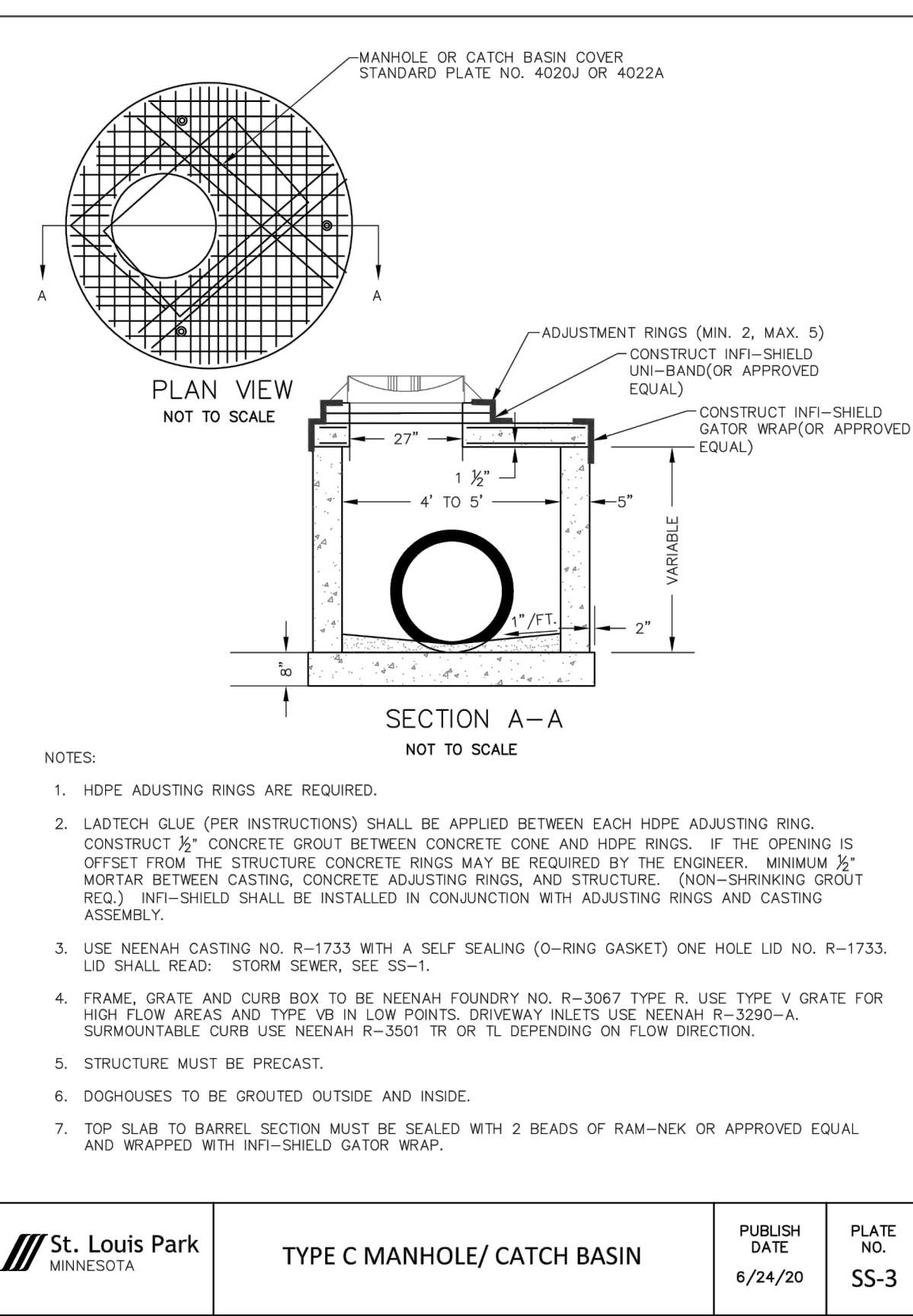
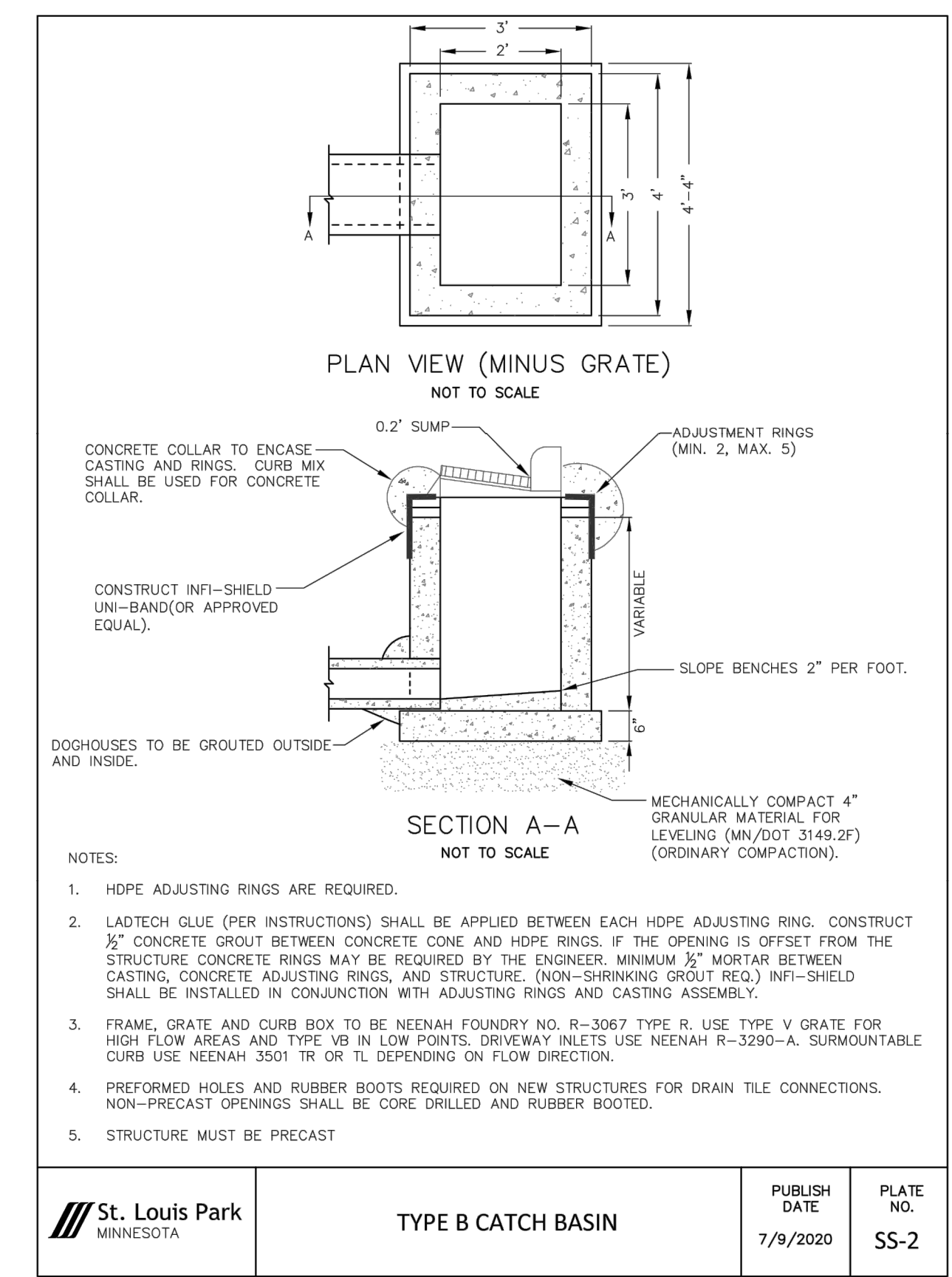
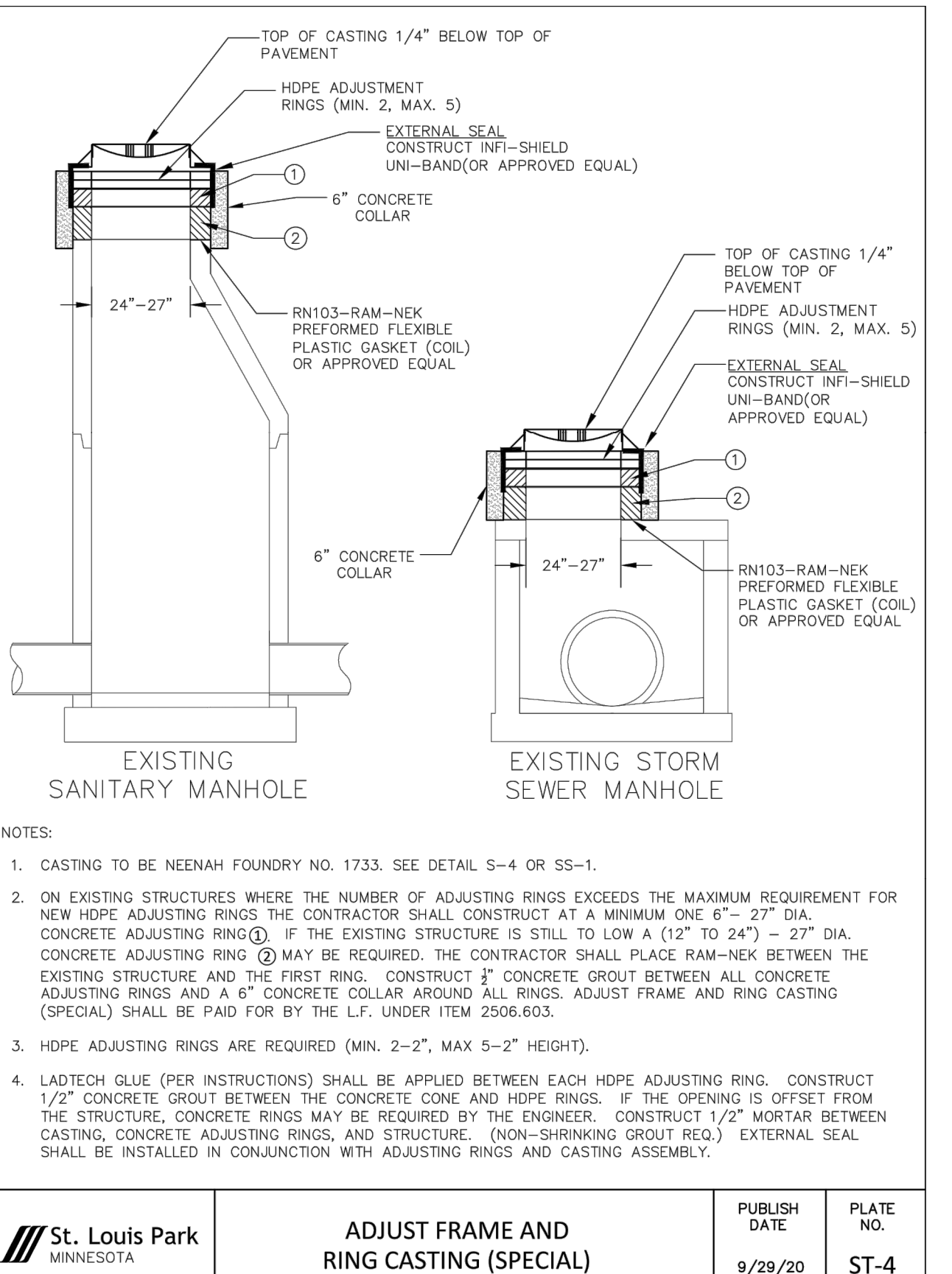
METAL INLET PROTECTION
PUBLISH DATE: 3/18/20
PLATE NO: EC-6



