Permit Application No.: **15-569** Rules: **Erosion Control & Stormwater Management**

Applicant:	**Shawn Briggs, Granite Hearth Properties**	Received: **02-29-16**
Project:	**Multifamily Residential**	Complete: **03-17-16**
Location:	**5605 Nicollet Avenue, Minneapolis**	Noticed: **03-17-16**

Recommendation:
Approval with conditions:

- Submission of a draft Declaration for maintenance of Stormwater Best Management Practices for MCWD approval, then recordation.

Background:
Granite Hearth Properties has applied for a Minnehaha Creek Watershed District permit for Erosion Control and Stormwater Management for a proposed six-unit multifamily residential building located at 5605 Nicollet Avenue in the City of Minneapolis. The proposed project will result in a 0.068 acre increase in impervious surface on the 0.12 acre site, which ultimately drains to Diamond Lake.

This permit is before the Board of Managers for determination at the request of two members of the public. Staff set up an informal meeting with some members of the community to address questions and concerns, resulting in the retraction of one party's request for a board determination. Staff's attempts to communicate with the second party to set up an informal discussion of concerns were unsuccessful. Since there is a standing request for a public hearing, the permit is being brought to the Board of Managers for determination.

Erosion Control:
The District's Erosion Control rule is applicable for any project in the watershed exceeding 5,000 square feet of soil disturbance or 50 cubic yards of excavation/fill. The proposed project involves approximately 2,000 square feet of disturbance and 600 cubic yards of excavation/fill, therefore the rule is triggered. Erosion and sediment control best management practices (BMPs) provided include: silt fence, rock construction entrance, concrete washout location identified, and 6 inches of topsoil for final stabilization with sod. The erosion and sediment control practices proposed for the project meet District standards and the District's rule.

Stormwater Management:
The District's Stormwater Management rule is applicable for any project proposing new or replacing existing impervious surface. The proposed project involves the construction of a six-unit apartment building that will result in an increase of 0.068 acres (2,995 square feet) of impervious surface from the present 0.01 acre, therefore the rule is triggered (Table 1). Because the proposed project is redevelopment of a site one acre or less in size that increases imperviousness, the applicant is required to incorporate BMPs, but is not required to meet the District rate, volume, or phosphorus control standards.

The applicant is proposing drainage swales on the north and south side of the complex which provide treatment and storage before discharging runoff from the roof to Nicollet Avenue. The swales will be equipped with perforated draintiles with river rock to aid in drainage. The proposed drainage swales are designed in conformity with the Minnesota Stormwater Manual as required by the MCWD Stormwater Management Rule paragraph 3(d)(2). The proposed swales, as designed per the Minnesota Stormwater Manuel, will not pond water; therefore, there is no 100-year high water level associated with the BMPs meeting the requirements of MCWD Stormwater Management Rule paragraph 3(e)(1).

The table below summarizes the impervious surface increase on-site:

Size of Site (ac)	Site Drains To	Existing Impervious (ac)	Proposed Impervious (ac)
0.12 (~0.11 disturbed)	Diamond Lake	0.01	0.07

Table 1: Increase in Impervious Surface

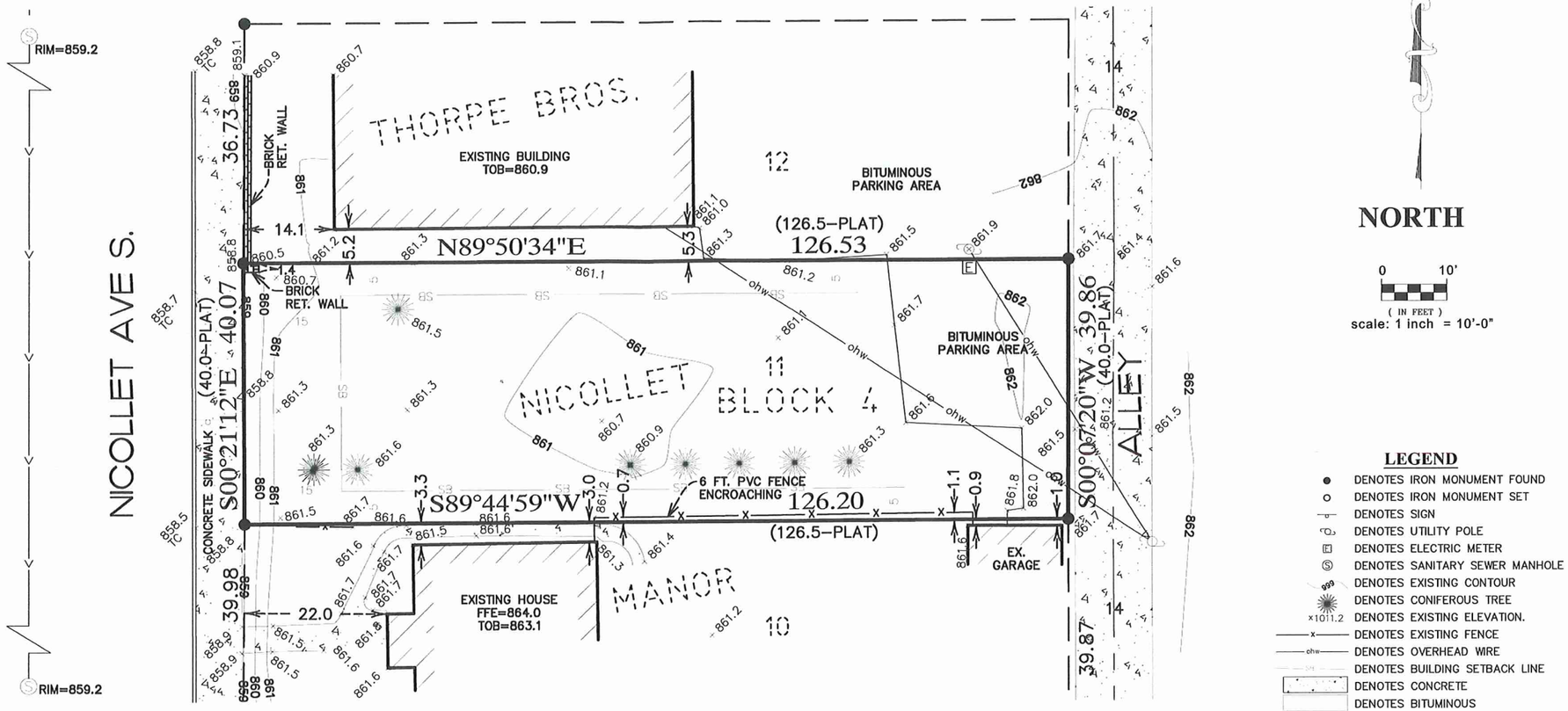
Summary:
Granite Hearth Properties is proposing a multifamily residential unit that will trigger the District's Erosion Control and Stormwater Management rules. The project as proposed meets the requirements under each of these District rules. Staff is recommending approval of this application with the conditions outlined in this report.

Attachments:
1. Permit Application
2. Site Plan

Heidi Quinn Date: 5/9/2016

CERTIFICATE OF SURVEY

PROPERTY ADDRESS: 5605 NICOLLET AVE S. MINNEAPOLIS, MN 55419



NORTH

0 10'

(IN FEET)

scale: 1 inch = 10'-0"

LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET
- DENOTES SIGN
- DENOTES UTILITY POLE
- DENOTES ELECTRIC METER
- DENOTES SANITARY SEWER MANHOLE
- DENOTES EXISTING CONTOUR
- DENOTES CONIFEROUS TREE
- ×1011.2 DENOTES EXISTING ELEVATION.
- DENOTES EXISTING FENCE
- DENOTES OVERHEAD WIRE
- DENOTES BUILDING SETBACK LINE
- DENOTES CONCRETE
- DENOTES BITUMINOUS

NOTES

- Field survey conducted on June 16th, 2015.
- BEARING'S SHOWN ARE ON ASSUMED DATUM.
- CONTRACTOR TO VERIFY HOUSE DIMENSIONS, AND SEWER AND BASEMENT DEPTHS.
- This survey was prepared without the benefit of titlework. Easement, appurtenances and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a title insurance commitment or attorneys title opinion.
- Curb shots taken at top and back of curb.
- CITY TO VERIFY ALL BUILDINGS ELEVATIONS AND SETBACKS.
- property is zoned as OR–1 (office residence district) according to the City of Minneapolis website

JOB #15285BS

ERIC R. VICKARYOUS Date: 6/18/15 Reg. No. 44125

LEGAL DESCRIPTION

Lot 11, Block 4, THORPE BROS NICOLLET MANOR, Hennepin County, Minnesota

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the lows of the State of Minnesota.

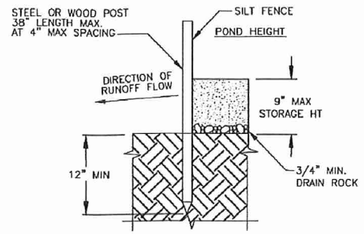
ACRE LAND SURVEYING
Serving Twin Cities Metro area and beyond
763-458-2997 acrelandsurvey@gmail.com

C:\Users\Administrator\OneDrive\Land Desktop 2008\15285BS-Jeremy Rupp 5065 Nicollet Ave S MPLS\dwg\15285BS.dwg 6/18/2015 1:38:02 PM CDT

MINNEAPOLIS STANDARD EROSION CONTROL NOTES

1. Contractor must call for a pre-construction meeting 48 hours prior to any land disturbances 612-673-2738. Failure to do so may result in the revocation of permit and a stop work order being issued.
2. Install perimeter erosion control at the locations shown on the plans prior to beginning construction. (Hay bales are not an acceptable perimeter control)
3. Before beginning construction, Install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock In a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone. Use a geo-textile fabric beneath the aggregate in order to prevent migration of soil into the rock from below
4. Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs.Sweeping may be ordered by at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
5. Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Catch basin inserts are required in undisturbed areas that receive runoff from disturbed areas. NOTE: Hay bales or filter fabric wrapping the grates are not effective or acceptable form of inlet protection.
6. Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
7. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization and permanent vegetation has been established, minimum vegetation establishment is 70% cover,maintain all temporary erosion control devices until 70% established cover is achieved.
8. Ready mixed concrete and concrete batch plants prohibited within the public right of way, designate concrete mixing/washout locations in the erosion control Plan. Under no circumstances may washout water drain onto the public right of way or into the public storm sewer.
9. Save and protect all trees In the right of way during construction with a chain link fence
10. Maintain all temporary erosion and sediment control devices In place until the contributing drainage area has been stabilized.Inspect temporary erosion and sediment control devices on a daily basis and replace damaged control devices immediately.
11. Temporarily or permanently stabilize all construction areas which have been finish graded, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seeding and mulching, erosion control matting, and/or sodding and staking in green space areas. Application of gravel base on areas to be paved recommended minimizing erosion potential.

SILT FENCH DETAIL

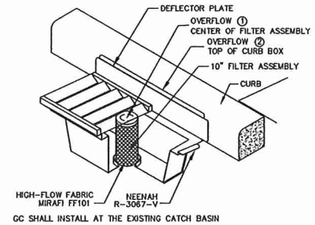


INSTALLATION WITHOUT TRENCHING

USE HI-FLOW FILTER FABRIC, 200 GAL. PER MINUTE PER SQUARE FOOT

NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVEN AND REMOVE SEDIMENT WHEN NECESSARY, REQUIRED WHEN 1/3 FULL WITHIN 24 HOURS OF DISCOVERY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND PERMANENTLY STABILIZED ALSO SEE SEWR-8009.

WIMCO - CATCH BASIN INLET PROTECTION DEVICE



GC SHALL INSTALL AT THE EXISTING CATCH BASIN

SYMBOL KEY

- x 101.57 Existing Spot Elevation
- ---101--- Existing Contour
- — G — Underground Gas Line
- — W — Water Main Pipe
- — SS — Sanitary Sewer Pipe
- — E — Overhead Utility Wires
- Concrete Surface
- SILT FENCE
- ● Denotes Iron Monument Found
- ○ Denotes Set, 1/2" x 14" Iron Pipe w/ Plastic Cap

GENERAL CONSTRUCTION NOTES

DURING EXCAVATION FOR THE NEW FOUNDATION, THE SLOPES TO THE BOTTOM OF THE EXCAVATION CAN NOT EXCEED 1:1 AND THE CONTRACTOR MUST PROVIDE A FENCE AROUND THE SITE TO PREVENT UNAUTHORIZED ACCESS. SEE STRUCTURAL SHEETS FOR SHORING SPECIFICATIONS.

Minneapolis
Park & Recreation Board

TREE PROTECTION SPECIFICATIONS

General - Tree protection has three primary functions: (1) to avoid physical damage from contact by equipment, materials, and activities; (2) to preserve roots and soil conditions in an intact and non-compacted state; and (3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted.

a. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree at the drip line with a minimum radius of 1 foot for each inch DBH enclosed by fencing. **No work, storage, or equipment operation shall be performed in this area.**

b. Tree Protection: The fence shall enclose the entire area of the TPZ of the tree(s) to be protected for the duration of the construction project. For trees situated within a boulevard or near a sidewalk or driveway, only the planting strip and yard side of the TPZ shall be enclosed with the required protective fencing. **Paved surfaces within the drip line may be excluded from the TPZ.** Modified Tree protection zones may be specified by MPRB Forestry based on site restrictions.

c. Size, type, and area to be fenced: All trees to be preserved shall be protected with four (4) foot high fencing. Fencing is to be mounted on heavy duty steel T-posts driven into the ground to a depth of at least one (1) foot, six (6) inches (18" minimum) and no more than eight (8) foot spacing.

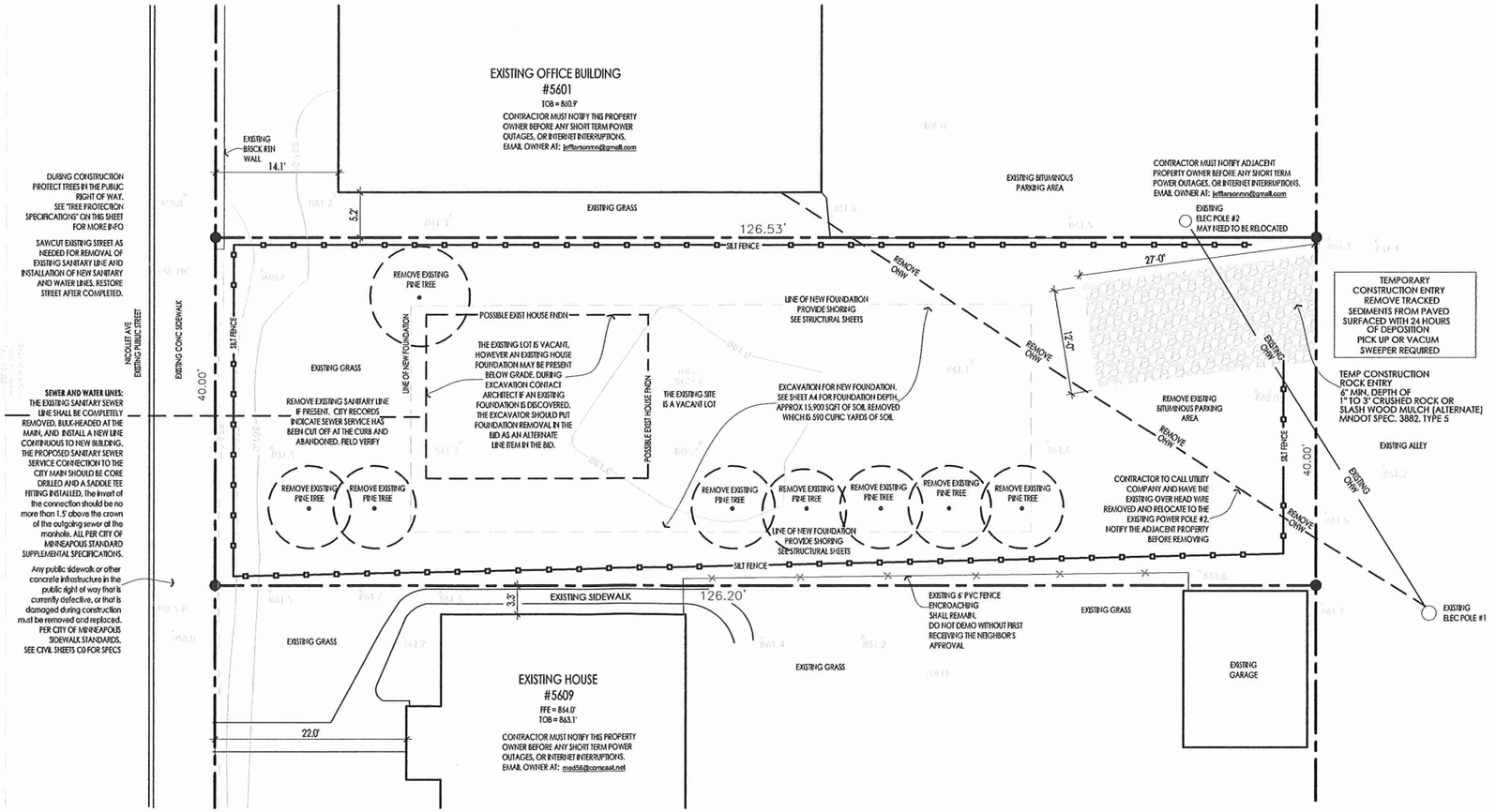
d. Warning Sign: A weatherproof warning sign shall be prominently displayed on each fence at 20-foot intervals on the tree protection fencing. The sign shall be a minimum 8.5 inches by 11 inches and clearly state: "WARNING - Tree Protection Zone".

e. Duration: Tree fencing shall be erected before construction begins and remain in place until final inspection of the project.

***An occupancy fence excluding trees from the work area is acceptable provided it meets specified clearance from any trees.**

*** The applicant shall be responsible for the repair or replacement of any publicly-owned trees that are damaged during the course of construction.**

3. The following tree preservation measures apply to all trees to be saved:
(a) No storage of material, topsoil, vehicles, or equipment shall be permitted on unpaved surfaces within the TPZ.
(b) The ground within the TPZ shall not be altered.



1 C1 DEMOLITION AND EROSION CONTROL PLAN
SCALE: 1/8" = 1'-0"
WHEN PRINTED ON 22" X 34" PAPER

0' 1' 4' 8' NORTH

MUST BE PRINTED ON 22 X 34 PAPER TO BE AT SCALE
SUBMITTED FOR BUILDING PERMIT

GRANITE HEARTH PROPERTIES
granitehearth@gmail.com

WELLS & COMPANY ARCHITECTS
612-669-2052
PO BOX 8589
Minneapolis, MN 55408
www.WellsandCompanyArchitects.com

PROJECT TITLE:
NEW 6 UNIT APARTMENT BUILDING AT:
5605 Nicollet Ave
Minneapolis, MN

SHEET TITLE:
EROSION CONTROL PLAN, AND DEMOLITION PLAN

SUBMITTED FOR BUILDING PERMIT 3-28-2016

PROJECT #:	02-2016
DRAWN BY:	WELLS
CHECKED BY:	WELLS
ISSUE:	DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota
signed: William M. Wells, Architect
date: 3-25-2016 reg. no. 49615

SHEET NO:
C1

GENERAL SITE PLAN NOTES:

1. See civil sheets C1 for erosion control plan and construction entrance.
2. Call the surveyor of record and have the proposed building staked before excavation.
3. Parkland Dedication Fee must be paid at the time the contract picks up the permit. Minneapolis Ordinance 598.340
4. Contact Tom Frame 612-673-5807 to schedule an inspection need with Environmental Services to identify and register equipment and processes that impact the environment.
5. The lighting plan must comply with Section 535.590 of the Minneapolis Zoning Code.
6. The lighting fixtures shall not exceed two thousand (2,000) lumens equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use. The lighting fixtures shall be effectively arranged as not to directly or indirectly cause illumination or glare in excess of one-half (½) footcandle for residential use, & five (5) footcandles measured at the street, curb or nonresidential property line nearest the light source.
7. Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
8. All snow shall be removed from the driveway. There is no long term snow storage.

LANDSCAPE DESIGN AND INSTALLATION NOTES:

- The landscape contractor and all subcontractors shall inspect the site and become familiar with the existing conditions relating to the nature and scope of the work, before providing a bid on the project.
- The landscape contractor shall verify plant layout, drainage, and dimensions on site and bring any discrepancies to the attention of the architect. The landscape contractor shall not change plant types without architect or Owner's written permission. The landscape contractor shall install all new plants and trees after all grading and construction has been completed and provide a one year warranty.
- The landscape contractor shall Sod all existing grass areas disturbed due to grading and construction. Where sod abuts paved surfaces, the finished grade or sod shall be held to 1" below the surface elevation of the paved area. The sod shall be laid parallel to the contours and shall have staggered joints.
- The landscape contractor shall assure compliance with all applicable codes and regulations governing the work and or materials supplied and all plant materials installed comply with the latest edition of the American Standards for Nursery Stock, ANSI Z60.1 unless noted otherwise.
- The landscape contractor shall ensure all planting areas receiving ground cover, perennials, or annuals shall receive a minimum of 18" depth of planting soil consisting of at least 45 parts topsoil, 45 parts screened compost or manure and 10 parts sand.
- The landscape contractor shall provide min 4" deep shredded hardwood mulch in all shrub and plant beds as shown on plans, provide a fiber mat weed barrier. See L2 for details.

RIGHT OF WAY NOTES:

- Temporary and permanent related encroachments in the public right of way requires a permit, contact Robert Boblett at 612-673-2428 for more information.
- Snow storage is not permitted in the public right of way.
- Contact Craig Pinkalla at 612-499-9233 cpinkalla@minneapolisparks.org regarding any questions related to planting, removal, or the process for protecting trees during construction in the City Right of Way.
- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at 612-673-2383 regarding details of sidewalk & lane closures. Log on to http://minneapolis.mn.roway.net/ for a permit.
- Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
- All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
- Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

WATER AND SEWER (UTILITY DESIGN) NOTES:

- Provide 4" Combined fire and domestic water line service with water shut off valve.
- The meters shall be located in the mechanical rooms.
- SEE SHEET T4 SHOWING THE NEW WATER LINE AND FIRE SPRINKLER CONNECTION DIAGRAM
- New 6" San Sewer service to enter proposed structure within 27' building lines as per the City of Minneapolis sewer requirements. Before digging the contractor shall call public sanitary and storm sewer records at 612-673-2865 and the Utility water and sewer department at 612-673-2451
- Connection of a 6" sanitary sewer service to a 9" clay main requires cutting in a clay wye, installation of couplings with shear rings, and concrete collars.
- The existing sanitary sewer service line will be removed.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.
- There is no non-storm water discharge proposed.

CONSTRUCTION CODE SERVICES / BUILDING CODES

- During excavation for the new foundation, the slopes to the bottom of the excavation can not exceed 1:1 and the contractor must provide a fence around the site at all times to prevent unauthorized access. See structural sheets for shoring specifications.
- A Service Availability Charge (SAC) determination letter from the Met Council must be submitted with the building permit application.
- See floor plans for individual unit addressing. Post signage in the front and in the rear on the building to be readily identified in case of fire or other emergency.

EXISTING AREA CALCULATION

Lot Area = 5,060 SF

PROPERTY DESCRIPTION

LOT 11, BLOCK 4, THORPE BROS NICOLLET MANOR, HENNEPIN COUNTY, MINNESOTA

ENVIRONMENTAL HEALTH

- If impacted soil is encountered during site activities work will need to stop and notification provided to the MN State Duty officer at (615) 649-5451.
  If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

STREETS, SIDEWALKS, TRAFFIC AND PARKING NOTES:

- All driveway aprons, curbs, and gutters must be designed and constructed to City standards. See civil sheet C0
- A sidewalk construction permit must be obtained before the start of any work in the public right of way. The contractor must replace any concrete infrastructure in the City right of Way that is damaged during construction. A $15,000 Sidewalk Contractor's Bond must be obtained from Public Works Sidewalk Inspections prior to the start of any work in the Public right-of-way.
- An obstruction permit is required before any work is performed in the public right of way. Contact Scott Kramer at 612-673-2383 for sidewalk and lane closures.

FENCE HEIGHT AND DESIGN REQUIREMENTS - CITY OF MINNEAPOLIS

535.420. - Fence height.

Front yard. Fences located in the required front yard shall not exceed three (3) feet in height. The maximum fence height may be increased by one (1) foot if constructed of open, decorative, ornamental fencing materials that are less than sixty (60) percent opaque.

Interior side yard. Fences located in the required interior side yard shall not exceed four (4) feet in height. The maximum height may be increased to six (6) feet if the adjoining property has maintained a minimum interior side yard of five (5) feet along the entire length of the side wall of the principal structure. In addition, the maximum height may be increased to six (6) feet between the rear wall of the principal structure on the adjoining property and the rear lot line.

Rear yard. Fences located in the required rear or side yard and extending along the rear lot line shall not exceed six (6) feet in height, except that a rear yard abutting a required side yard shall be considered an interior side yard and shall be subject to the regulations for interior side yards.

Along public streets. Fences not located in required yards, but located within five (5) feet of a public street or public sidewalk, shall not exceed six (6) feet in height.

KEY

- A/C — AIR CONDITIONING UNIT
- 861.6 — EXISTING SPOT ELEVATION
- 861.6 — NEW PROPOSED SPOT ELEVATION
- NEW WOOD FENCE
- PROPERTY LINE

BENCHMARK

Top of Existing Sanitary Man Hole
TOP RIM = 859.2'