INLET PROTECTION ROCK & GEOTEXTILE BAG
PUBLISH DATE: 10/26/18
PLATE NO: EC-9



SIGN INSTALLATION - CONCRETE
PUBLISH DATE: 9/30/2020
PLATE NO: ST-6



Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL

PRELIMINARY

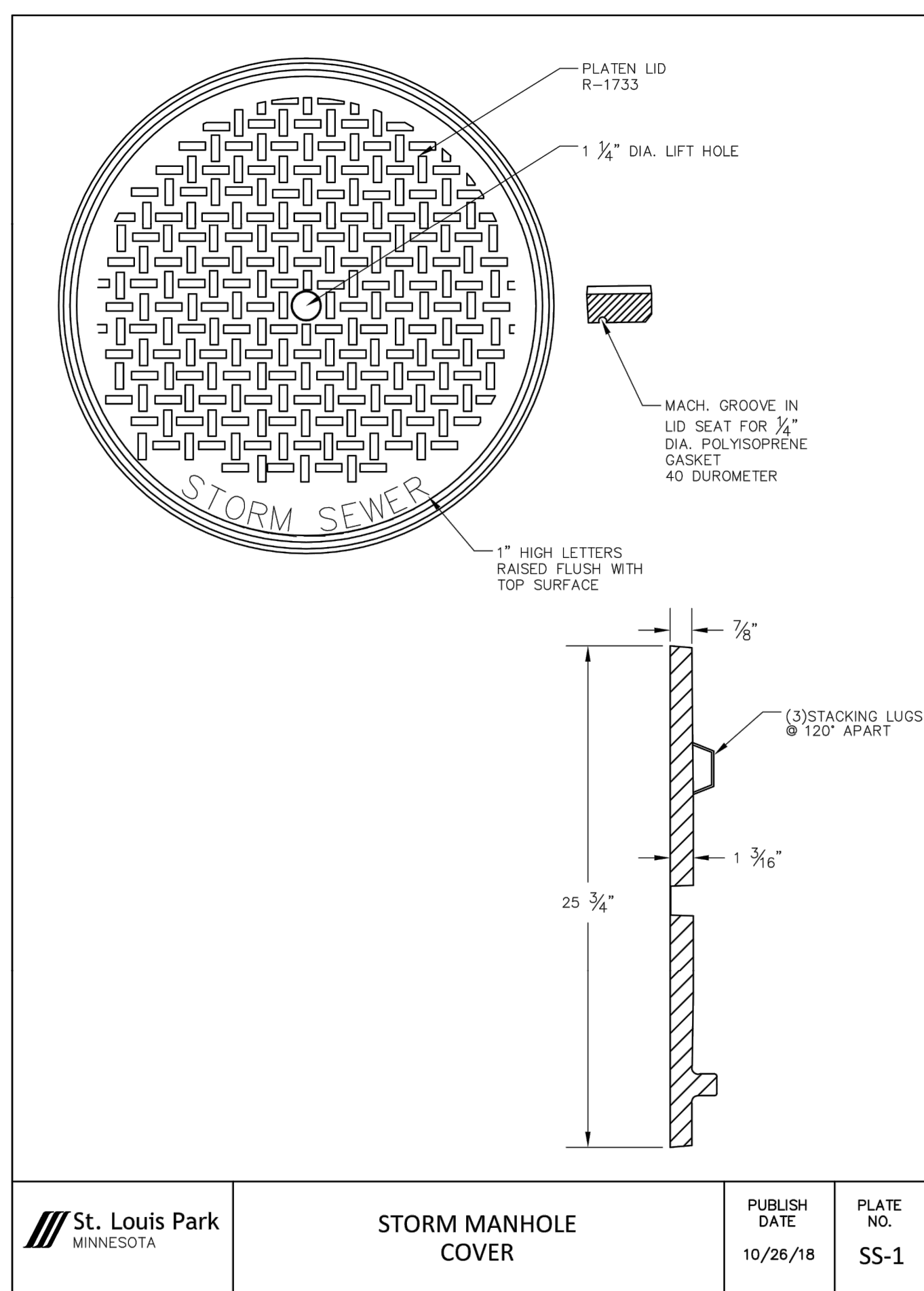


Project Number: **T-2189**
Config:
Drawn By: RAH / EW