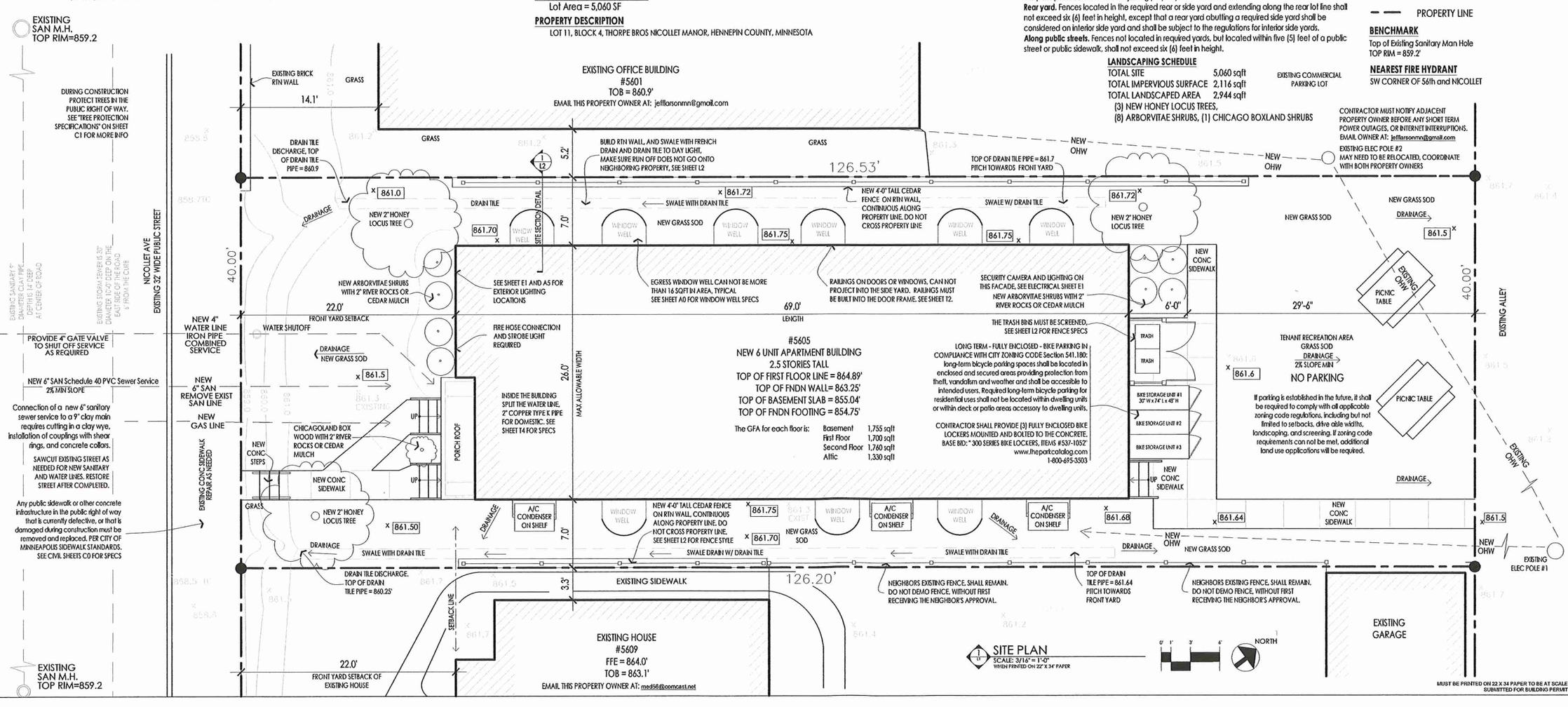
NEAREST FIRE HYDRANT

SW CORNER OF 56th and NICOLLET

LANDSCAPING SCHEDULE

TOTAL SITE	5,060 sqft
TOTAL IMPERVIOUS SURFACE	2,116 sqft
TOTAL LANDSCAPED AREA	2,944 sqft

(3) NEW HONEY LOCUS TREES,
(8) ARBORVITAE SHRUBS, (1) CHICAGO BOXLAND SHRUBS



1 L1 SITE PLAN
SCALE: 3/16" = 1'-0"
WHEN PRINTED ON 22" X 34" PAPER

MUST BE PRINTED ON 22 X 34 PAPER TO BE AT SCALE
SUBMITTED FOR BUILDING PERMIT

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PROJECT TITLE:
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5605 Nicollet Ave
Minneapolis, MN

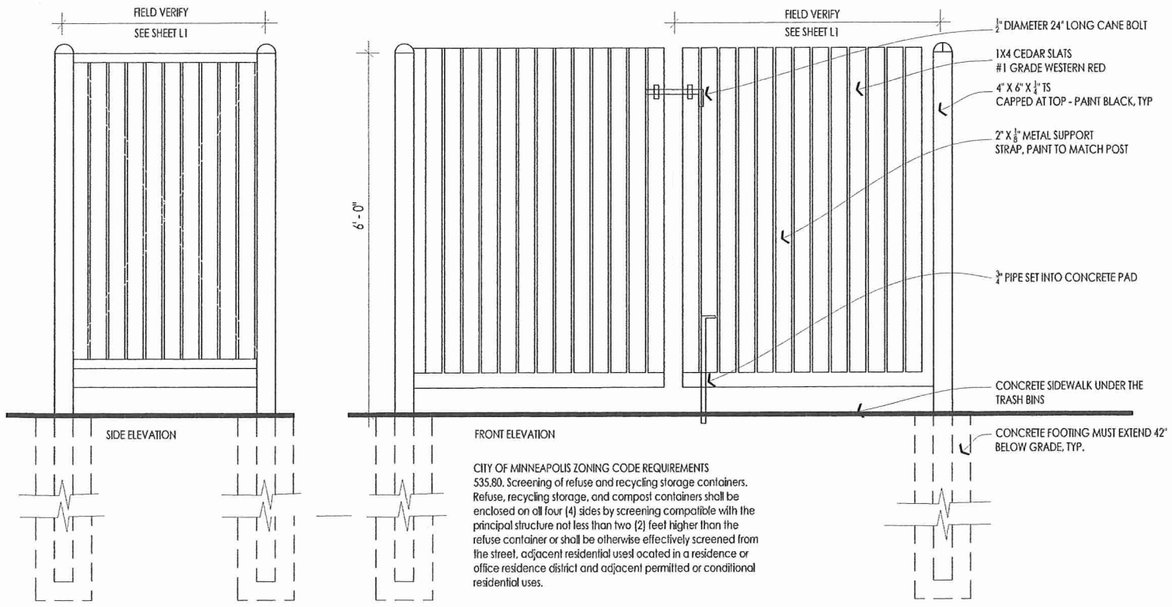
SHEET TITLE:
SITE PLAN

SUBMITTED FOR BUILDING PERMIT
3-28-2016

PROJECT #:	02-2016
DRAWN BY:	WELLS
CHECKED BY:	WELLS
ISSUE:	DATE:

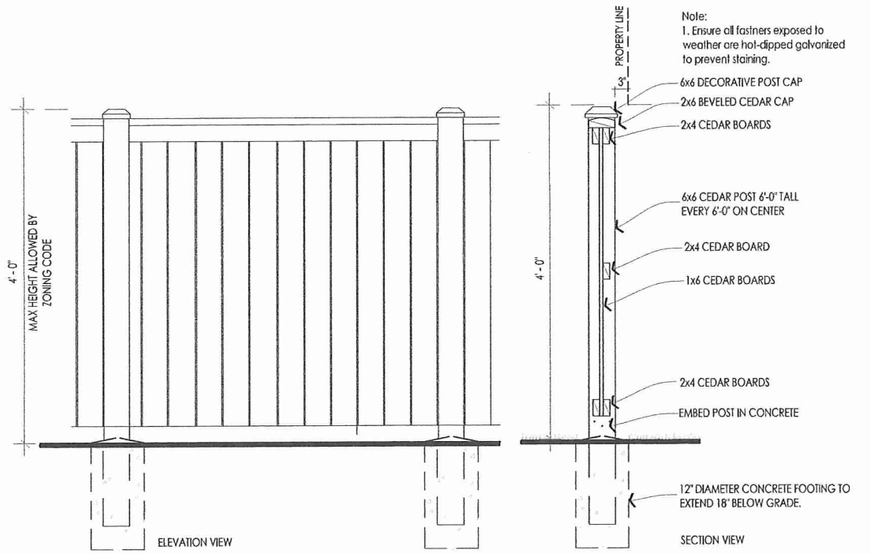
I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota
signed: William M. Wells, Architect
date: 3-25-2016 reg. no. 49615

SHEET NO:
L1

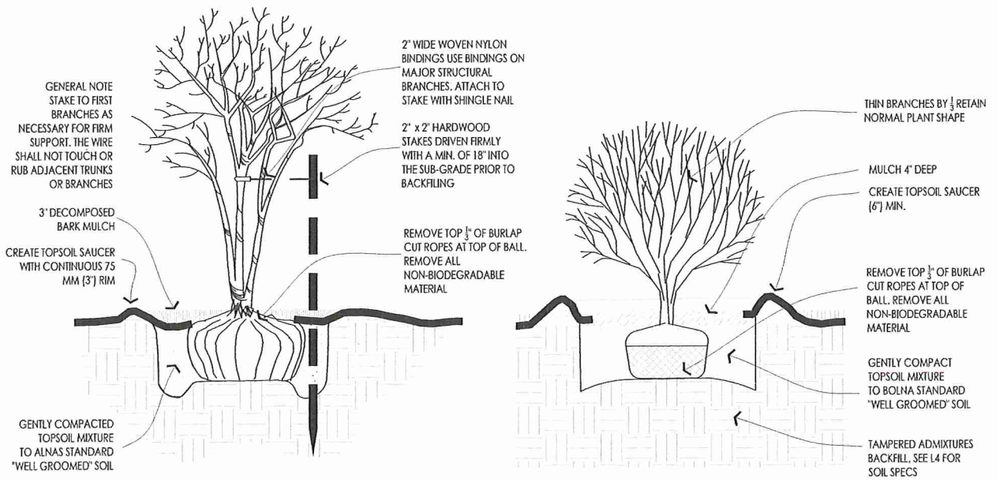


CITY OF MINNEAPOLIS ZONING CODE REQUIREMENTS
535.80. Screening of refuse and recycling storage containers. Refuse, recycling storage, and compost containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses.

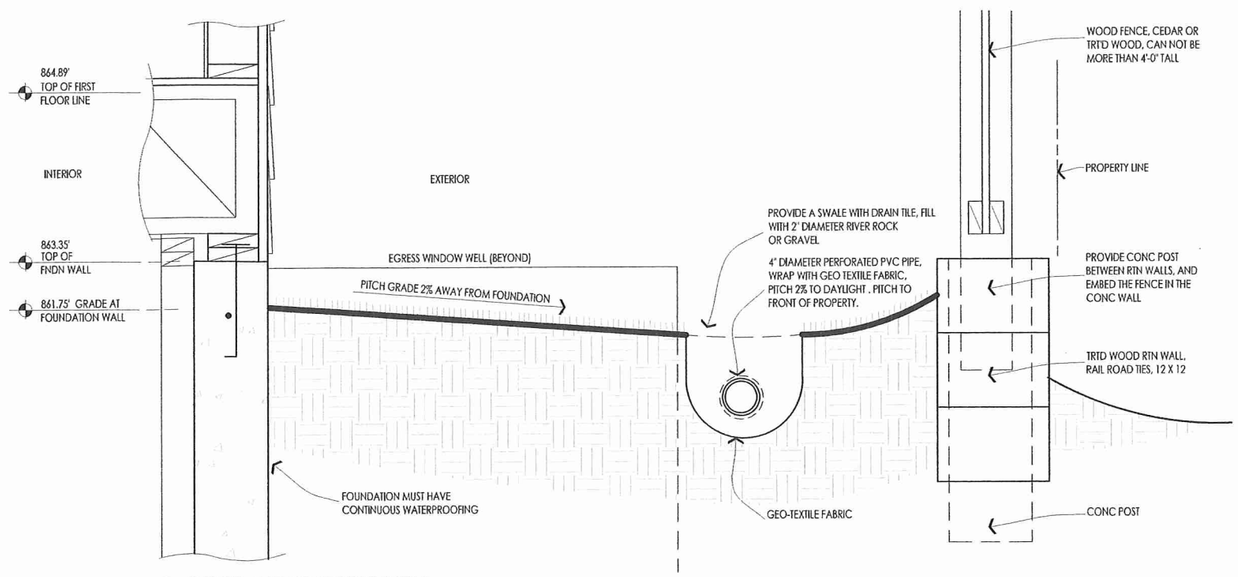
4/L2 TRASH ENCLOSURE
SCALE: NTS



3/L2 FENCE ELEVATION AND DETAIL
SCALE: NTS



2/L2 MULTI BRANCH TREE & SHRUB DETAIL
SCALE: NTS



1/L2 SWALE AND DRAIN TILE DETAIL
SCALE: 1 1/2" = 1'-0"

MUST BE PRINTED ON 22 X 34 PAPER TO BE AT SCALE
SUBMITTED FOR BUILDING PERMIT

GRANITE HEARTH PROPERTIES
granitehearth@gmail.com

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Minneapolis, MN 55408
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PROJECT TITLE:
NEW 6 UNIT APARTMENT BUILDING AT:
5605 Nicollet Ave
Minneapolis, MN

SHEET TITLE:
LANDSCAPE DETAILS AND SITE DETAILS

SUBMITTED FOR BUILDING PERMIT 3-28-2016

PROJECT #:	02-2016
DRAWN BY:	WELLS
CHECKED BY:	WELLS
ISSUE:	DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota
signed: William M. Wells, Architect
date: 3-25-2016 reg. no. 49615

SHEET NO:
L2

GENERAL NOTES:

1. Any wood touching concrete must be treaded wood.
2. See structural sheets S0 and S1 for footing and foundation specifications.
3. All mechanical, electrical, and plumbing is design-build.
4. All subs must verify layouts with owner prior to install.
5. The following subcontractors and consultants must provide shop drawings to architect for review:
   - HVAC / Mechanical subcontractor
   - Floor & Roof truss manufacturer
   - Fire sprinkler and Alarm subcontractor
6. Always slope concrete and soils around the building away from the foundation. 2% min slope.
7. See sheet T2 for wall types and wall construction details.
8. See sheet E0, E1, E2, E3 for electrical and lighting plan.
9. The floor and roof truss system shall be pre-manufactured wood trusses. See structural sheets for size and specs. The contractor must coordinate all shop drawings and provide plans to architect for review, before ordering the trusses.
10. All dryers must vent to the exterior. Insulate ducts to R-8 continuous 3'-0" from exterior wall.
11. In the case of ambiguities, discrepancies, or irregularities, in the drawings, the contractor must request clarification from the architect before proceeding. Liability for proceeding without obtaining clarification from the architect will be borne solely by the contractor. Do not scale the drawings.
12. The general contractor and all subcontractors must visit the site prior to providing bids.The general contractor is responsible for field verifying all dimensions and existing conditions prior to construction.
13. All toilets must have a min 16" clear space on each side from the centerline of the toilet to the face of the finished wall.
14. All bedrooms must contain a smoke detector, and carbon monoxide detector within 10' of the bedroom door. All bedrooms must have a closet, window , and electrical outlets and fixtures per code. Smoke detectors shall be provided in accordance with UL 217 & installed in accordance with MNSBC & NFPA 72
15. All windows that are operable shall be equipped with a fall prevention device that limits the window opening to less than 4" in accordance with MSBC 1303.2320
16. Carbon monoxide alarms required in accordance with MN Stat 299F.50. can not be more than 10' from a bedroom door.
17. Interior signage must comply with ICC A117.1 and chapter 10 of the IBC regarding interior signage. See sheet T4 for signage specs.
18. HVAC piping conveying fluids above 105 to below 55 degrees F must be insulated to R-3 or higher.
19. Smoke detectors shall be installed: on each level on the unit, and in all bedrooms, and in the hallway outside the bedrooms. Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch. Smoke alarms are not required to be equipped with a battery backup in Group R2 occupancy equipped throughout with an automatic sprinkler system.
20. Radon mitigation required in all Units. See sheet T2 for specs.
21. Provide electrical outlet in the attic for future radon fan as required by code. see sheet T2 for specs.
22. All outlets in kitchen and bathrooms must be GFI outlets.
23. Max allowable floor truss deflection is 0.6" with span/480 live load.
24. The general contractor shall Gopher State One Call before excavating to locate underground utilities. Call 651-454-0002
25. Every excavation on a site located 5 feet or less from the street property line shall be enclosed with a barrier not less than 6'-0" high, when located more than 5' from the street lot line, a barrier shall be erected when required by the building official. Barriers shall be of adequate strength to resist wind pressure.
26. Contractor shall coordinate inspections with third party special inspectors, as required. The special inspections schedules are shown on the structural sheets. The special inspections are coordinated by the Contractor and paid for directly by the Owner.
27. Interior and Exterior signage requirements are shown on sheet T4

SYMBOL KEY AND WALL TYPES

TYPE "1" CONC FOUNDATION WALL

TYPE "2" UNIT TO UNIT SEPARATION WALL ON A FOOTING IN THE BASEMENT

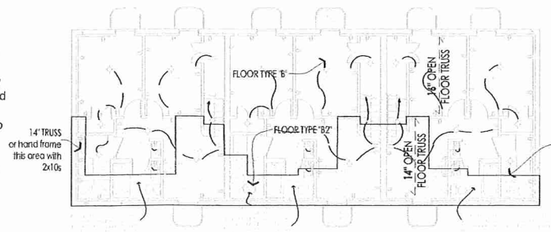
TYPE "3" INTERIOR 2X4 PARTITION WALL

TYPE "4" UNIT TO HALLWAY SEPARATION

TYPE "5" EXTERIOR 2X6 ENERGY WALL

SD Co SMOKE / CO DETECTOR HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP

XX WINDOW AND DOOR REFERENCE TAG SEE SCHEDULE AND SPECS ON SHEET T3



CRITICAL STRUCTURAL DIAGRAM
FIRST FLOOR TRUSSES.

PROVIDE ARCHITECT WITH FLOOR TRUSS SHOP DRAWINGS FOR REVIEW

FLOOR TYPE 'B2' ; THE HATCH PATTERN INDICATES LOCATIONS WHERE THE FIRST FLOOR TRUSS HEIGHT MUST BE REDUCED 2", TO COMPENSATE FOR ADDITIONAL FLOOR TOPPING AND/OR DECKING ABOVE.

UNDER THE MN STATE BUILDING CODE 2015 SECTION 903.2.8 THIS BUILDING MUST BE FULLY SPRINKLED UNDER THE NFPA 13R SPRINKLER SYSTEM BECAUSE THE BUILDING IS OVER 4,500 SQFT. CONTRACTOR MUST PROVIDE FIRE SPRINKLER SHOP DRAWINGS TO THE CITY AND ARCHITECT FOR REVIEW

STRUCTURAL FRAMING NOTES:

- R1 PRE-MANUFACTURED & PRE-ENGINEERED WOOD ROOF TRUSSES AT 24" O.C. TOP CORD 12:12 PITCH. BOTTOM CORD 12:8
- R2 PRE-MANUFACTURED & PRE-ENGINEERED WOOD ROOF TRUSSES AT 24" O.C.
- R3 GIRDER ROOF TRUSS
- H1 (2) 2X8 HEADER WITH 1 JACK / 1 KING STUDS
- H2 (2) 1 3/4" X 7 1/4" LVL HEADER WITH 2 JACK / 2 KING STUDS
- H3 (2) 2" X 10" HEADER WITH 2 JACK/2 KING STUDS
- H4 (2) 1 3/4" X 9 1/4" LVL HEADER WITH 2 JACK / 2 KING STUDS
- H5 (2) 1 3/4" X 11 1/4" LVL HEADER WITH 3 JACK / 2 KING STUDS

2x4 BUILT UP WD COLUMN
2x6 BUILT UP WD COLUMN
6" x 6" CEDAR WD COLUMN

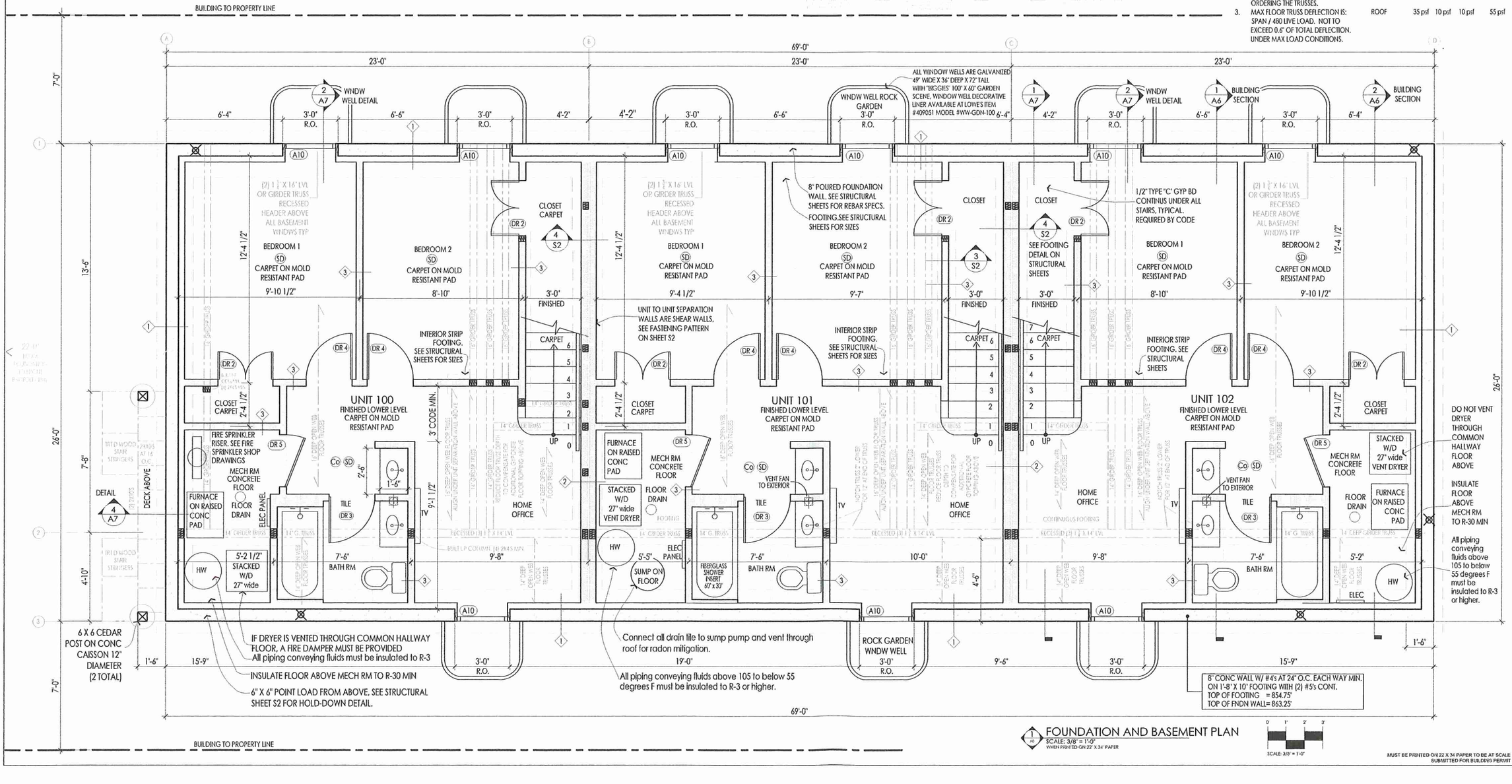
POINT LOAD FROM ABOVE
INDICATES SIMPSON HDU4-SDS2.5 HOLDOWN (OR EQUIVALENT) SEE DETAILS ON STRUCTURAL SHEETS S2

GENERAL STRUCTURAL NOTES:

1. ALL POINT LOADS MUST BE BLOCKED SOLID DOWN TO FNDN. THROUGH FLOOR TRUSS CAVITY SPACE.
2. CONTRACTOR MUST PROVIDE ROOF AND FLOOR TRUSS SHOP DRAWINGS TO ARCHITECT FOR REVIEW, BEFORE ORDERING THE TRUSSES.
3. MAX FLOOR TRUSS DEFLECTION IS: SPAN / 480 LIVE LOAD. NOT TO EXCEED 0.6" OF TOTAL DEFLECTION. UNDER MAX LOAD CONDITIONS.

ROOF AND FLOOR TRUSS LOADING PER IBC 2012

FLOOR TYPE:	TC/LL:	TC/DL:	BC/DL:	TOTAL :
FLOOR B	40 psf	7 psf	8 psf	55 psf
FLOOR B2	100 psf	17 psf	8 psf	125 psf
FLOOR C	40 psf	17 psf	8 psf	65 psf
ROOF	35 psf	10 psf	10 psf	55 psf



1 A0 FOUNDATION AND BASEMENT PLAN
SCALE: 3/8" = 1'-0"
WHEN PRINTED ON 22" X 34" PAPER

0 1' 2' 3'
SCALE: 3/8" = 1'-0"

MUST BE PRINTED ON 22 X 34 PAPER TO BE AT SCALE
SUBMITTED FOR BUILDING PERMIT

GRANITE HEARTH PROPERTIES
granitehearth@gmail.com

WELLS & COMPANY ARCHITECTS
612-669-2052
PO BOX 8589
Minneapolis, MN 55408
www.WellsandCompanyArchitects.com

PROJECT TITLE:
NEW 6 UNIT APARTMENT BUILDING AT:
5605 Nicollet Ave
Minneapolis, MN

SHEET TITLE:
FOUNDATION AND BASEMENT PLAN

SUBMITTED FOR BUILDING PERMIT 3-28-2016

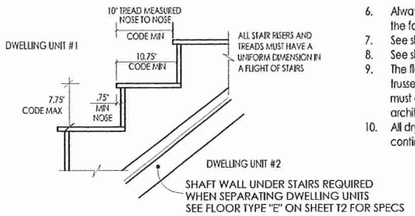
PROJECT #:	02-2016
DRAWN BY:	WELLS
CHECKED BY:	WELLS
ISSUE:	DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota
signed: William M. Wells, Architect
date: 3-25-2016 reg. no. 49615

SHEET NO:
A0

2012 IBC BUILDING CODE REQUIREMENTS FOR STAIRWAYS

- In Group R2 occupancies, the maximum riser height shall be 7.75" and the minimum tread depth shall be 10". A nosing not less than .75" but not more than 1.25" shall be provided on stairways with solid risers where the tread depth is less than 11"
- The min width of a stairway in a dwelling unit is 36"
- Stairways shall have a min head room clearance of 80"
- Handrails shall be 34" to 36" above the stair tread



GENERAL NOTES:

1. Any wood touching concrete must be treaded wood.
2. See structural sheets S0 and S1 for footing and foundation specifications.
3. All mechanical, electrical, and plumbing is design-build.
4. All subs must verify layouts with owner prior to install.
5. The following subcontractors and consultants must provide shop drawings to architect for review:
   - HVAC / Mechanical subcontractor
   - Floor & Roof truss manufacturer
   - Fire sprinkler and Alarm subcontractor
6. Always slope concrete and soils around the building away from the foundation. 2% min slope.
7. See sheet T2 for wall types and wall construction details.
8. See sheet E0, E1, E2, E3 for electrical and lighting plan.
9. The floor and roof truss system shall be pre-manufactured wood trusses. See structural sheets for size and specs. The contractor must coordinate all shop drawings and provide plans to architect for review, before ordering the trusses.
10. All dryers must vent to the exterior. Insulate ducts to R-8 continuous 3'-0" from exterior wall.
11. In the case of ambiguities, discrepancies, or irregularities, in the drawings, the contractor must request clarification from the architect before proceeding. Liability for proceeding without obtaining clarification from the architect will be borne solely by the contractor. Do not scale the drawings.
12. The general contractor and all subcontractors must visit the site prior to providing bids.The general contractor is responsible for field verifying all dimensions and existing conditions prior to construction.
13. All toilets must have a min 16" clear space on each side from the centerline of the toilet to the face of the finished wall.
14. All bedrooms must contain a smoke detector, and carbon monoxide detector within 10' of the bedroom door. All bedrooms must have a closet, window , and electrical outlets and fixtures per code. Smoke detectors shall be provided in accordance with UL 217 & installed in accordance with MNSBC & NFPA 72
15. All windows that are operable shall be equipped with a fall prevention device that limits the window opening to less than 4" in accordance with MSBC 1303.2320
16. Carbon monoxide alarms required in accordance with MN Stat 299F.50. can not be more than 10' from a bedroom door.
17. Interior signage must comply with ICC A117.1 and chapter 10 of the IBC regarding interior signage. See sheet T4 for signage specs.
18. HVAC piping conveying fluids above 105 to below 55 degrees F must be insulated to R-3 or higher.
19. Smoke detectors shall be installed: on each level on the unit, and in all bedrooms, and in the hallway outside the bedrooms. Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch. Smoke alarms are not required to be equipped with a battery backup in Group R2 occupancy equipped throughout with an automatic sprinkler system.
20. Radon mitigation required in all Units. See sheet T2 for specs.
21. Provide electrical outlet in the attic for future radon fan as required by code. see sheet T2 for specs.
22. All outlets in kitchen and bathrooms must be GFI outlets.
23. Max allowable floor truss deflection is 0.6" with span/480 live load.
24. The general contractor shall Gopher State One Call before excavating to locate underground utilities. Call 651-454-0002
25. Every excavation on a site located 5 feet or less from the street property line shall be enclosed with a barrier not less than 6'-0" high, when located more than 5' from the street lot line, a barrier shall be erected when required by the building official. Barriers shall be of adequate strength to resist wind pressure.
26. Contractor shall coordinate inspections with third party special inspectors, as required. The special inspections schedules are shown on the structural sheets. The special inspections are coordinated by the Contractor and paid for directly by the Owner.
27. Interior and Exterior signage requirements are shown on sheet T4