Checked By: RAH

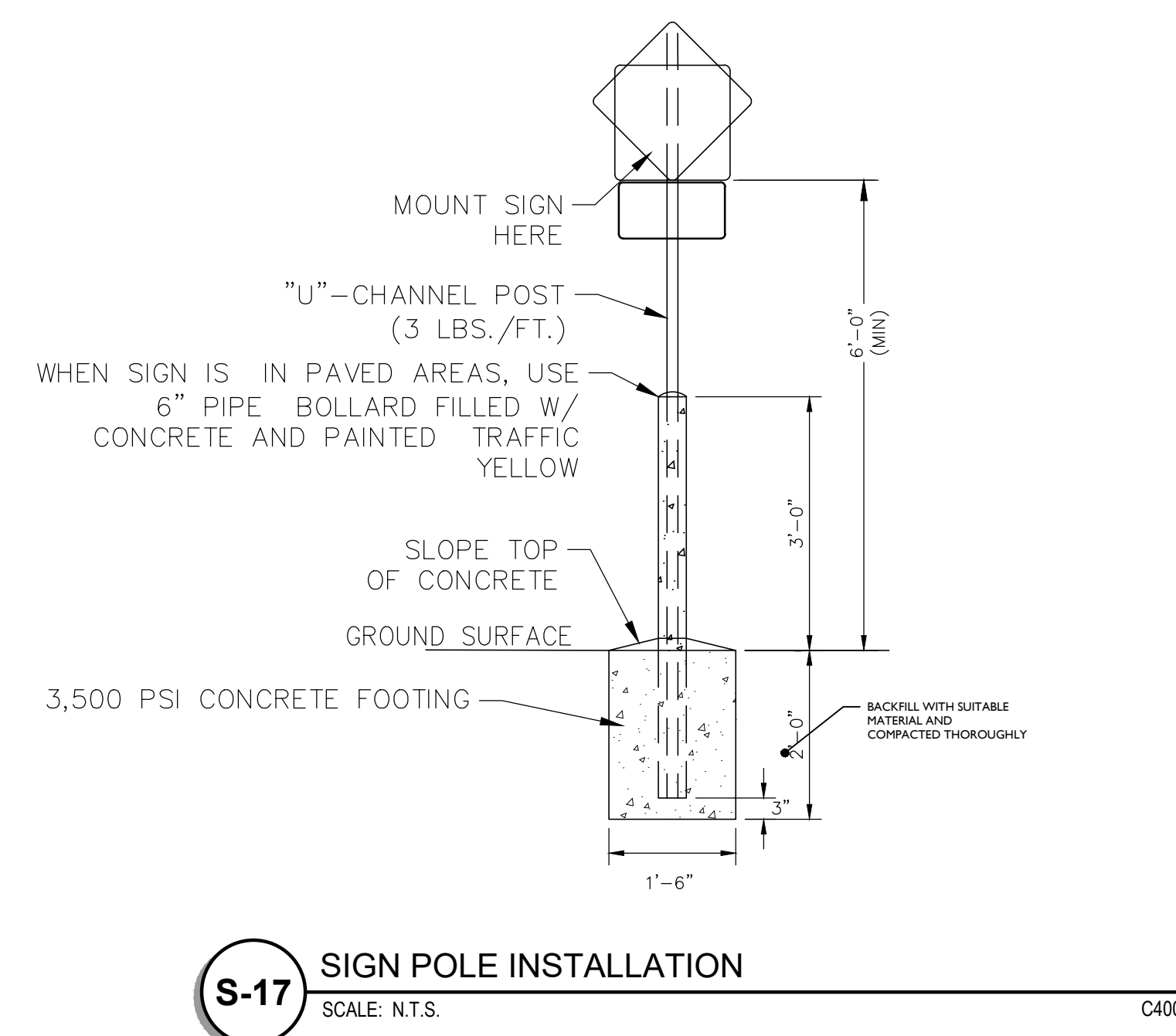
GENERAL DETAILS

C700

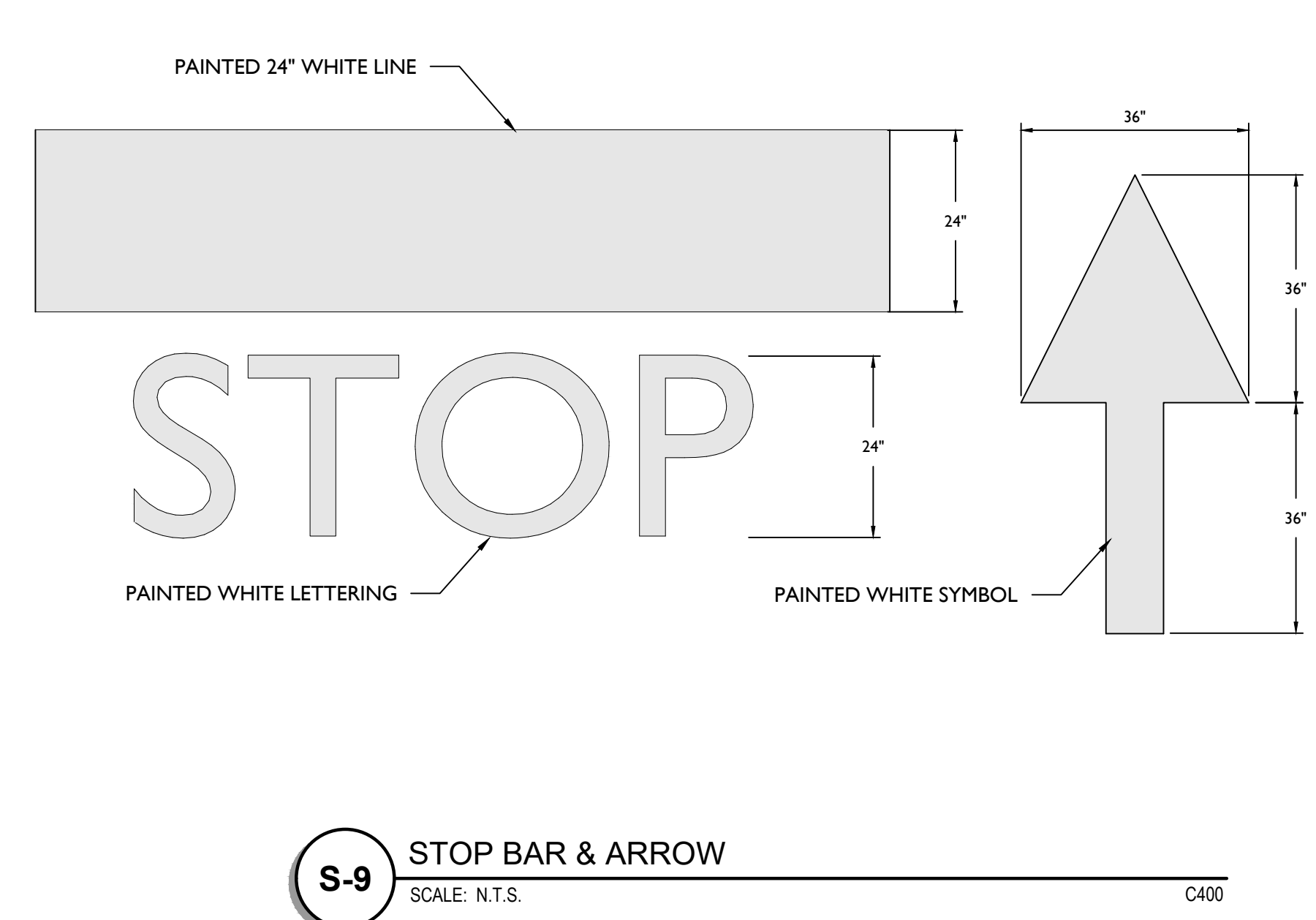
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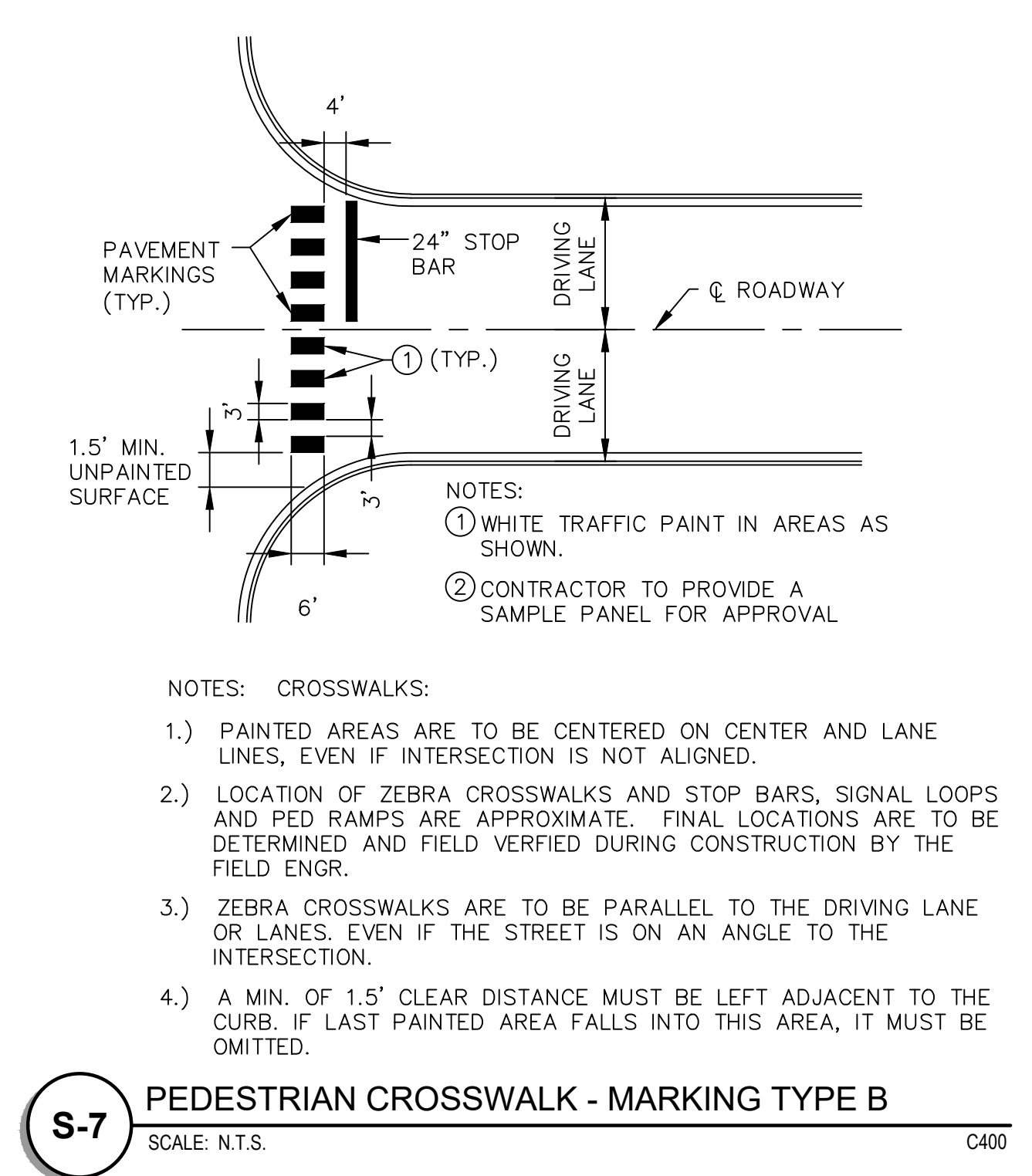
St. Louis Park MINNESOTA
STORM MANHOLE COVER
 PUBLISH DATE: 10/26/18
 PLATE NO.: SS-1