SYMBOL KEY AND WALL TYPES

- TYPE "1" CONC FOUNDATION WALL
- TYPE "2" UNIT TO UNIT SEPARATION WALL ON A FOOTING IN THE BASEMENT
- TYPE "3" INTERIOR 2X4 PARTITION WALL
- TYPE "4" UNIT TO HALLWAY SEPARATION
- TYPE "5" EXTERIOR 2X6 ENERGY WALL
- (SD)(Co) SMOKE / CO DETECTOR HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP
- (XX) WINDOW AND DOOR REFERENCE TAG SEE SCHEDULE AND SPECS ON SHEET T3

UNDER THE MN STATE BUILDING CODE 2015 SECTION 903.2.8 THIS BUILDING MUST BE FULLY SPRINKLED UNDER THE NFPA 13R SPRINKLER SYSTEM BECAUSE THE BUILDING IS OVER 4,500 SQFT. CONTRACTOR MUST PROVIDE FIRE SPRINKLER SHOP DRAWINGS TO THE CITY AND ARCHITECT FOR REVIEW

STRUCTURAL FRAMING NOTES:

- (R1) PRE-MANUFACTURED & PRE-ENGINEERED WOOD ROOF TRUSSES AT 24".O.C. TOP CORD 12:12 PITCH. BOTTOM CORD 12:8
- (R2) PRE-MANUFACTURED & PRE-ENGINEERED WOOD ROOF TRUSSES AT 24".O.C.
- (R3) GIRDER ROOF TRUSS
- (H1) (2) 2X8 HEADER WITH 1 JACK / 1 KING STUDS
- (H2) (2) 1 3/4" X 7 1/4" LVL HEADER WITH 2 JACK / 2 KING STUDS
- (H3) (2) 2" X 10" HEADER WITH 2 JACK/2 KING STUDS
- (H4) (2) 1 3/4" X 9 1/4" LVL HEADER WITH 2 JACK / 2 KING STUDS
- (H5) (2) 1 3/4" X 11 1/4" LVL HEADER WITH 3 JACK / 2 KING STUDS
- 2x4 BUILT UP WD COLUMN
- 2x6 BUILT UP WD COLUMN
- 6" x 6" CEDAR WD COLUMN

POINT LOAD FROM ABOVE

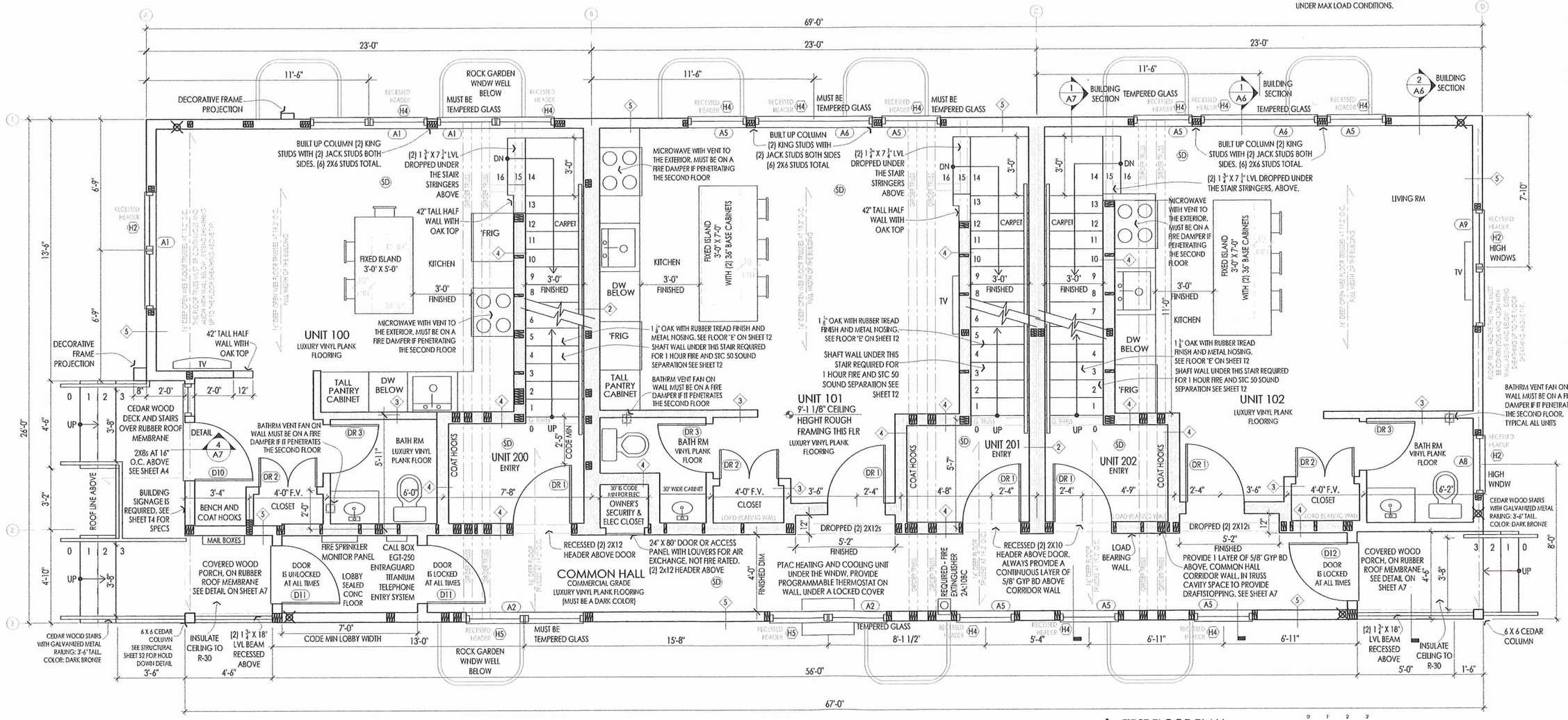
INDICATES SIMPSON HDU4-SDS2.5 HOLDOWN (OR EQUIVALENT) SEE DETAILS ON STRUCTURAL SHEETS S2

GENERAL STRUCTURAL NOTES:

1. ALL POINT LOADS MUST BE BLOCKED SOLID DOWN TO FNDN, THROUGH FLOOR TRUSS CAVITY SPACE.
2. CONTRACTOR MUST PROVIDE ROOF AND FLOOR TRUSS SHOP DRAWINGS TO ARCHITECT FOR REVIEW, BEFORE ORDERING THE TRUSSES.
3. MAX FLOOR TRUSS DEFLECTION IS: SPAN / 480 LIVE LOAD. NOT TO EXCEED 0.6" OF TOTAL DEFLECTION. UNDER MAX LOAD CONDITIONS.

ROOF AND FLOOR TRUSS LOADING PER IBC 2012

FLOOR TYPE:	TC/LL:	TC/DL:	BC/DL:	TOTAL :
FLOOR B	40 psf	7 psf	8 psf	55 psf
FLOOR B2	100 psf	17 psf	8 psf	125 psf
FLOOR C	40 psf	17 psf	8 psf	65 psf
ROOF	35 psf	10 psf	10 psf	55 psf



FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"
WHEN PRINTED ON 22" X 34" PAPER

SCALE: 3/8" = 1'-0"

MUST BE PRINTED ON 22 X 34 PAPER TO BE AT SCALE
SUBMITTED FOR BUILDING PERMIT

GRANITE HEARTH PROPERTIES
granitehearth@gmail.com

WELLS & COMPANY ARCHITECTS
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PO BOX 8589
Minneapolis, MN 55408
www.WellsandCompanyArchitects.com

PROJECT TITLE:
NEW 6 UNIT APARTMENT BUILDING AT:
5605 Nicollet Ave
Minneapolis, MN

SHEET TITLE:
FIRST FLOOR PLAN

SUBMITTED FOR BUILDING PERMIT
3-28-2016

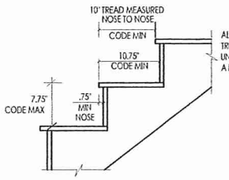
PROJECT #:	02-2016
DRAWN BY:	WELLS
CHECKED BY:	WELLS
ISSUE:	DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota
signed: William M. Wells, Architect
date: 3-25-2016 reg. no. 49615

SHEET NO:
A1

2012 IBC BUILDING CODE REQUIREMENTS FOR STAIRWAYS

- In Group R2 occupancies, the maximum riser height shall be 7.75" and the minimum tread depth shall be 10". A nosing not less than .75" but not more than 1.25" shall be provided on stairways with solid risers where the tread depth is less than 11"
- The min width of a stairway in a dwelling unit is 36"
- Stairways shall have a min head room clearance of 80"
- Handrails shall be 34" to 36" above the stair tread



GENERAL NOTES:

1. Any wood touching concrete must be treated wood.
2. See structural sheets S0 and S1 for footing and foundation specifications.
3. All mechanicol, electricol, and plumbing is design-build.
4. All subs must verify layouts with owner prior to install.
5. The following subcontractors and consultants must provide shop drawings to architect for review:
   - HVAC / Mechanical subcontractor
   - Floor & Roof truss manufacturer
   - Fire sprinkler and Alarm subcontractor
6. Always slope concrete and soils around the building away from the foundation. 2% min slope.
7. See sheet T2 for wall types and wall construction details.
8. See sheet E0, E1, E2, E3 for electrical and lighting plan.
9. The floor and roof truss system shall be pre-manufactured wood trusses. See structural sheets for size and specs. The contractor must coordinate all shop drawings and provide plans to architect for review, before ordering the trusses.
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15. All windows that are operable shall be equipped with a fall prevention device that limits the window opening to less than 4" in accordance with MSBC 1303.2320
16. Carbon monoxide alarms required in accordance with MN Stat 299F.50. can not be more than 10' from a bedroom door.
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20. Radon mitigation required in all Units. See sheet T2 for specs.
21. Provide electrical outlet in the attic for future radon fan as required by code. see sheet T2 for specs.
22. All outlets in kitchen and bathrooms must be GFI outlets.
23. Max allowable floor truss deflection is 0.6" with span/480 live load.
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25. Every excavation on a site located 5 feet or less from the street property line shall be enclosed with a barrier not less than 6'-0" high, when located more than 5' from the street lot line, a barrier shall be erected when required by the building official. Barriers shall be of adequate strength to resist wind pressure.
26. Contractor shall coordinate inspections with third party special inspectors, as required. The special inspections schedules are shown on the structural sheets. The special inspections are coordinated by the Contractor and paid for directly by the Owner.
27. Interior and Exterior signage requirements are shown on sheet T4

SYMBOL KEY AND WALL TYPES

- TYPE "1" CONC FOUNDATION WALL
- TYPE "2" UNIT TO UNIT SEPARATION WALL ON A FOOTING IN THE BASEMENT
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- (H4) (2) 1 3/4" X 9 1/4" LVL HEADER WITH 2 JACK / 2 KING STUDS
- (H5) (2) 1 3/4" X 11 1/4" LVL HEADER WITH 3 JACK / 2 KING STUDS
- 2x4 BUILT UP WD COLUMN
- 2x6 BUILT UP WD COLUMN
- 6" x 6" CEDAR WD COLUMN

POINT LOAD FROM ABOVE

INDICATES SIMPSON HDU4-SDS2.5 HOLDOWN (OR EQUIVALENT) SEE DETAILS ON STRUCTURAL SHEETS S2

GENERAL STRUCTURAL NOTES:

1. ALL POINT LOADS MUST BE BLOCKED SOLID DOWN TO FNDN, THROUGH FLOOR TRUSS CAVITY SPACE.
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ROOF AND FLOOR TRUSS LOADING PER IBC 2012