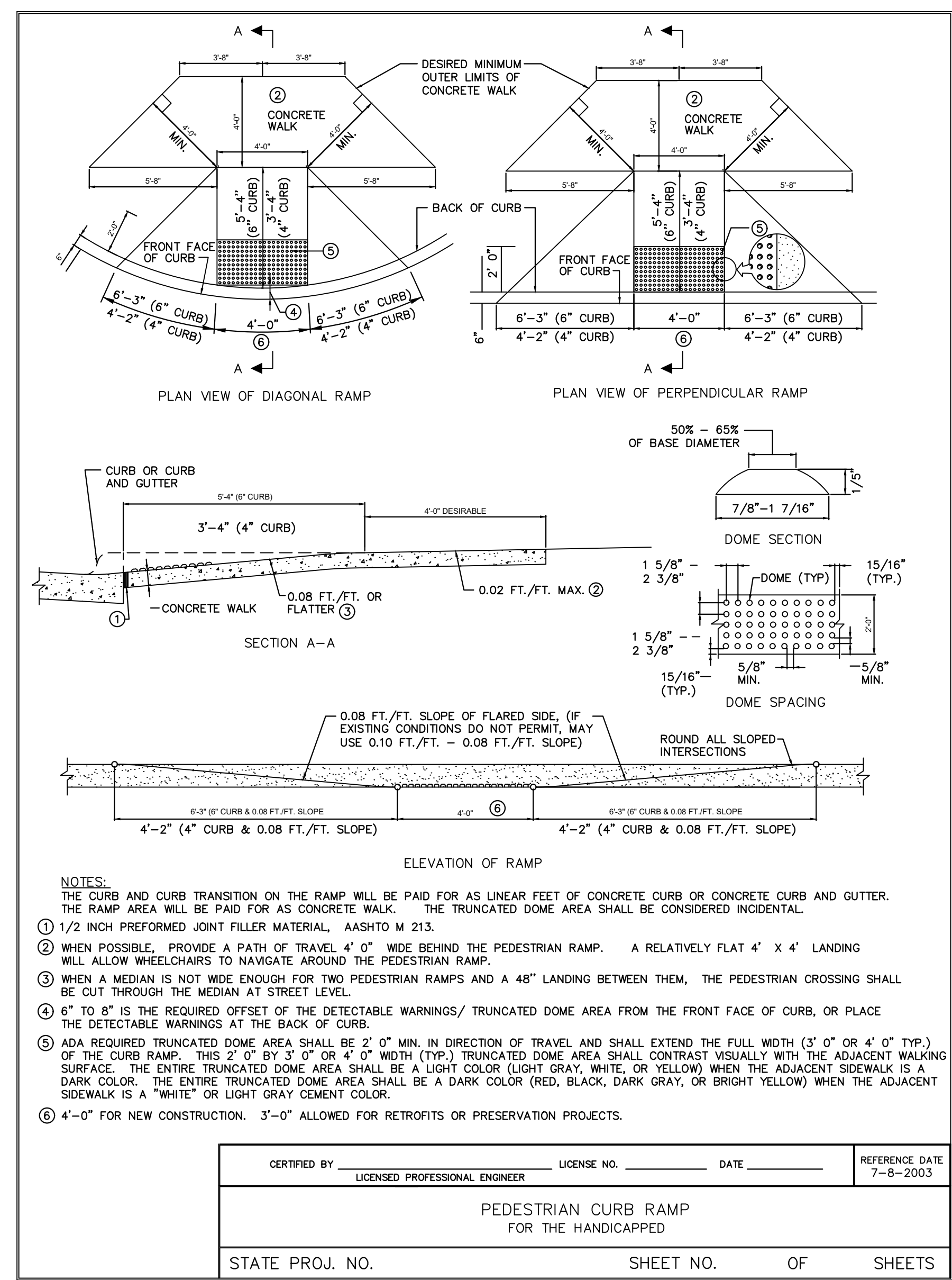
S-17 SIGN POLE INSTALLATION
 SCALE: N.T.S. C400



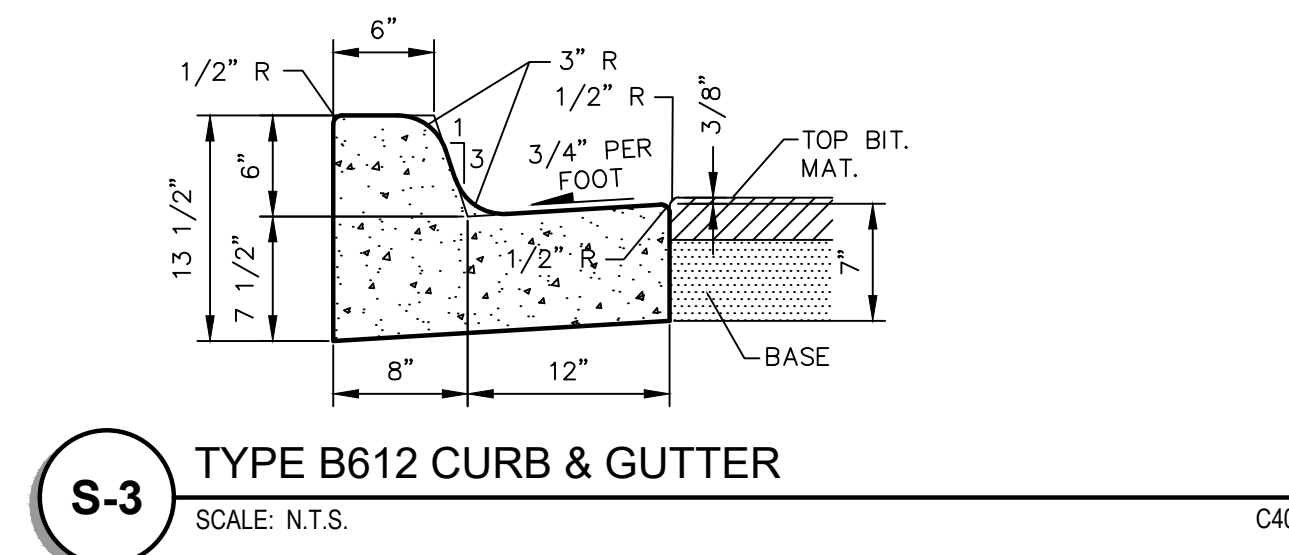
S-9 STOP BAR & ARROW
 SCALE: N.T.S. C400



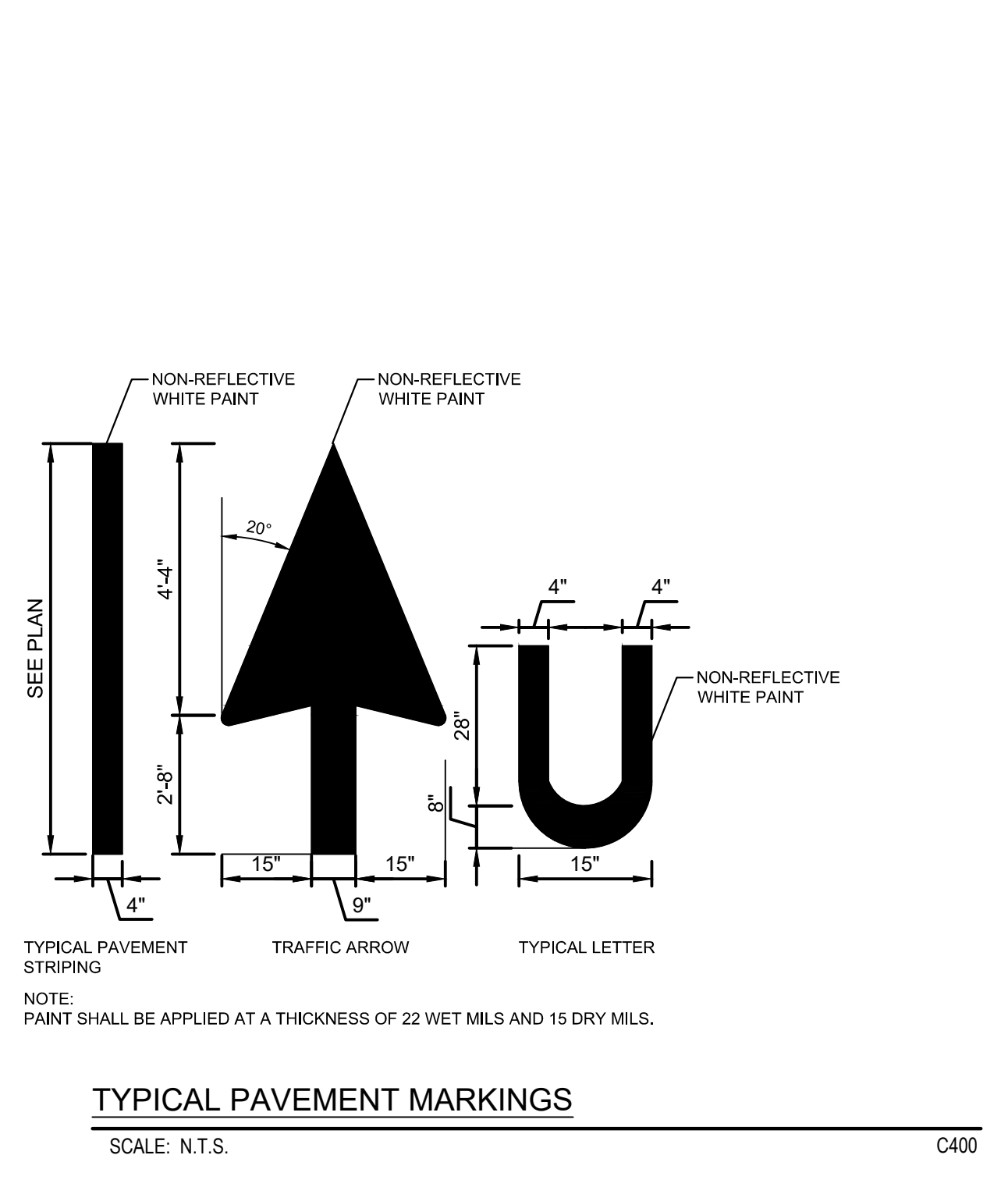
S-7 PEDESTRIAN CROSSWALK - MARKING TYPE B
 SCALE: N.T.S. C400



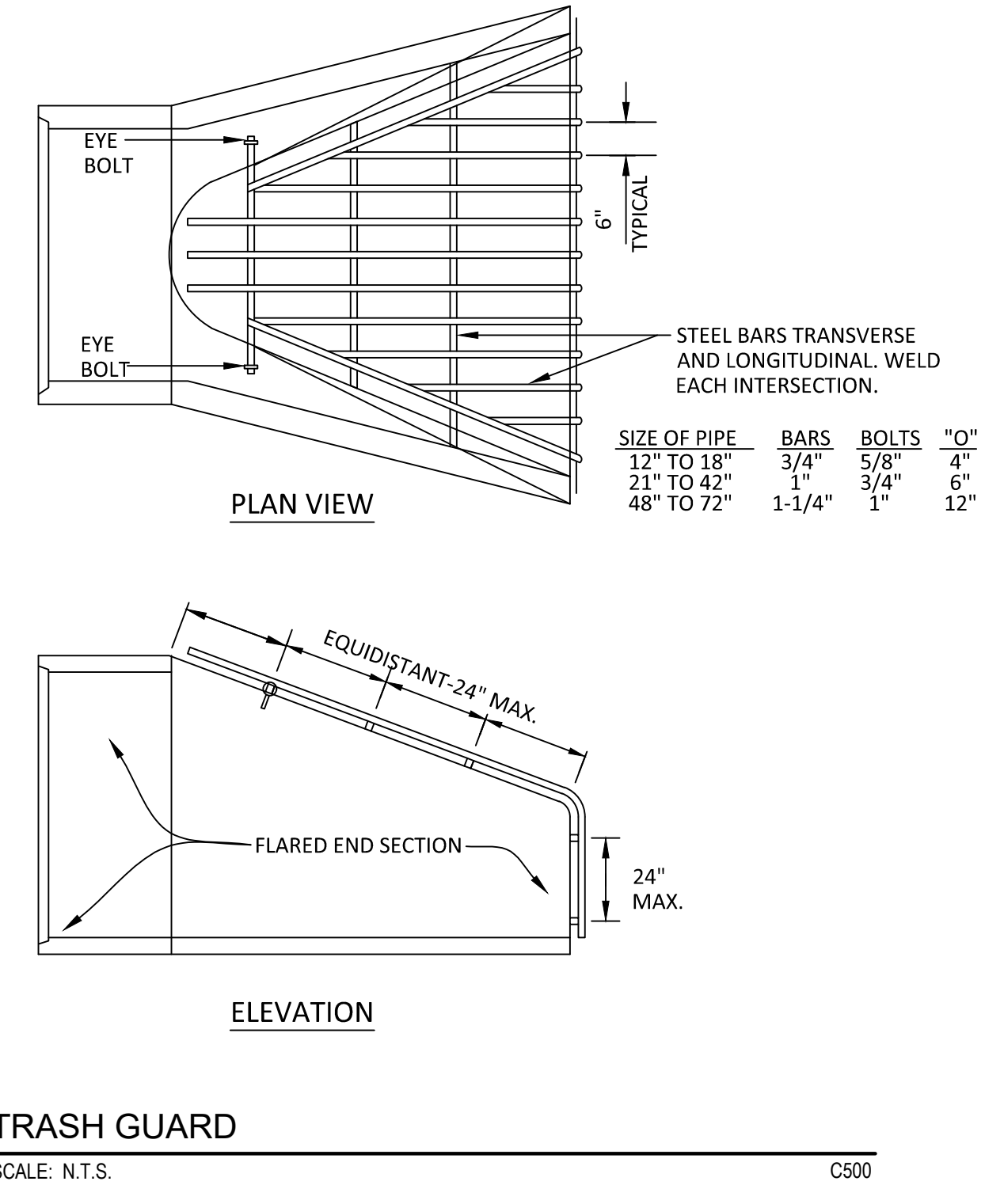
S-6 CURB RAMP
 SCALE: N.T.S. C400



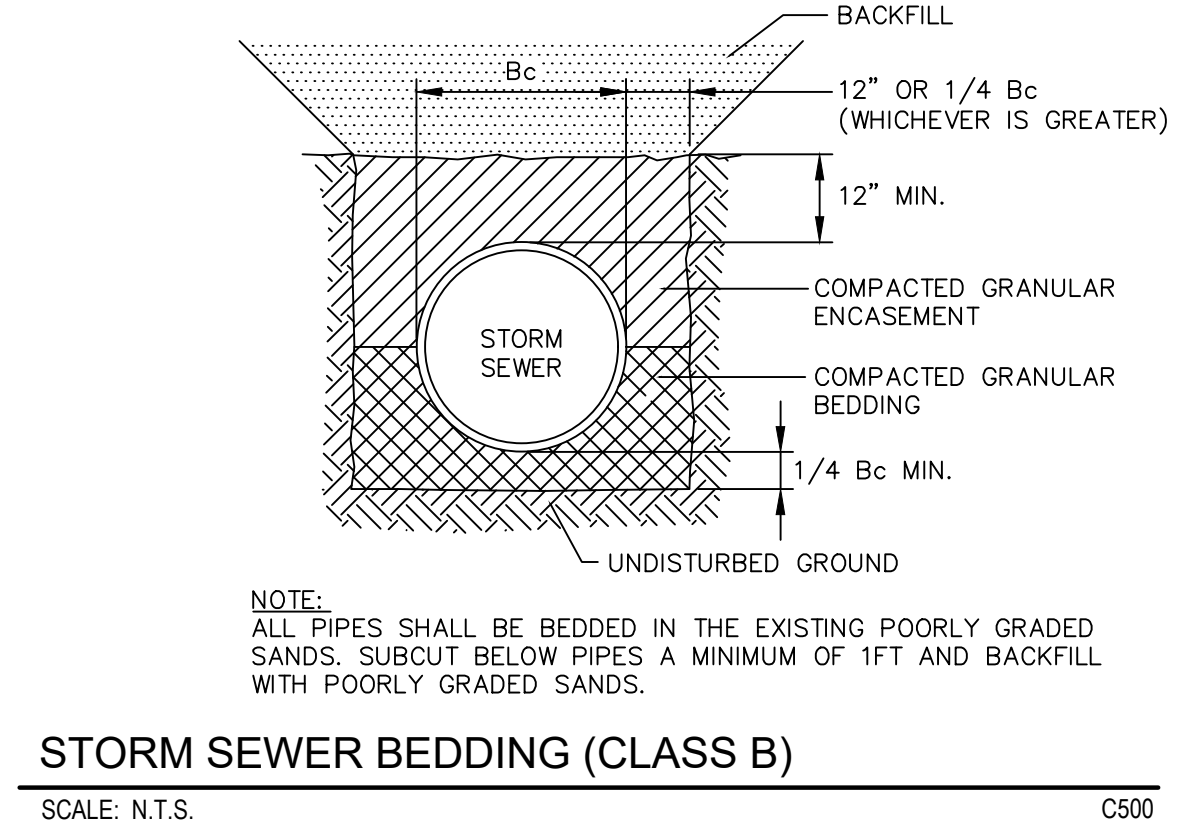
S-3 TYPE B612 CURB & GUTTER
 SCALE: N.T.S. C400