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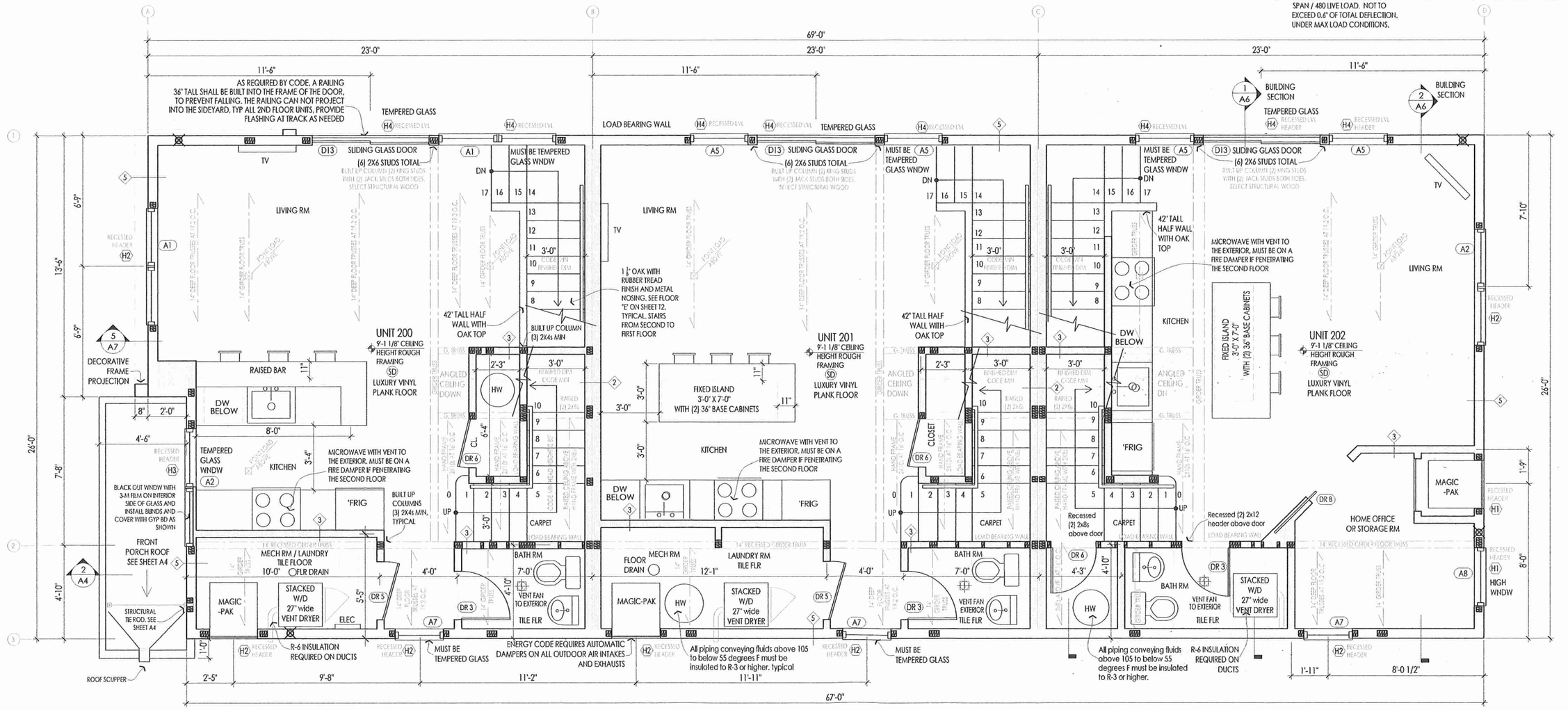

1 A2 SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0"
WHEN PRINTED ON 22" X 34" PAPER

SCALE: 3/8" = 1'-0"

MUST BE PRINTED ON 22 X 34 PAPER TO BE AT SCALE SUBMITTED FOR BUILDING PERMIT

GRANITE HEARTH PROPERTIES
granitehearth@gmail.com

WELLS & COMPANY ARCHITECTS
612-669-2052
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Minneapolis, MN 55408
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PROJECT TITLE:
NEW 6 UNIT APARTMENT BUILDING AT:
5605 Nicollet Ave
Minneapolis, MN

SHEET TITLE:
SECOND FLOOR PLANS

SUBMITTED FOR BUILDING PERMIT 3-28-2016

PROJECT #:	02-2016
DRAWN BY:	WELLS
CHECKED BY:	WELLS
ISSUE:	DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota
signed: William M. Wells, Architect
date: 3-25-2016 reg. no. 49615

SHEET NO:
A2

2012 IBC BUILDING CODE REQUIREMENTS FOR STAIRWAYS

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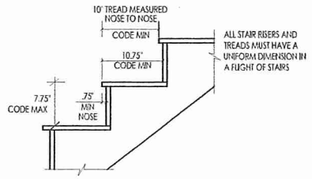

GENERAL NOTES:

1. Any wood touching concrete must be treaded wood.
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3. All mechanical, electrical, and plumbing is design-build.
4. All subs must verify layouts with owner prior to install.
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6. Always slope concrete and soils around the building away from the foundation. 2% min slope.
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15. All windows that are operable shall be equipped with a fall prevention device that limits the window opening to less than 4" in accordance with MSBC 1303.2320
16. Carbon monoxide alarms required in accordance with MN Stat 299F.50. can not be more than 10' from a bedroom door.
17. Interior signage must comply with ICC A117.1 and chapter 10 of the IBC regarding interior signage. See sheet T4 for signage specs.
18. HVAC piping conveying fluids above 105 to below 55 degrees F must be insulated to R-3 or higher.
19. Smoke detectors shall be installed: on each level on the unit, and in all bedrooms, and in the hallway outside the bedrooms. Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch. Smoke alarms are not required to be equipped with a battery backup in Group R2 occupancy equipped throughout with an automatic sprinkler system.
20. Radon mitigation required in all Units. See sheet T2 for specs.
21. Provide electrical outlet in the attic for future radon fan as required by code. see sheet T2 for specs.
22. All outlets in kitchen and bathrooms must be GFI outlets.
23. Max allowable floor truss deflection is 0.6" with span/480 live load.
24. The general contractor shall Gopher State One Call before excavating to locate underground utilities. Call 651-454-0002
25. Every excavation on a site located 5 feet or less from the street property line shall be enclosed with a barrier not less than 6'-0" high, when located more than 5' from the street lot line, a barrier shall be erected when required by the building official. Barriers shall be of adequate strength to resist wind pressure.
26. Contractor shall coordinate inspections with third party special inspectors, as required. The special inspections schedules are shown on the structural sheets. The special inspections are coordinated by the Contractor and paid for directly by the Owner.
27. Interior and Exterior signage requirements are shown on sheet T4

SYMBOL KEY AND WALL TYPES

- TYPE "1" CONC FOUNDATION WALL
- TYPE "2" UNIT TO UNIT SEPARATION WALL ON A FOOTING IN THE BASEMENT
- TYPE "3" INTERIOR 2X4 PARTITION WALL
- TYPE "4" UNIT TO HALLWAY SEPARATION
- TYPE "5" EXTERIOR 2X6 ENERGY WALL
- (SD)(Co) SMOKE / CO DETECTOR HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP
- (XX) WINDOW AND DOOR REFERENCE TAG SEE SCHEDULE AND SPECS ON SHEET 13

UNDER THE MN STATE BUILDING CODE 2015 SECTION 903.2.8 THIS BUILDING MUST BE FULLY SPRINKLED UNDER THE NFPA 13R SPRINKLER SYSTEM BECAUSE THE BUILDING IS OVER 4,500 SQFT. CONTRACTOR MUST PROVIDE FIRE SPRINKLER SHOP DRAWINGS TO THE CITY AND ARCHITECT FOR REVIEW

STRUCTURAL FRAMING NOTES:

- (R1) PRE-MANUFACTURED & PRE-ENGINEERED WOOD ROOF TRUSSES AT 24" O.C. TOP CORD 12:12 PITCH. BOTTOM CORD 12:8
- (R2) PRE-MANUFACTURED & PRE-ENGINEERED WOOD ROOF TRUSSES AT 24" O.C.
- (R3) GIRDER ROOF TRUSS
- (H1) (2) 2X8 HEADER WITH 1 JACK / 1 KING STUDS
- (H2) (2) 1 3/4 X 7 1/4 LVL HEADER WITH 2 JACK / 2 KING STUDS
- (H3) (2) 2" X 10" HEADER WITH 2 JACK/2 KING STUDS
- (H4) (2) 1 3/4 X 9 1/4 LVL HEADER WITH 2 JACK / 2 KING STUDS
- (H5) (2) 1 3/4 X 11 7/8 LVL HEADER WITH 3 JACK / 2 KING STUDS

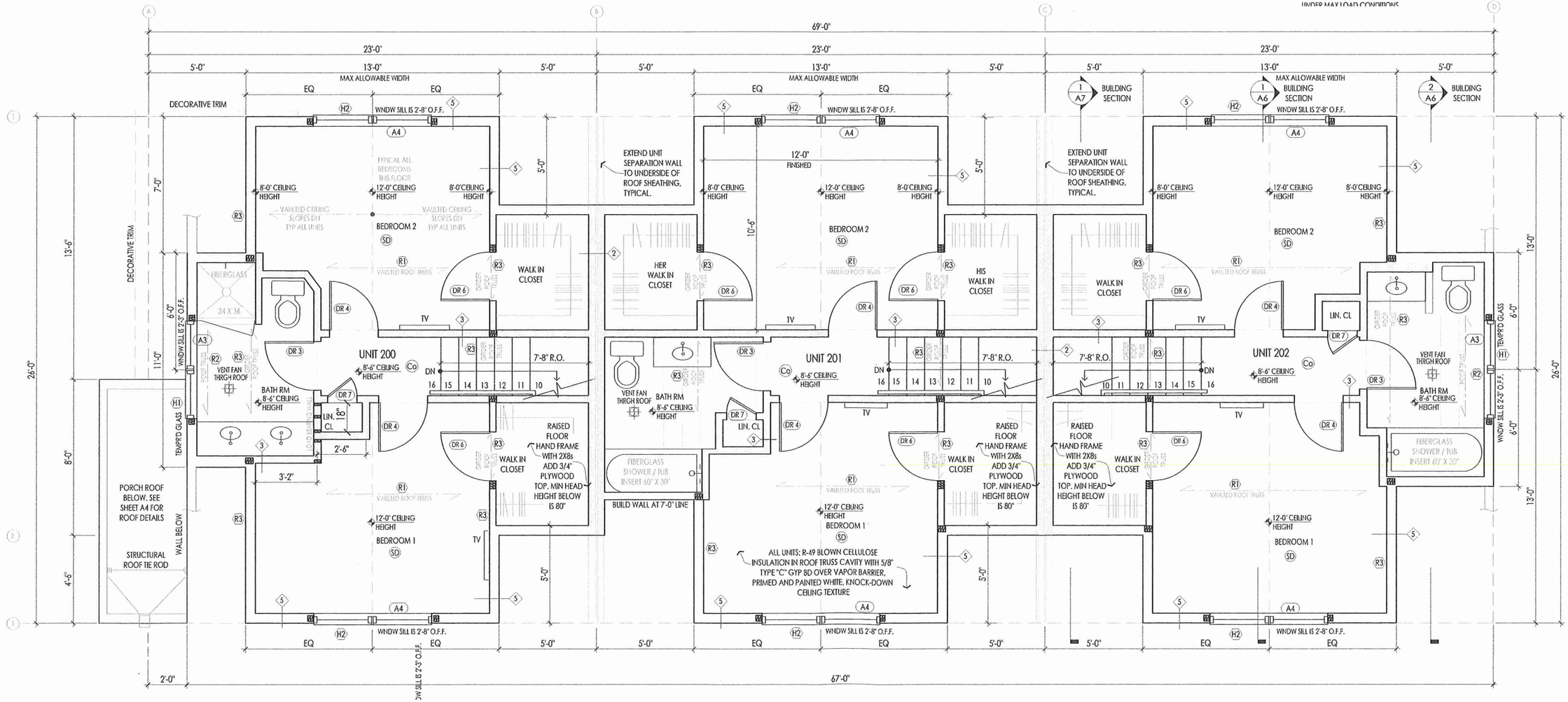
2x4 BUILT UP WD COLUMN
2x6 BUILT UP WD COLUMN
6" x 6" CEDAR WD COLUMN
POINT LOAD FROM ABOVE
INDICATES SIMPSON HDU4-SDS2.5 HOLDOWN (OR EQUIVALENT) SEE DETAILS ON STRUCTURAL SHEETS S2

GENERAL STRUCTURAL NOTES:

1. ALL POINT LOADS MUST BE BLOCKED SOLID DOWN TO FNDN, THROUGH FLOOR TRUSS CAVITY SPACE.
2. CONTRACTOR MUST PROVIDE ROOF AND FLOOR TRUSS SHOP DRAWINGS TO ARCHITECT FOR REVIEW, BEFORE ORDERING THE TRUSSES.
3. MAX FLOOR TRUSS DEFLECTION IS: SPAN / 480 LIVE LOAD. NOT TO EXCEED 0.6" OF TOTAL DEFLECTION. UNDER MAX LOAD CONDITIONS

ROOF AND FLOOR TRUSS LOADING PER IBC 2012

FLOOR TYPE:	TC/LL:	TC/DL:	BC/DL:	TOTAL :
FLOOR B	40 psf	7 psf	8 psf	55 psf
FLOOR B2	100 psf	17 psf	8 psf	125 psf
FLOOR C	40 psf	17 psf	8 psf	65 psf
ROOF	35 psf	10 psf	10 psf	55 psf



1 A3 ATTIC FLOOR PLAN
SCALE: 3/8" = 1'-0"
WHEN PRINTED ON 22" X 34" PAPER

SCALE: 3/8" = 1'-0"

MUST BE PRINTED ON 22 X 34 PAPER TO BE AT SCALE
SUBMITTED FOR BUILDING PERMIT

GRANITE HEARTH PROPERTIES
granitehearth@gmail.com

WELLS & COMPANY ARCHITECTS
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PO BOX 8589
Minneapolis, MN 55408
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PROJECT TITLE:
NEW 6 UNIT APARTMENT BUILDING AT:
5605 Nicollet Ave
Minneapolis, MN