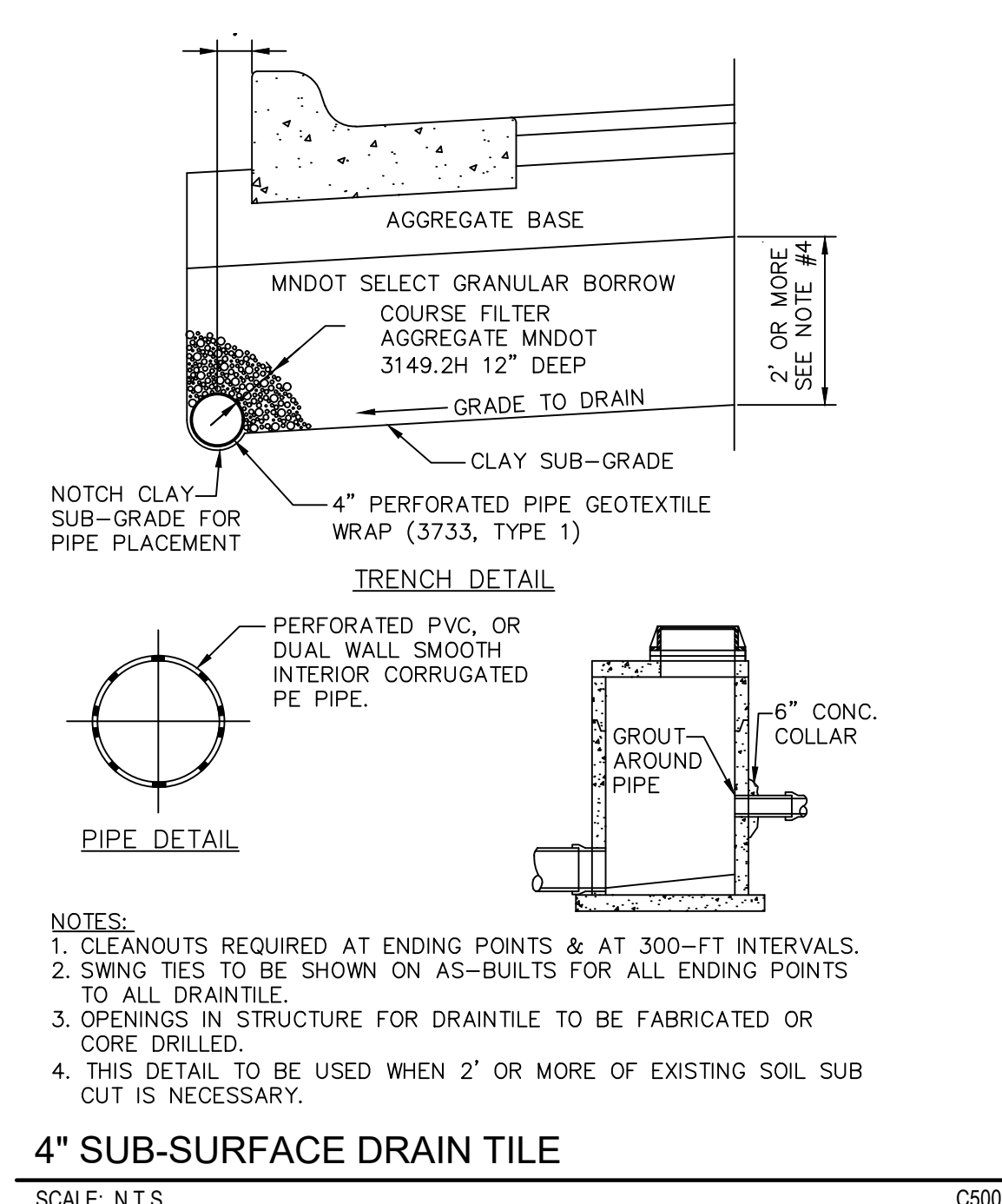
TYPICAL PAVEMENT MARKINGS
 SCALE: N.T.S. C400



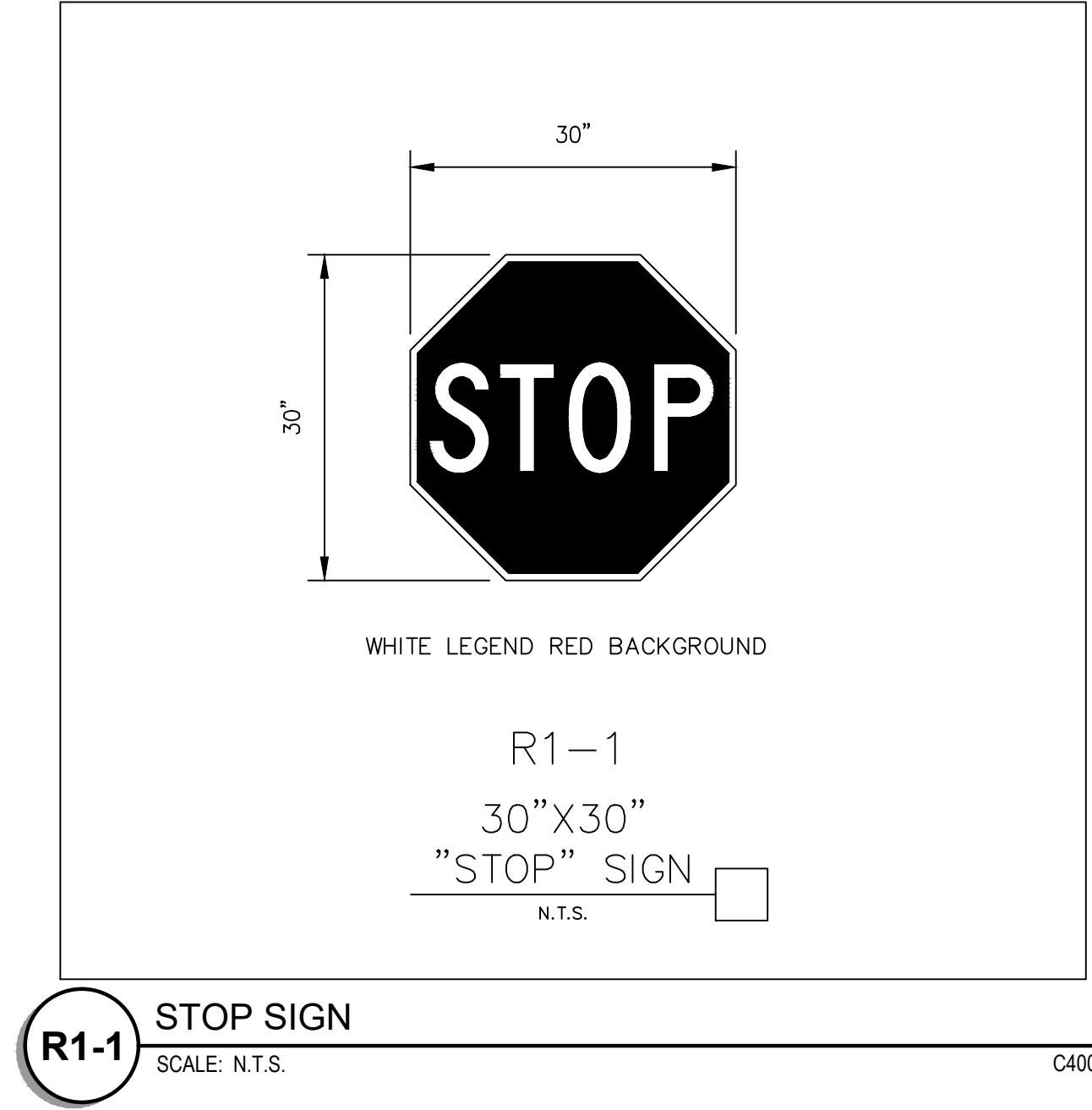
TRASH GUARD
 SCALE: N.T.S. C500



STORM SEWER BEDDING (CLASS B)
 SCALE: N.T.S. C500



4" SUB-SURFACE DRAIN TILE
 SCALE: N.T.S. C500



R1-1 STOP SIGN
 SCALE: N.T.S. C400



Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL

PRELIMINARY



Project Number: T-2189
 Config:
 Drawn By: RAH / EW
 Checked By: RAH

GENERAL DETAILS

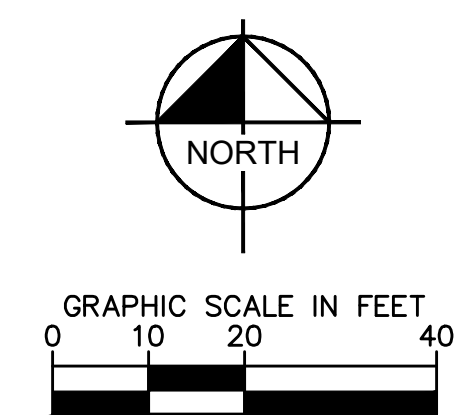
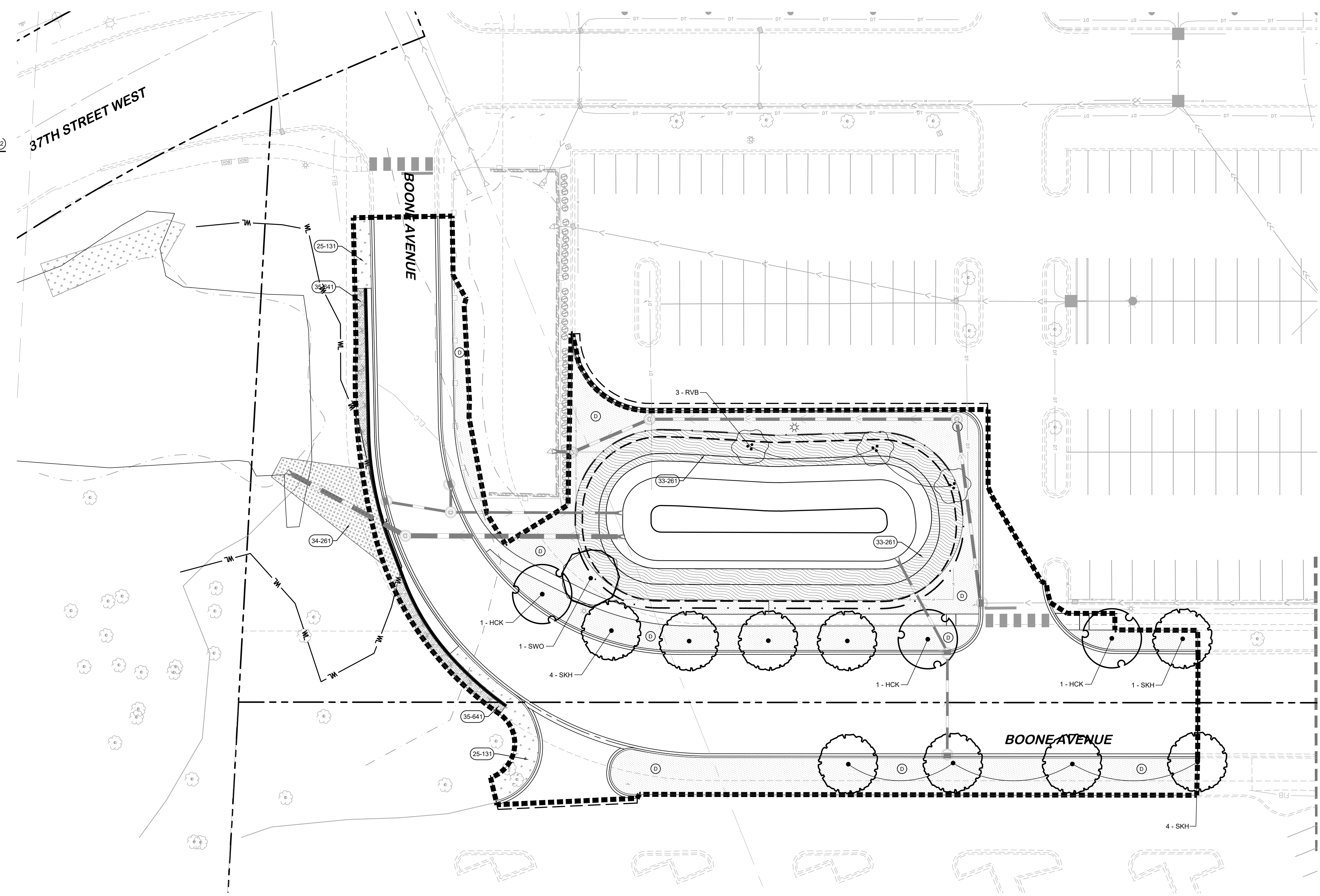
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- LANDSCAPE KEYNOTES**
- ① EDGER (TYP.)
 - ② DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
 - ③ ROCK MULCH (TYP.)
 - ④ SOD (TYP.)
 - ⑤ MAINTENANCE STRIP (TYP.)
 - ⑥ ANNUALS BY OWNER (TYP.)

- SEEDING KEYNOTES**
- (25-131) SEED WITH MNDOT 25-131: LOW MAINTENANCE TURF SEED MIX (TYP.)
 - (33-261) SEED WITH MNDOT 33-261: STORMWATER SOUTH & WEST SEED MIX (TYP.)
 - (34-261) SEED WITH MNDOT 34-261: RIPARIAN SOUTH & WEST SEED MIX (TYP.)
 - (35-641) SEED WITH MNDOT 35-641: MESIC PRAIRIE SOUTHEAST SEED MIX (TYP.)



PLANT SCHEDULE						
ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
	RVB	3	BETULA NIGRA	RIVER BIRCH MULTI-TRUNK	B & B	6' HT.
OVERSTORY TREE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	HCK	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2.5' CAL.
	SKH	9	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	B & B	2.5' CAL.
	SWO	1	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2.5' CAL.
SEED AND SOD						
CODE	QTY	BOTANICAL NAME	COMMON NAME			
	25-131	823 SF	LOW MAINTENANCE TURF	MNDOT 25-131		
	33-261	4,964 SF	STORMWATER SOUTH & WEST	MNDOT 33-261		
	34-261	1,167 SF	RIPARIAN SOUTH & WEST	MNDOT 34-261		
	35-641	572 SF	MESIC PRAIRIE SOUTHEAST	MNDOT 35-641		
	SOD	11,901 SF	SOD	SOD		

LANDSCAPE SUMMARY

TREES REMOVED:	16
TREES PROPOSED:	16

NOTE:
SEE SHEET L101 FOR LANDSCAPE NOTES AND DETAILS



Date	No.	Description
1/25/2021	0	CITY / WATERSHED SUBMITTAL
2/24/2021	1	CITY / WATERSHED RE-SUBMITTAL