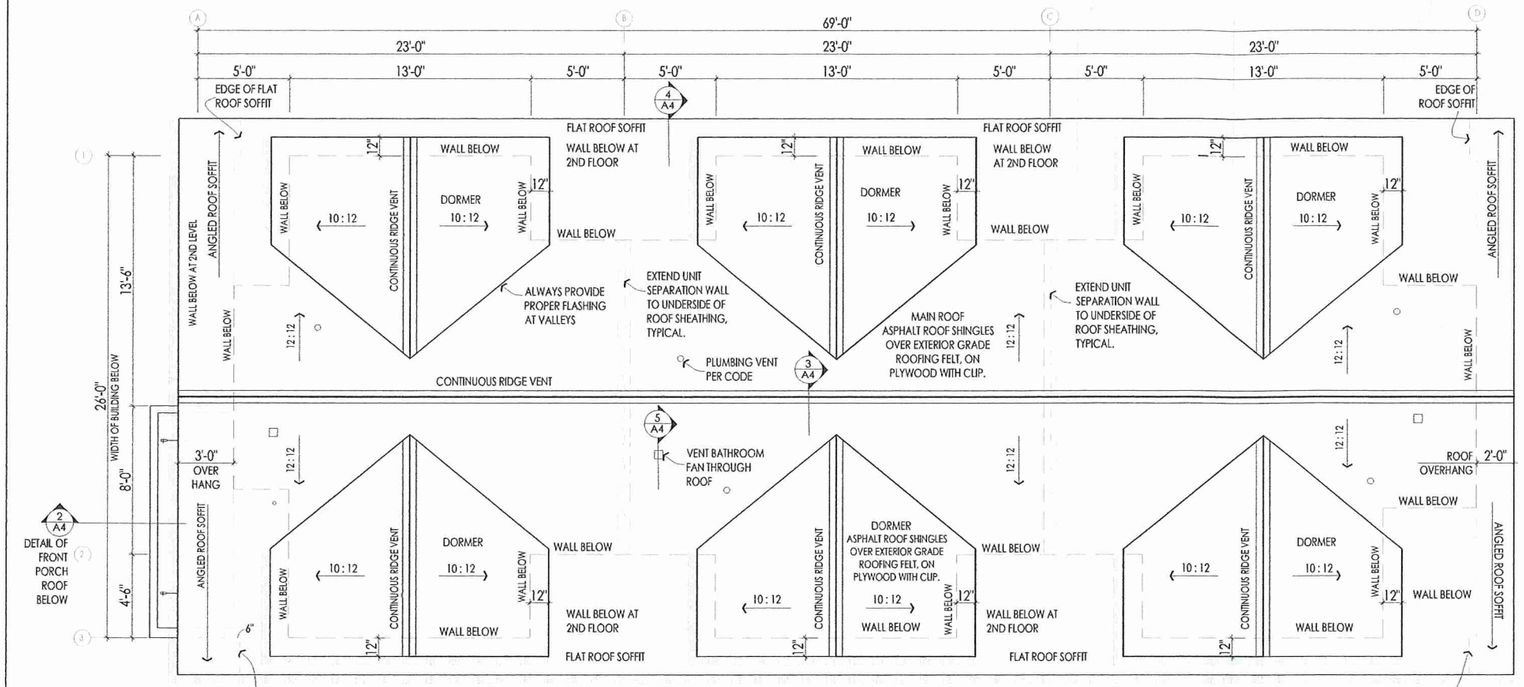
SHEET TITLE:
ATTIC FLOOR PLAN

SUBMITTED FOR BUILDING PERMIT
3-28-2016

PROJECT #:	02-2016
DRAWN BY:	WELLS
CHECKED BY:	WELLS
ISSUE:	DATE:

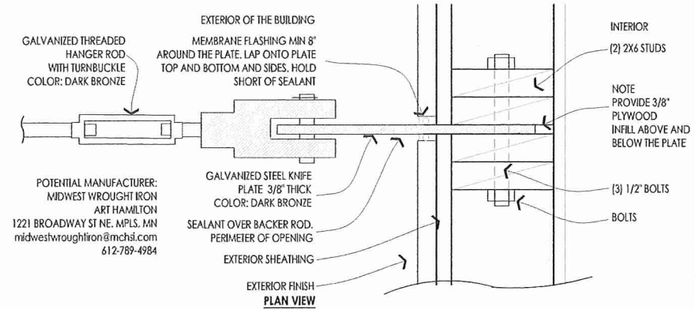
I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota
signed: William M. Wells, Architect
date: 3-25-2016 reg. no. 49615

SHEET NO:
A3

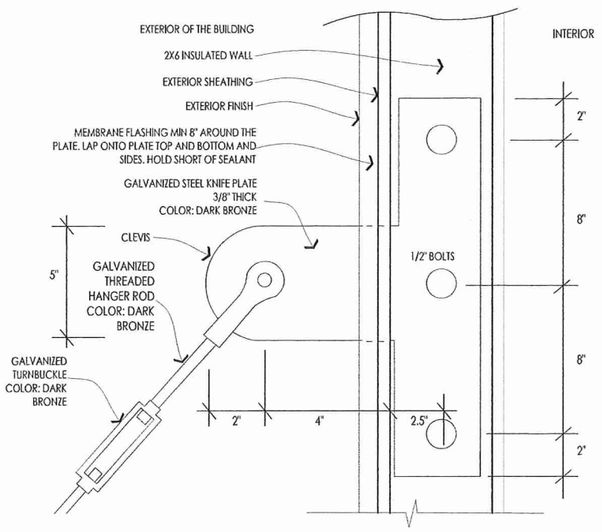


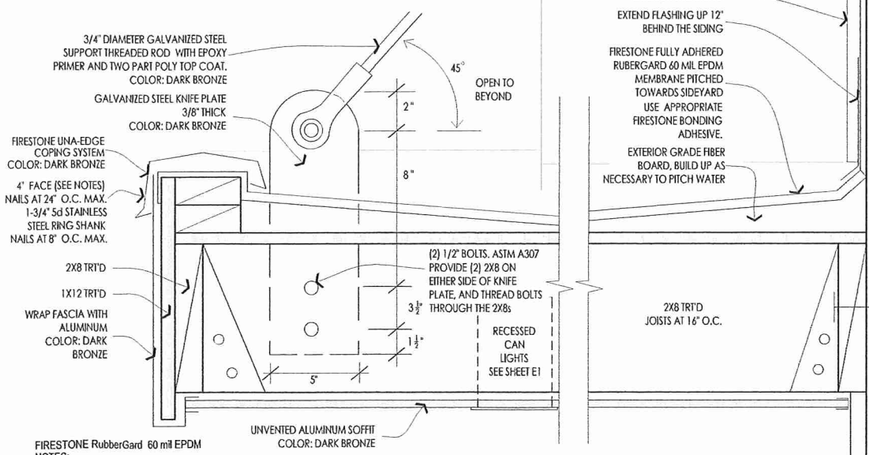
ROOF PLAN
SCALE: 1/4" = 1'-0"
WHEN PRINTED ON 22" X 34" PAPER

GENERAL NOTES:
1. CONTRACTOR SHALL FOLLOW THE MINNESOTA STATE PLUMBING CODE REGARDING ALL ROOF PENETRATIONS.
2. CONTRACTOR MUST SUBMIT ROOF TRUSS SHOP DRAWINGS TO ARCHITECT FOR REVIEW. THE SLOPE OF THE ROOF MAY CHANGE, AS ARCHITECT REVIEWS THE ROOF TRUSS SHOP DRAWINGS. ALWAYS CHECK AND CONFIRM PITCH OF ROOF WITH THE ROOF TRUSS SHOP DRAWINGS.
3. CONTRACTOR MUST ALWAYS SHOW SAMPLES TO OWNER BEFORE.
4. CHANGES TO THE PITCH OR ROOF FORM MUST BE PRE-APPROVED BY THE ARCHITECT
5. THE CONTRACTOR MUST SHOW ASPHALT ROOF SHINGLE SAMPLES TO OWNER BEFORE INSTALL. PROVIDE ARCHITECTURAL SHINGLES. MIN 30 YEAR WARRANTY.



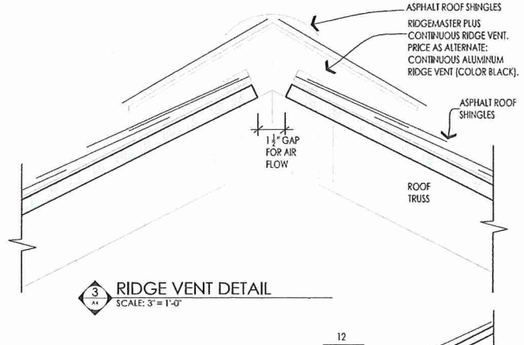
PLAN VIEW





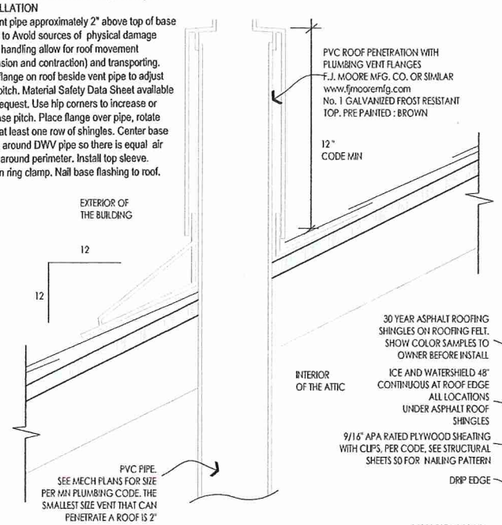
NOTES:
REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION. SCUPPER MUST BE WELDED METAL SLEEVE, ROUND ALL SHEET METAL FLANGE CORNERS. APPLY LAP SEALANT AROUND ENTIRE PERIMETER OF QUICKSEAM FLASHING. REFER TO LS-9 FOR SEAM EDGE TREATMENT. WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAL FOOT MINIMUM IN ANY GIVEN DIRECTION. FLANGE OF METAL MUST BE FULLY SUPPORTED BY WOOD AND TERMINATED AT LEAST 1/2" FROM EDGE OF WOOD.WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAR FOOT IN ANY GIVING DIRECTION. FASTEN COPING CLEAT AS PER SUPPLIED INSTRUCTIONS.

FRONT PORCH ROOF SECTION
SCALE: 3" = 1'-0"



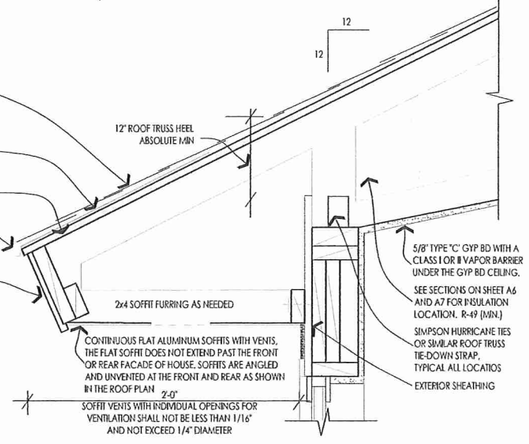
RIDGE VENT DETAIL
SCALE: 3" = 1'-0"

PHYSICAL PROPERTIES
28 Gauge steel, prime material, Lock Form Quality (LFQ), G-90 Galvanized coating. Lead cap stamped 2-1/2 lb. chemical sheet, 99.6% pure.
INSTALLATION
Cut vent pipe approximately 2" above top of base sleeve to Avoid sources of physical damage during handling allow for roof movement (expansion and contraction) and transporting. Place flange on roof beside vent pipe to adjust exact pitch. Material Safety Data Sheet available upon request. Use hip corners to increase or decrease pitch. Place flange over pipe, rotate under at least one row of shingles. Center base sleeve around DWV pipe so there is equal air space around perimeter. Install top sleeve. Tighten ring clamp. Nail base flashing to roof.



ROOF PENETRATION DETAIL
SCALE: 3" = 1'-0"

DESCRIPTION
Frost resistant design prevents vent closure. Patented two piece telescopic cover-all design provides complete enclosure of DWV pipe and roof penetration point. Permanent three point seal unaffected by daily roof movement and structure settling. No.1 style ring clamp top mechanically seals DWV pipe orificel.D. and O.D. Pre-stamped, base flashing raised bosses permanently seal at nailing points. Folded hip corner adjustment tabs. Installs without removal or alteration of existing shingle pattern fits all architectural and 3 tab shingles. Suitable for new construction, tear-off and retrofit.Retrofits over many existing flashing. Impervious to all extreme weather and storm conditions. 10 Year warranty when properly installed.



ROOF EAVE
SCALE: 1 1/2" = 1'-0"

GRANITE HEARTH PROPERTIES
granitehearth@gmail.com

WELLS & COMPANY ARCHITECTS
612-669-2052
PO BOX 3589
Minneapolis, MN 55408
www.WellsandCompanyArchitects.com

PROJECT TITLE:
NEW 6 UNIT APARTMENT BUILDING AT:
5605 Nicollet Ave
Minneapolis, MN

SHEET TITLE:
ROOF PLAN

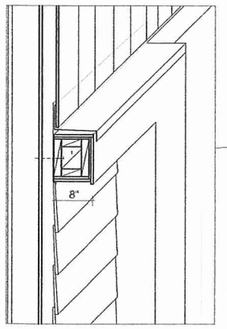
SUBMITTED FOR BUILDING PERMIT 3-28-2016

PROJECT #:	02-2016
DRAWN BY:	WELLS
CHECKED BY:	WELLS
ISSUE:	DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of
the state of: Minnesota
signed: William M. Wells, Architect
date: 3-25-2016 reg. no. 49615

SHEET NO:
A4

MUST BE PRINTED ON 22 X 34 PAPER TO BE AT SCALE SUBMITTED FOR BUILDING PERMIT



DECORATIVE FRAME AT FRONT OF BUILDING SEE SPECS ON SHEET A7
SCALE: NTS

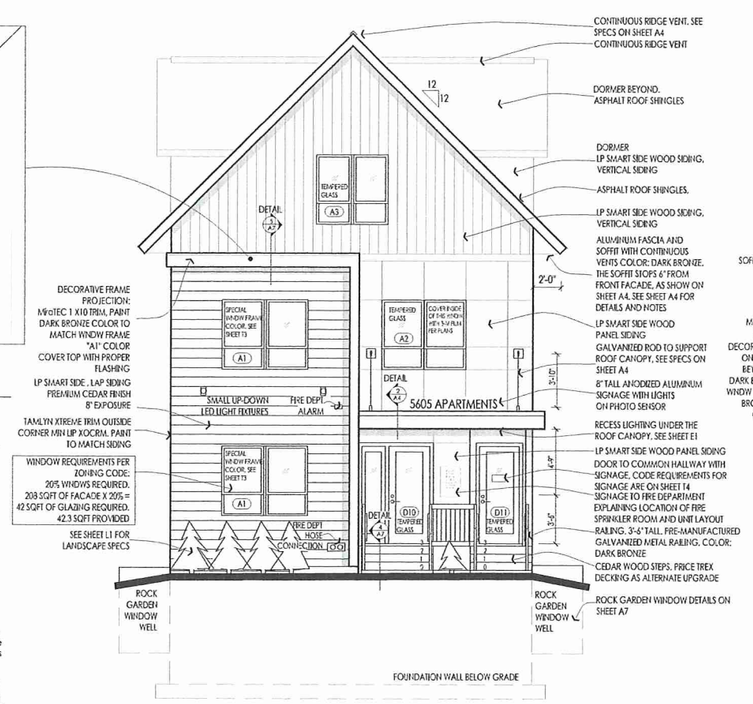
SIGNAGE MINNEAPOLIS ZONING CODE
All signs are subject to Chapter 543, On-Premise Signs. The Contractor will be required to submit a separate sign permit application for any signage that is proposed. Residential structures with five or more units in the OR1 district are allowed one non-illuminated, flat wall identification sign not exceeding 16 square feet in area and 14 feet in height. For this residential use, one wall sign identifying the name of the building is proposed on the east elevation, above the main entrance. Said sign is approximately 13 feet in height and 8 square feet in area. The plans indicate that the sign will have lights on a photo sensor. As a condition of approval, the sign shall not be illuminated.