PRELIMINARY

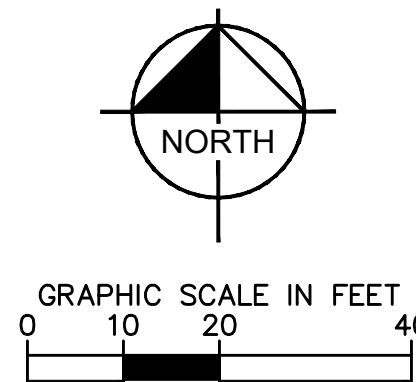


Project Number	T-2189
Config:	
Drawn By	RAH / EW
Checked By	RAH

LANDSCAPE PLAN

L100



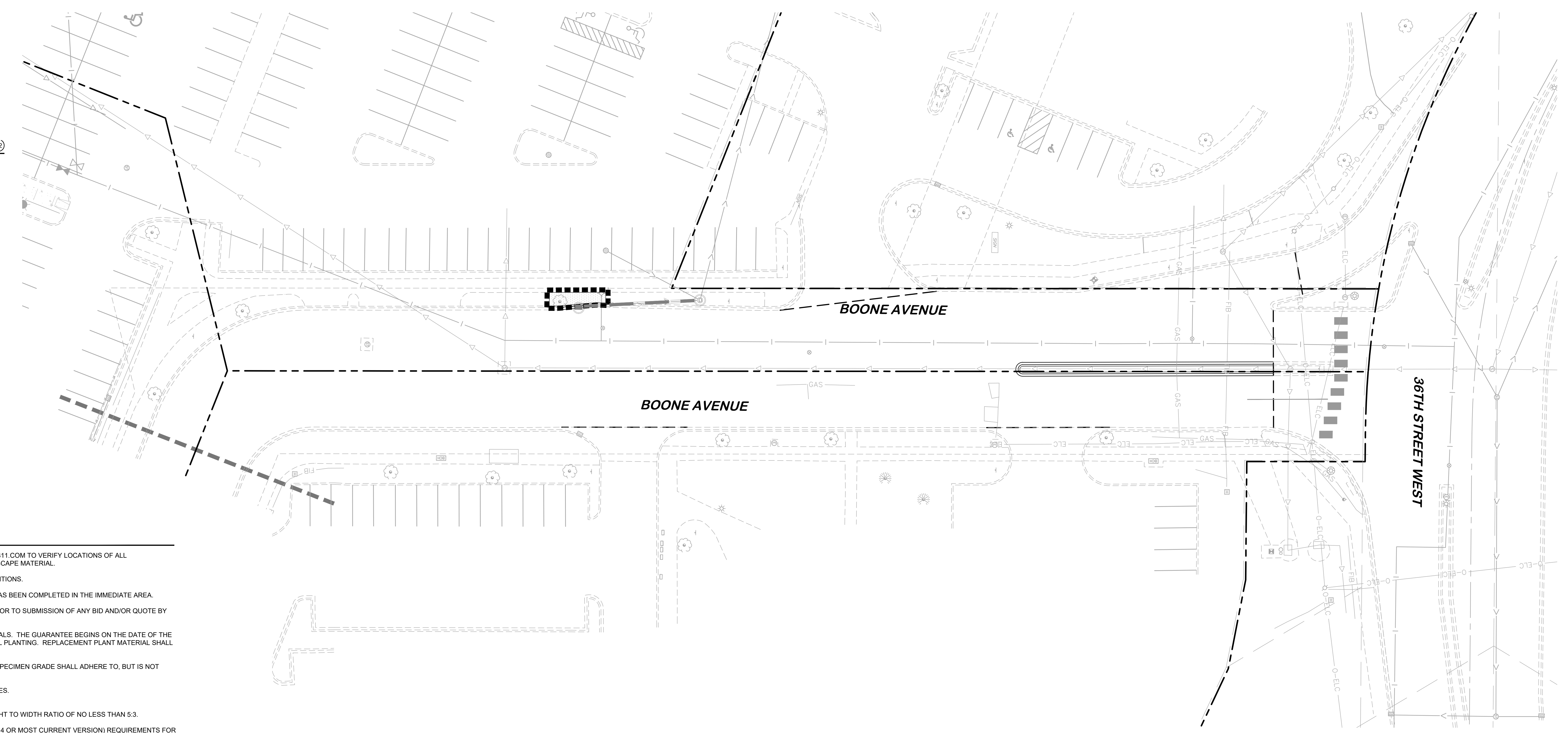


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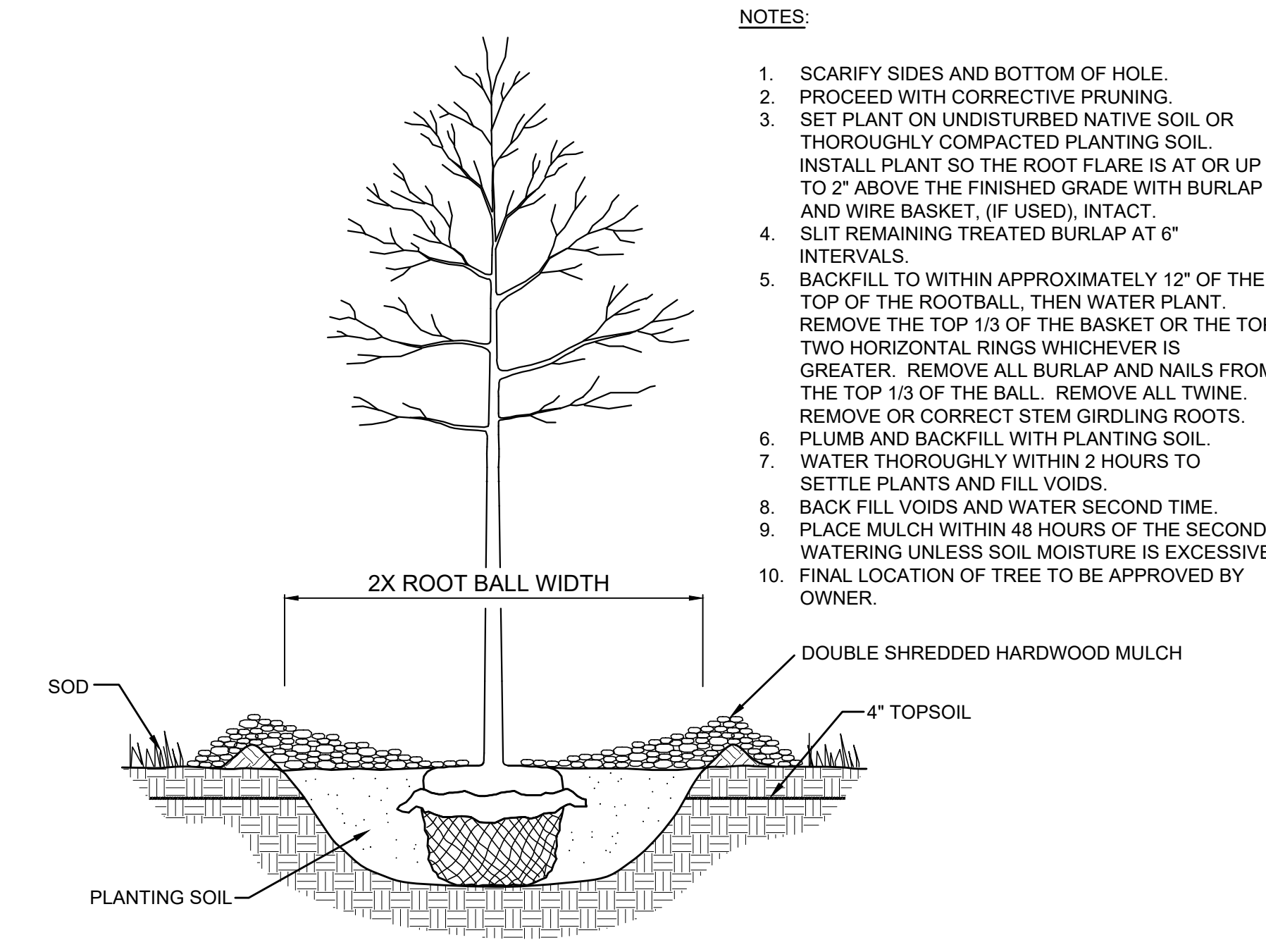
- LANDSCAPE KEYNOTES**
- (A) EDGER (TYP.)
 - (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
 - (C) ROCK MULCH (TYP.)
 - (D) SOD (TYP.)
 - (E) MAINTENANCE STRIP (TYP.)
 - (F) ANNUALS BY OWNER (TYP.)

- SEEDING KEYNOTES**
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 - (33-26) SEED WITH MNDOT 33-261: STORMWATER SOUTH & WEST SEED MIX (TYP.)
 - (34-26) SEED WITH MNDOT 34-261: RIPARIAN SOUTH & WEST SEED MIX (TYP.)
 - (35-64) SEED WITH MNDOT 35-641: MESIC PRAIRIE SOUTHEAST SEED MIX (TYP.)

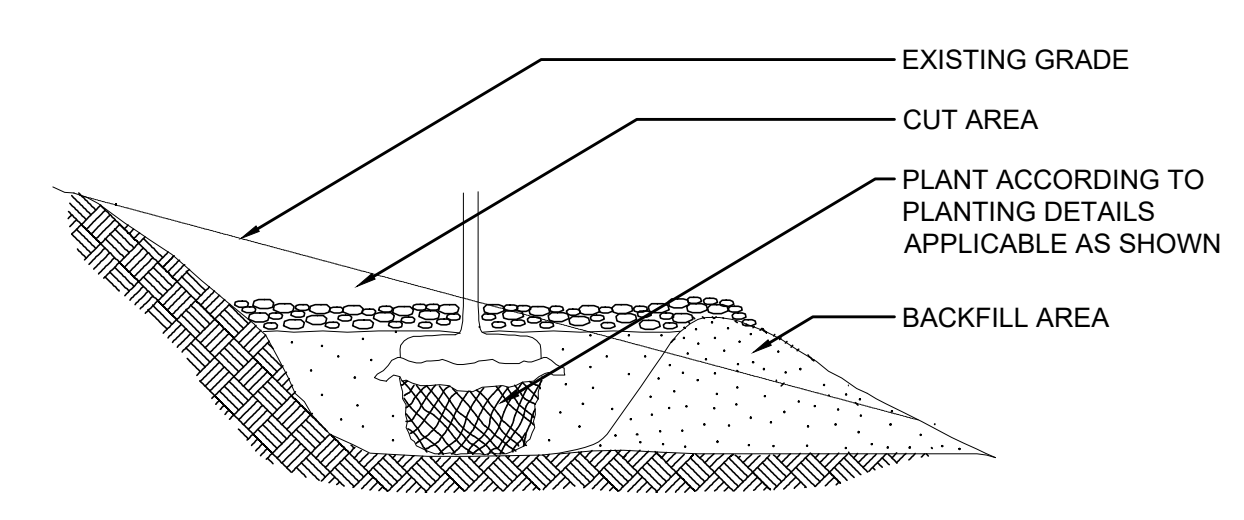
- LANDSCAPE NOTES**
- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL 811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
 - ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
 - NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 - ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
 - ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
 - PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
 - PLANTS TO BE INSTALLED AS PER MFLA & ANSI STANDARD PLANTING PRACTICES.
 - PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY, TEMPORARY ONLY.
 - PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
 - OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
 - PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
 - WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
 - STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
 - THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
 - BACKFILL SOIL AND TOPSOIL TO ADHERE TO MNDOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
 - MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 2" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
 - EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
 - EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
 - ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MNDOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
 - PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRINGS STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
 - REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
 - REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
 - MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD: 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 45 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECTIES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.



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1 TREE PLANTING DETAIL
SCALE: N.T.S.



- NOTE:**
- EXTENDED EXCAVATION AND BACKFILL SOIL TO A POINT DOWNSLOPE EQUAL TO OR LOWER IN ELEVATION THAN THE BOTTOM OF THE HOLE DIRECTLY BENEATH THE PLANT TO INSURE ADEQUATE DRAINAGE IN HEAVY SOILS. GRANULAR SOIL MUST BE ADDED AS BACKFILL IN AREAS OF POOR DRAINAGE.

2 STEEP SLOPE PLANTING
SCALE: N.T.S.

PRELIMINARY

TARGET
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Project Number **T-2189**
Config:
Drawn By RAH / EIW
Checked By RAH

LANDSCAPE PLAN
L101