PER MINNEAPOLIS ZONING CODE
Entrances, windows, and active functions.
Residential uses. Principal entrances shall be clearly defined and emphasized through the use of architectural features such as porches and roofs or other details that express the importance of the entrance. Multiple entrances shall be encouraged. Twenty (20) percent of the walls on the first floor and ten (10) percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows as follows:

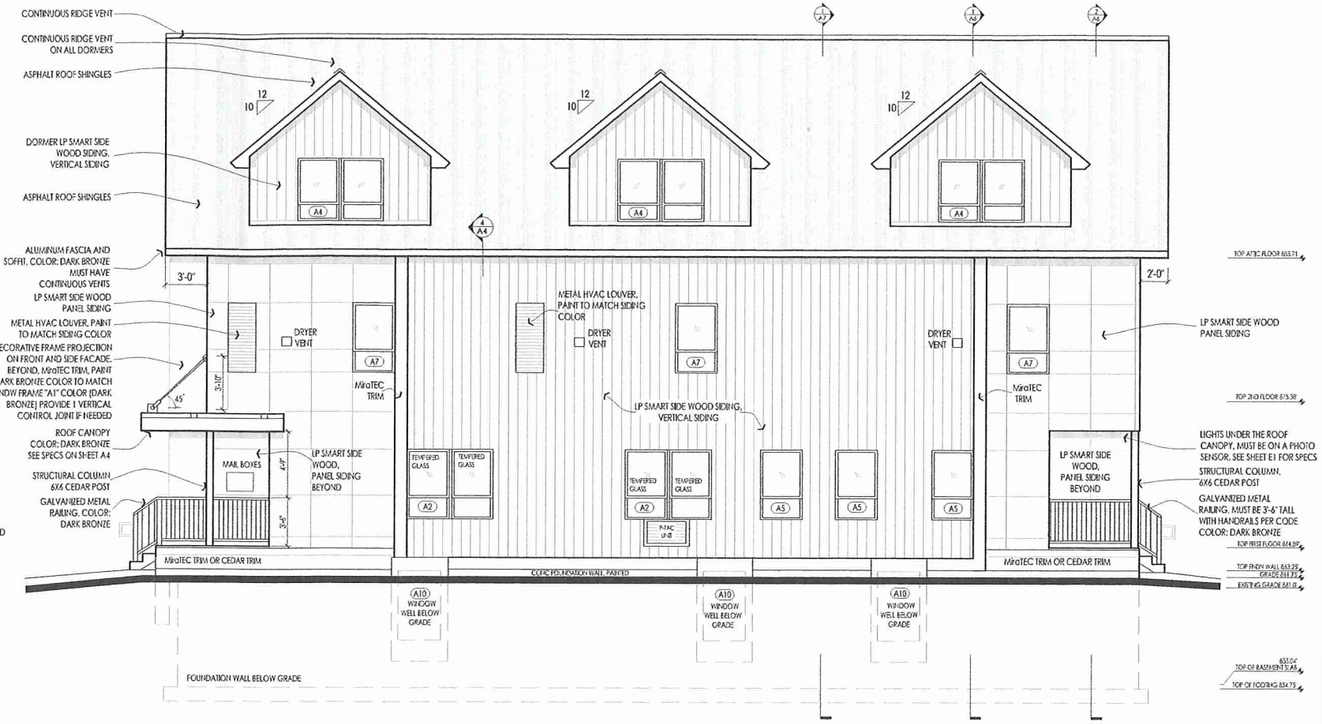
Windows shall be vertical in proportion.
Windows shall be distributed in a more or less even manner.

Minimum window area at the first floor or ground level shall be measured between two (2) and ten (10) feet above the adjacent grade. Minimum window area on walls above the first floor shall be measured between the upper surface of a floor and the upper surface of the floor above.

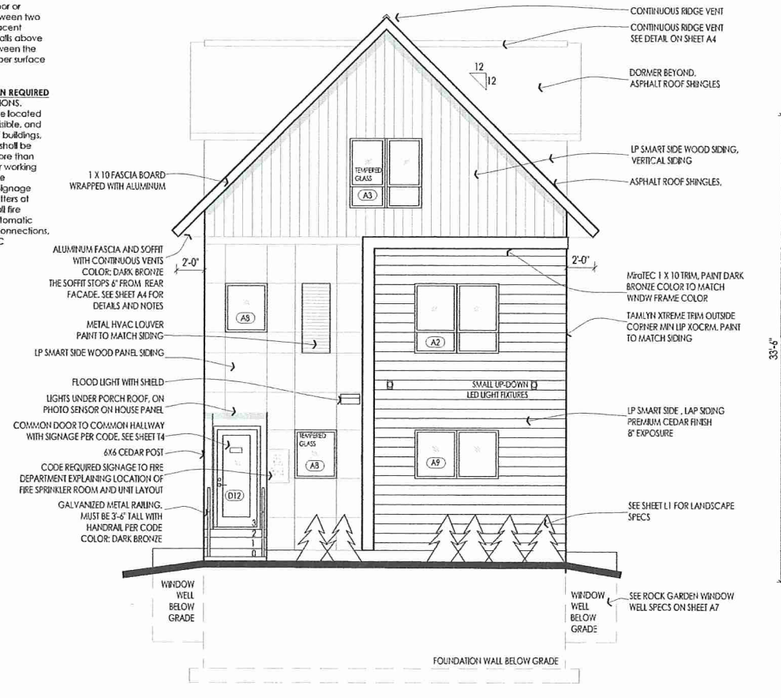
FIRE DEPARTMENT HOSE CONNECTION REQUIRED
(2) 2 1/2" DIAMETER HOSE CONNECTIONS.
Fire department connections shall be located on the street side of buildings, fully visible, and recognizable, from the street side of buildings, nearest access. Connection Height shall be located not less than 18" and not more than 4'-0" above the level of grade. Clear working space of not less than 36" around the connection required. Per IBC 912.4 Signage Required. A metal sign with raised letters at least 1"in size shall be mounted on all fire department connections serving automatic sprinklers, standpipes, or fire pump connections. Such signage shall read "AUTOMATIC SPRINKLERS or STANDPIPES or TEST CONNECTIONS"



FRONT ELEVATION (WEST)
SCALE: 3/16" = 1'-0"



SIDE ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



REAR ELEVATION (EAST)
SCALE: 3/16" = 1'-0"

SIDE ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"

MUST BE PRINTED ON 22 X 34 PAPER TO BE AT SCALE
SUBMITTED FOR BUILDING PERMIT

GRANITE HEARTH PROPERTIES
granitehearth@gmail.com

WELLS & COMPANY ARCHITECTS
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Minneapolis, MN 55408
www.WellsandCompanyArchitects.com

PROJECT TITLE:
NEW 6 UNIT APARTMENT BUILDING AT:
5605 Nicollet Ave
Minneapolis, MN

SHEET TITLE:
EXTERIOR ELEVATIONS

SUBMITTED FOR BUILDING PERMIT 3-28-2016

PROJECT #:	02-2016
DRAWN BY:	WELLS
CHECKED BY:	WELLS
ISSUE:	DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota
signed: William M. Wells, Architect
date: 3-25-2016 reg. no. 49615

SHEET NO:
A5

Print Form

WATER RESOURCE PERMIT APPLICATION FORM

Use this form to notify/apply to the Minnehaha Creek Watershed District (MCWD) of a proposed project or work which may fall within their jurisdiction. Fill out this form completely and submit with your site plan, maps, etc. to the MCWD at:
15320 Minnetonka Blvd. Minnetonka, MN 55345.
Keep a copy for your records.

YOU MUST OBTAIN ALL REQUIRED AUTHORIZATIONS BEFORE BEGINNING WORK.

1. Name of each property owner: Shawn Briggs, Granite Hearth Properties
Mailing Address: 5115 Excelsior Blvd #424 City: Minneapolis State: MN Zip: 55416
Email Address: granitehearth@gmail.com Phone: 952-237-9898 Fax:

2. Property Owner Representative Information (not required) (licensed contractor, architect, engineer, etc…)
Business Name: William Wells Architect Representative Name: William Wells
Business Address: po Box 8589 City: mpls State: MN Zip: 55408
Email Address: wellsandcompany@yahoo.com Phone: 612-669-2052 Fax:

3. Project Address: 5605 Nicollet Ave City: mpls
State: MN Zip: 55408 Qtr Section(s): ____ Section(s): ____ Township(s): ____ Range(s): ____
Lot: 11 Block: 4 Subdivision: Thorpe Brothers Nicollet Manor PID: 22-02-82-41-30-109

4. Size of project parcel (square feet or acres): 5,060 sq ft
Area of disturbance (square feet): 2,000 sqft Volume of excavation/fill (cubic yards): 600
Area of existing impervious surface: 500 sqft Area of proposed impervious surface: 2,995 sqft
Length of shoreline affected (feet): 0 Waterbody (& bay if applicable): 0

5. Type of permit being applied for (Check all that apply):
- ☒ EROSION CONTROL
- ☐ FLOODPLAIN ALTERATION
- ☐ WETLAND PROTECTION
- ☐ DREDGING
- ☐ SHORELINE/STREAMBANK STABILIZATION
- ☐ WATERBODY CROSSINGS/STRUCTURES
- ☐ STORMWATER MANAGEMENT
- ☐ APPROPRIATIONS
- ☐ ILLICIT DISCHARGE

6. Project purpose (Check all that apply):
- ☐ SINGLE FAMILY HOME
- ☐ ROAD CONSTRUCTION
- ☐ UTILITIES
- ☐ DREDGING
- ☐ SHORELINE/STREAMBANK STABILIZATION
- ☒ MULTI FAMILY RESIDENTIAL (apartments)
- ☐ COMMERCIAL or INSTITUTIONAL
- ☐ SUBDIVISIONS (include number of lots)
- ☐ LANDSCAPING (pools, berms, etc.)
- ☐ OTHER (DESCRIBE):

7. NPDES/SDS General Stormwater Permit Number (if applicable): ____

8. Waterbody receiving runoff from site: storm sewer or Minnehaha parkway creek leading to Lk Harriet

9. Project Timeline: Start Date: May 1, 2016 Completion Date: October 30, 2016

Permits have been applied for: City ____ County ☒ MN Pollution Control Agency ☐ DNR ☐ COE ☐
Permits have been received: City ____ County ☐ MN Pollution Control Agency ☐ DNR ☐ COE ☐

By signing below, I hereby request a permit to authorize the activities described herein. I certify that I am familiar with MCWD Rules and that the proposed activity will be conducted in compliance with these Rules. I am familiar with the information contained in this application and, to the best of my knowledge and belief, all information is true, complete and accurate. I understand that proceeding with work before all required authorizations are obtained may be subject to federal, state and/or local administrative, civil and/or criminal penalties.

Signature of Each Property Owner 2.25.2016 Date

Date Received
FEB 29 2016
By: ____

EROSION CONTROL SUPPLEMENTAL INFORMATION FORM

INSPECTION PLAN REQUIREMENTS

1. **Routine Inspections:**
   - Once every seven days during active construction
   - Within 24 hours of a half inch or more precipitation

2. **Completed Field Inspection Reports:**
   - Reports available within 24 hours of request until MCWD determines project is complete & stabilized

Failure to submit requested inspection information will result in a site inspection and may be subject to reimbursement for MCWD staff time.

Who will inspect your site regularly?

NAME: Shawn Briggs **ORGANIZATION:** property owner

PHONE: 952-237-9898 **ALTERNATE PHONE:**

EMAIL: granitehearth@gmail.com

Where is the concrete washout location?

- [x] OFF SITE OR CONTAINED ON TRUCK
- [ ] INDICATED ON SITE PLAN (with required impermeable liner)
- [ ] N/A

What is the final stabilization method?

(seed, sod, etc.): Grass Sod

6 inches of topsoil must be added/replaced prior to final stabilization

Will protective fencing for retained vegetation be installed?

- [x] YES
- [ ] NOT APPLICABLE
- [ ] OTHER (describe) _____

I certify that I am familiar with the requirements of the MCWD Erosion Control Rule and that the proposed activity will be conducted in compliance with this rule.

Signature of Applicant or Authorized Agent

2.25.2016

Date

RECEIVED
FEB 29 2016
By

MINNEHAHA CREEK
WATERSHED DISTRICT
QUALITY OF WATER, QUALITY OF LIFE